

PURCHASER(S) FINAL APPROVAL FORM

June 10, 2022

Job # **9905P** New Home Address: **1919 157 STREET SW ; 20/28/222-0146**

Purchaser(s): **Pankaj Batra and Chandni Handa**

Phone: (H) **(780) 691-1904** (C) Email: **pankajbatra1981@gmail.com**

House Model: **ColumbiaFT** Specification: Subdivision: **GLENRIDGING - RSL**

Sales Area Manager: **DARREN ROSE**

To ensure your home meets or exceeds your expectations, review of the plans prior to commencing construction is required. We request that you verify the following details:

- 1. The drawings are accurate of all requested changes with the exception of any pending electrical changes. (Electrical changes are the only permissible interior change at this stage).
- 2. The exterior color chart and elevation(s) accurately represent the correct exterior colors, products and applicable changes previously made. Purchaser accepts and acknowledges that all front and/or high visibility side/rear elevations (as applicable), setbacks, and concrete applications, are subject to final architectural approval. Any exterior changes requested moving forward, are also subject to architectural resubmission approval and the purchaser will be responsible for the associated \$500.00 resubmission fee.
- 3. The purchaser has received a full explanation of site conditions including but not limited to lot size, location of the house on the lot, driveway shape/size, right-of-ways, retaining walls, easements, fixtures, street furniture, and neighboring structures. Purchaser is aware that, if required, retaining walls are not included in the purchase price and are the sole responsibility of the purchaser.
- 4. Trail Appliance and Design Q selections, colors, and finishings have been finalized. Purchaser accepts and acknowledges that no further changes to appliance dimensions will be permitted once client plans are completed.

In the event the purchaser is providing their own appliances, ensuring the selected appliances fit within the standard openings will be the responsibility of the purchaser(s).

- 5. The purchaser accepts and acknowledges that any conversation about possession up until the 35 day written notice is provided, is to be considered an estimation only.
- 6. Purchaser understands that there are two (2) scheduled visits during construction: at completion of rough-ins; and at cabinet installation. Purchaser will be contacted to book these appointments. Please note these will be weekday appointments and Alberta Workplace and Safety rules must be adhered to.
- 7. The Purchaser accepts and acknowledges that there will be no further changes past the purchaser final plan approval stage.

The Purchaser(s) hereby acknowledge that they have read, understood, and agree to the above terms of the contract.

DocuSigned by:
Pankaj Batra
Pankaj Batra
signed on

DocuSigned by:
MIKE RUDNISKY 8/21/2023
5C33D060FA2142C...
Authorized Signatory Pacesetter Homes
(Edmonton)

DocuSigned by:
Chandni Handa
Chandni Handa
signed on

Office Use only:



EXTERIOR COLOR CHART

Page 1 of 2

Job #:	9905P	New Home Address:	1919-157 Street SW
Purchaser(s):	Pankaj Batra		
Phone:	780-691-1904	Email:	pankajbatra1981@gmail.com
House Model:	Columbia	Specification:	Trailblazer
Area Sales Manager:	Darren Rose	Subdivision	GLENRIDDING RAVINES

Elevation Selected: P-GR

FINISH	MATERIAL	MANUFACTURER	COLOR
Roofing	Asphalt shingles	IKO Cambridge	Dual black
Primary Siding	Vinyl	Royal	Wicker
Secondary Siding			
Siding Profile			Profile: Traditional
Siding Corners	Vinyl	Royal	Wicker
Board & Batten	NA	NA	NA
Vertical Siding			
Brick or Stone	Stone	Eldorado	Mountain Ledge/Durango
Soffit & Fascia	Metal	Royal	Chocolate
Eavestrough & Downspouts	Metal	Royal	Chocolate
Trims & Surrounds	Smartboard	Painted to Match Royal	Metal Chocolate
Shadowboards	Smartboard	Painted to Match Royal	Metal Chocolate
Shakes	NA	NA	NA
Crezone Panels	Crezone	painted to match Royal	Vinyl Toated Almond
Metal Panels			
Front Door	NA	painted to match Royal	Vinyl Natural Cedar
Garage Door	NA	painted to match Royal	Vinyl Natural Cedar
Windows	Vinyl	All weather	White
Window Grills	NA	NA	White/Narrow
Louvers	ERRORS AND OMMISIONS		
Shutters	Home plan perusal and confirmation is essential prior to home construction. However, errors and omissions may occur on the plans. Such errors and omissions are overruled by any addendums, specifications and the offer to purchase. The builder will not be responsible for such errors and omissions.		

Customer Initial:

DS
PB

EXTERIOR COLOR CHART

Page 2 of 2

FINISH	MATERIAL	MANUFACTURER	COLOR
Keystones			
Brackets			
Dentils			
Gable Trusses/Battens			
Post/Column	NA	Painted to match	** see special comments
Post/Column Collar	NA	NA	NA
Front Verandah Railing	Metal	Home-Rail Ltd.	Black
Front Verandah Skirting	Concrete	NA	Concrete
Front Verandah Steps (risers and stringers ONLY)	Concrete	NA	Concrete
Special Comments	* Column is to be Mountain Ledge Durango by Ixl El Dorado		

Please note: Additional costs associated with any premium selection or upgrade indicated above are the responsibility of the purchaser.

The Purchaser(s) hereby acknowledge that they have read, understood and agree to the above terms of the contract.

ERRORS AND OMMISIONS

Home plan perusal and confirmation is essential prior to home construction. However, errors and omissions may occur on the plans. Such errors and omissions are overruled by any addendums, specifications and the offer to purchase. The builder will not be responsible for such errors and omissions.

Customer Initial:

PB

DocuSigned by:

MIKE RUDNISKY

5C33D060FA2142C...

6/27/2023

Authorized Signatory Pacesetter Homes Ltd.

Signed on

DocuSigned by:

Pankaj Batra

276C3311135146B...

Buyer Signature

Buyer Name: Pankaj Batra

6/26/2023

DocuSigned by:

Chandni Handa

FE340366E1C6468...

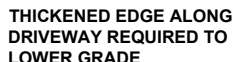
Co-Buyer Signature

Co-Buyer Name: Chandni Handa

6/26/2023



Customer Initial:



DETAILS	
- LOT AREA:	327.48 m ² (3525.0 ft ²)
- HOUSE AREA:	132.53 m ² (1426.5 ft ²)
- HOUSE COVERAGE:	40.47 %
- DRIVEWAY AREA:	43.73 m ² (470.7 ft ²)
CITY OF EDMONTON LANDSCAPING REQUIREMENTS:	
2 New Deciduous Tree :	50 mm Caliper
1 New Coniferous Tree :	2.5 m Height
6 New Shrubs	

DWG DETAILS			
Rev. No.	Date:	Drafted By:	Description
PP	6/29/23	AMACDONALD	
01	7/18/23	AWANG	GRADE

BUILDER/OWNER: **PACSETTER HOMES**
 MODEL: **COLUMBIA (P-GR) (STANDARD)**
 JOB NUM.: **9905P**
 LOT ZONING: **DC1 18748** | SCALE: **1:300**



JOB # 9905P

THE RESIDENCE OF BATRA & HANDA

1919 157 STREET SW
EDMONTON
20 / 28 / 222-0146
POINT @ GLENRIDGING RAVINE

NUMBER	DATE	NAME	PAGES
1	JUNE 28, 2023	N. HUNT-LEE	ALL
2	JUNE 30, 2023	N. HUNT-LEE	ALL
3	JULY 12, 2023	N. HUNT-LEE	ALL
4	JULY 13, 2023	N. HUNT-LEE	2-3, 5-6, 10-11a
5	JULY 25, 2023	N. HUNT-LEE	6-11a

ERRORS AND OMMISIONS


Home plan perusal and confirmation is essential prior to home construction. However, errors and omissions may occur on the plans. Such errors and omissions are overruled by any addendums, specifications and the offer to purchase. The builder will not be responsible for such errors and omissions.

Customer Initial: PB

**** COLOURS SHOWN ARE FOR ILLUSTRATIVE PURPOSES ONLY. REFER TO MANUFACTURER'S SAMPLES FOR ACCURATE REPRESENTATION ****

Home plan perusal and confirmation is essential prior to home construction. However, errors and omissions may occur on the plans. Such errors and omissions are overruled by any addendums, specifications and the offer to purchase. The builder will not be responsible for such errors and omissions.

Customer Initial:_____

Address:	1919 157 STREET SW, EDMONTON, AB 20 / 28 / 222-0146		
Drawn By:	N. HUNT-LEE	Model:	COLUMBIA (P-GR)
These blueprints are the property of Pacesetter Homes Ltd. 3203 - 93 Street, Edmonton, Alberta T6N 0B2. All rights reserved, including the right of reproduction in whole or in part, in any form, without the written permission of Pacesetter Homes Ltd. Construction Square footage is based on floor area Marketing Square footage includes stairwells	Scale:	3/16" = 1'-0"	
	Date:	7/25/2023 11:55:15 AM	
	Bsmnt. Devl:	0 SF	
Customer:	BATRA & HANDA		Page:
JOB #:	9905P	TRAILBLAZER SERIES 	
Main Fl.	Const.	Market.	<div>1</div> <div>14</div>
Upper Fl.	931 SF	983 SF	
Total	1144 SF	1202 SF	
	2075 SF	2185 SF	

NOTE!

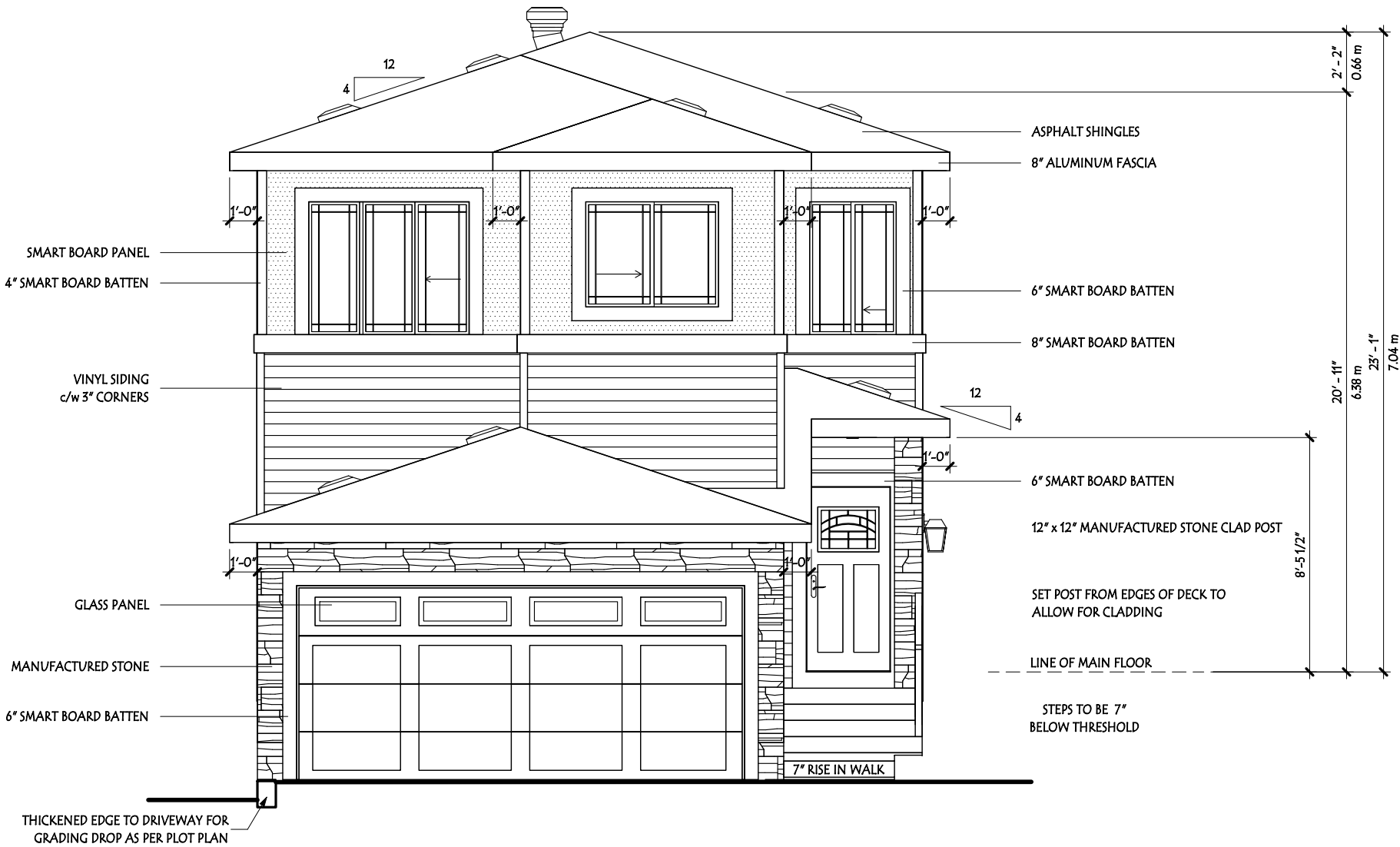
1. FLASHING IS TO BE INSTALLED
AT ALL APPROPRIATE LOCATIONS
ON ROOF AND ELEVATIONS.
-SEE BUILDERS SPECS
2. WINDOW WELLS MAY BE REQUIRED
DEPENDING ON FINAL GRADE
3. ALL STAIRS TO HAVE A MINIMUM
10" RUN + 1" NOSING

ERRORS AND OMMISIONS

Home plan perusal and confirmation is essential prior to home construction. However, errors and omissions may occur on the plans. Such errors and omissions are overruled by any addendums, specifications and the offer to purchase. The builder will not be responsible for such errors and omissions.

Customer Initial:

PB




FRONT ELEVATION

****ALL WINDOWS TO BE LOW E****

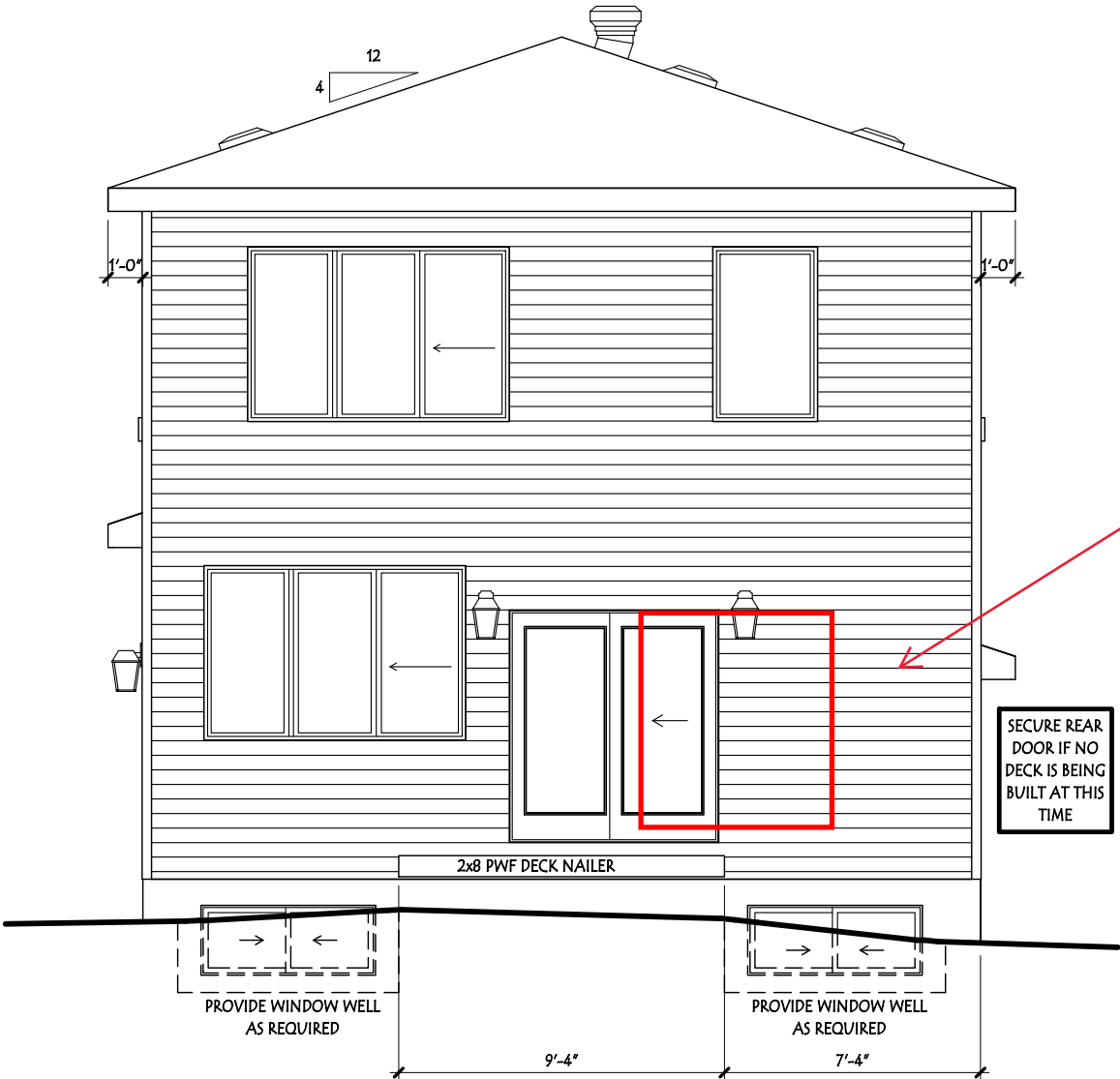
****TRI-PANE WINDOWS****

THROUGHOUT

(UNLESS NOTED OTHERWISE)

Address:	1919 157 STREET SW, EDMONTON, AB 20 / 28 / 222-0146		Customer:		BATRA & HANDA		Page:				
	Drawn By:	N. HUNT-LEE	Model:		COLUMBIA (P-GR)			JOB #:	9905P	TRAILBLAZER SERIES	
Scale:			3/16" = 1'-0"								
Date:			7/25/2023 11:55:17 AM		Main Fl.		Const.		Market.		
Bsmnt. Devl:			0 SF		Upper Fl.		1144 SF		1202 SF		
					Total		2075 SF		2185 SF		
Construction Square footage is based on floor area Marketing Square footage includes stairwells									2		14
									A QUALICO Company		
									Pacesetter HOMES		
											





REAR ELEVATION
ALL WINDOWS TO BE LOW E
TRI-PANE WINDOWS
THROUGHOUT

(UNLESS NOTED OTHERWISE)

Addendum 15/18
Item 3
Patio door

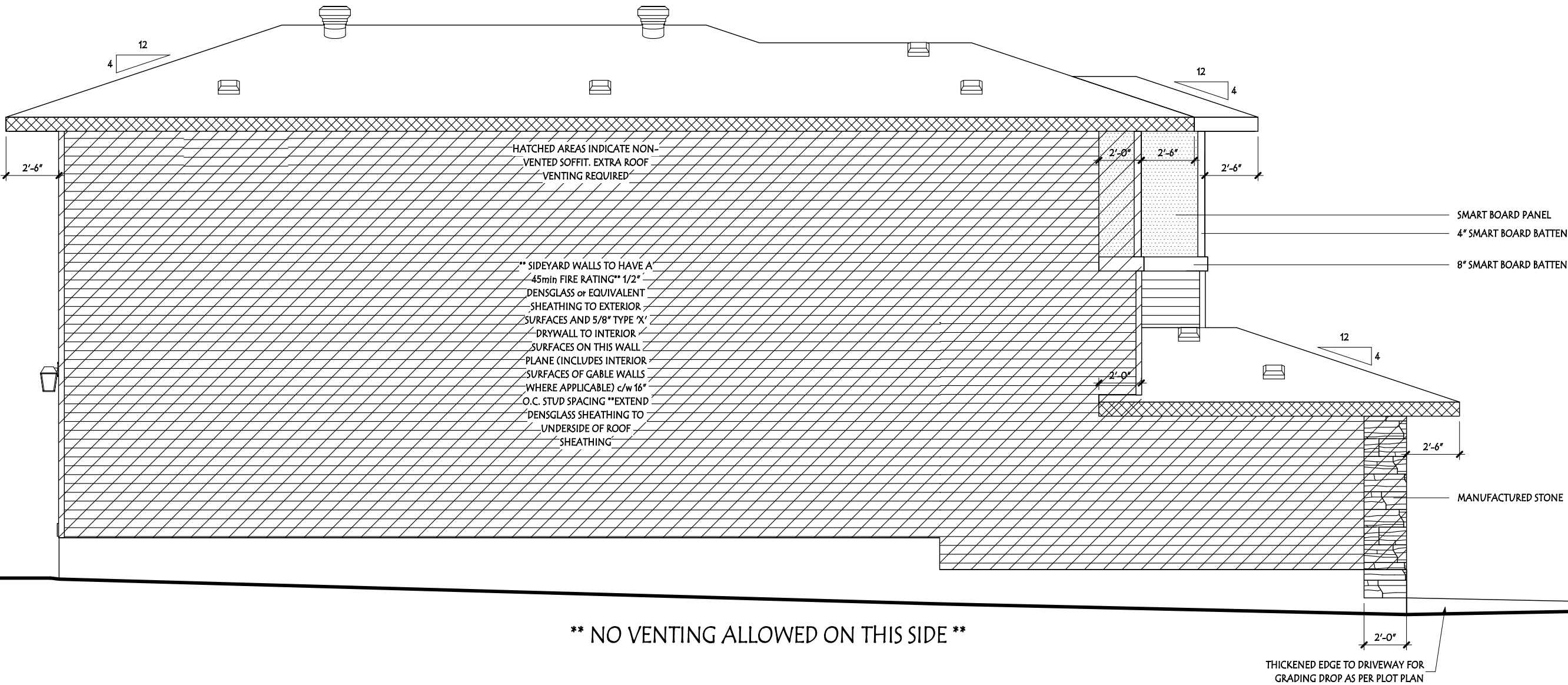
ERRORS AND OMMISIONS

Home plan perusal and confirmation is essential prior to home construction. However, errors and omissions may occur on the plans. Such errors and omissions are overruled by any addendums, specifications and the offer to purchase. The builder will not be responsible for such errors and omissions.

Customer Initial: PB

Address: 1919 157 STREET SW, EDMONTON, AB 20 / 28 / 222-0146		Customer: BATRA & HANDA		Page: 3	
Drawn By: N. HUNT-LEE		Model: COLUMBIA (P-GR)		TRAILBLAZER SERIES	
These blueprints are the property of Pacesetter Homes Ltd. 3203 - 93 Street, Edmonton, Alberta T6N 0B2. All rights reserved, including the right of reproduction in whole or in part, in any form, without the written permission of Pacesetter Homes Ltd.		JOB #:		9905P	
		Scale:		3/16" = 1'-0"	
		Date:		7/25/2023 11:55:17 AM	
		Bsmnt. Devl:		0 SF	
Construction Square footage is based on floor area Marketing Square footage includes stairwells		Const.		Market.	
		Main Fl.		931 SF	
		Upper Fl.		1144 SF	
		Total		2075 SF	
				983 SF	
				1202 SF	
				2185 SF	





THICKENED EDGE TO DRIVEWAY FOR GRADING DROP AS PER PLOT PLAN

** NO VENTING ALLOWED ON THIS SIDE **

ALL WINDOWS TO BE LOW E
TRI-PANE WINDOWS
THROUGHOUT

(UNLESS NOTED OTHERWISE)

LEFT ELEVATION

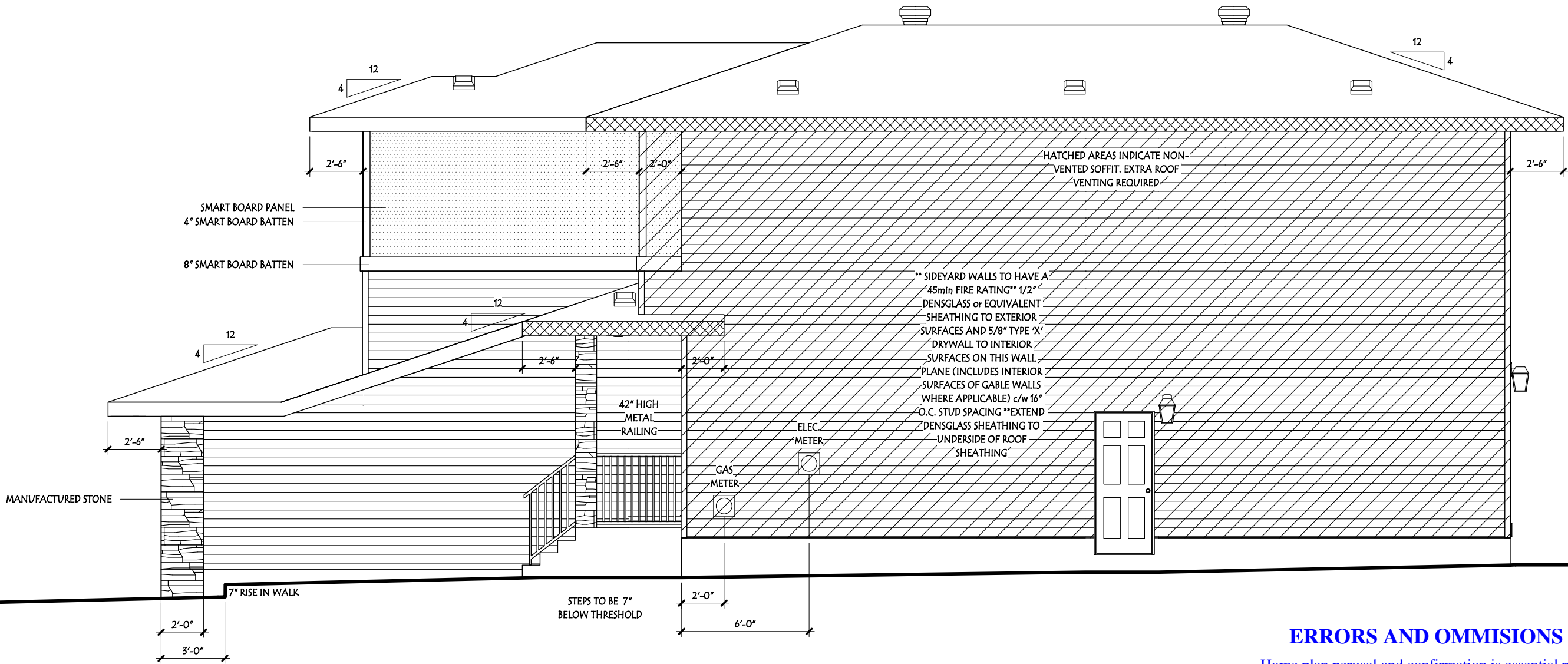
ERRORS AND OMMISIONS

Home plan perusal and confirmation is essential prior to home construction. However, errors and omissions may occur on the plans. Such errors and omissions are overruled by any addendums, specifications and the offer to purchase. The builder will not be responsible for such errors and omissions.

Customer Initial: PB

Address:	1919 157 STREET SW, EDMONTON, AB 20 / 28 / 222-0146		Customer:		BATRA & HANDA		Page:	
	Drawn By:	N. HUNT-LEE	Model:		COLUMBIA (P-GR)		TRAILBLAZER SERIES	
			Scale:		3/16" = 1'-0"		JOB #:	
Date:			7/25/2023 11:55:48 AM		9905P			
These blueprints are the property of Pacesetter Homes Ltd. 3203 - 93 Street, Edmonton, Alberta T6N 0B2. All rights reserved, including the right of reproduction in whole or in part, in any form, without the written permission of Pacesetter Homes Ltd.			Main Fl.		Const.		Market.	
			Upper Fl.		1144 SF		1202 SF	
			Total		2075 SF		2185 SF	
Construction Square footage is based on floor area Marketing Square footage includes stairwells			Bsmnt. Devl:		0 SF		4	
							14	
							A QUALICO Company	





RIGHT ELEVATION

****ALL WINDOWS TO BE LOW E****
****TRI-PANE WINDOWS****
THROUGHOUT

(UNLESS NOTED OTHERWISE)

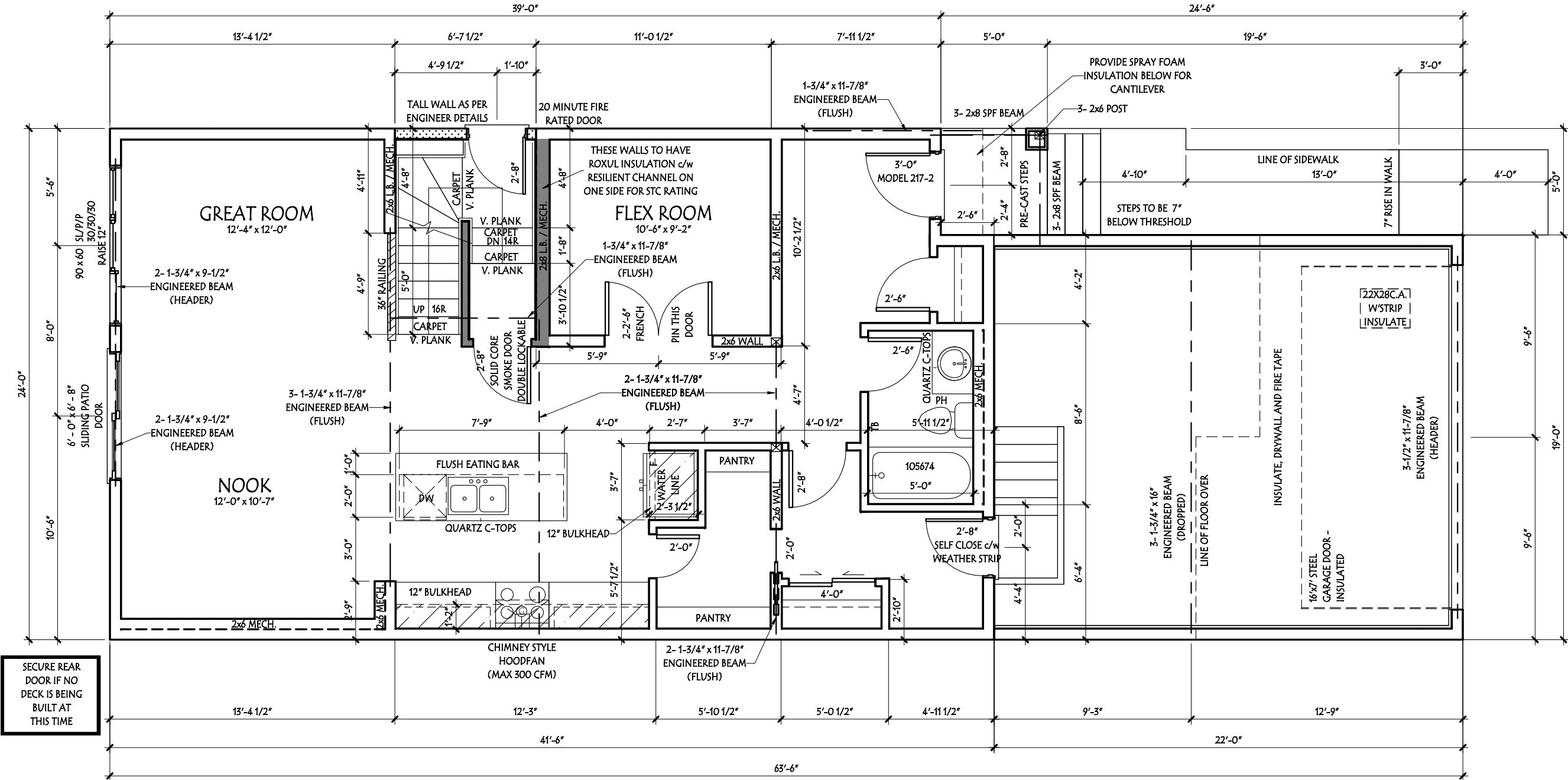
ERRORS AND OMMISIONS

Home plan perusal and confirmation is essential prior to home construction. However, errors and omissions may occur on the plans. Such errors and omissions are overruled by any addendums, specifications and the offer to purchase. The builder will not be responsible for such errors and omissions.

Customer Initial: PB

Address: 1919 157 STREET SW, EDMONTON, AB 20 / 28 / 222-0146	Customer: BATRA & HANDA		Page: 5	
	Model: COLUMBIA (P-GR)	JOB #: 9905P	Trailblazer Series	5
Drawn By: N. HUNT-LEE <small>These blueprints are the property of Pacesetter Homes Ltd. 3203 - 93 Street, Edmonton, Alberta T6N 0B2. All rights reserved, including the right of reproduction in whole or in part, in any form, without the written permission of Pacesetter Homes Ltd.</small>	Scale: 3/16" = 1'-0"	Const. Market.	931 SF	983 SF
	Date: 7/25/2023 11:55:19 AM	Main Fl.	1144 SF	1202 SF
Construction Square footage is based on floor area Marketing Square footage includes stairwells	Bsmnt. Devl: 0 SF	Upper Fl.	2075 SF	2185 SF
		Total		





** NO VENTING ALLOWED ON THIS SIDE **

MAIN FLOOR PLAN

9'-0" CEILINGS

** SPLATTER COAT TEXTURE CEILINGS THROUGHOUT **

** SOFTLINE CORNERS THROUGHOUT **

NOTE!

- 1. DIMENSIONS SHOWN ARE TO FACE OF MEMBER OR EXTERIOR WALL FACE UNLESS SHOWN OTHERWISE
- 2. ALL BEAMS AND LINTELS ARE TO BE 2-2X10 SPRUCE UNLESS NOTED OTHERWISE.

ERRORS AND OMMISIONS

Home plan perusal and confirmation is essential prior to home construction. However, errors and omissions may occur on the plans. Such errors and omissions are overruled by any addendums, specifications and the offer to purchase. The builder will not be responsible for such errors and omissions.

Customer Initial: PB

Address:		1919 157 STREET SW, EDMONTON, AB 20 / 28 / 222-0146		Customer:		BATRA & HANDA		Page:	
Drawn By:		N. HUNT-LEE		Model:		COLUMBIA (P-GR)		JOB #:	
<p>These blueprints are the property of Pacesetter Homes Ltd. 3203 - 93 Street, Edmonton, Alberta T6N 0B2. All rights reserved, including the right of reproduction in whole or in part, in any form, without the written permission of Pacesetter Homes Ltd.</p> <p>Construction Square footage is based on floor area Marketing Square footage includes stairwells</p>		Scale:		3/16" = 1'-0"		Const.		Market.	
		Date:		7/25/2023 11:55:21 AM		Main Fl.		931 SF	
		Bsmnt. Devl:		0 SF		Upper Fl.		1144 SF	
						Total		2075 SF	
								6	
								14	
								Pacesetter H O M E S A QUALICO Company	



Addendum 15/18
Item 2 - Cat5E

** NO VENTING ALLOWED ON THIS SIDE **

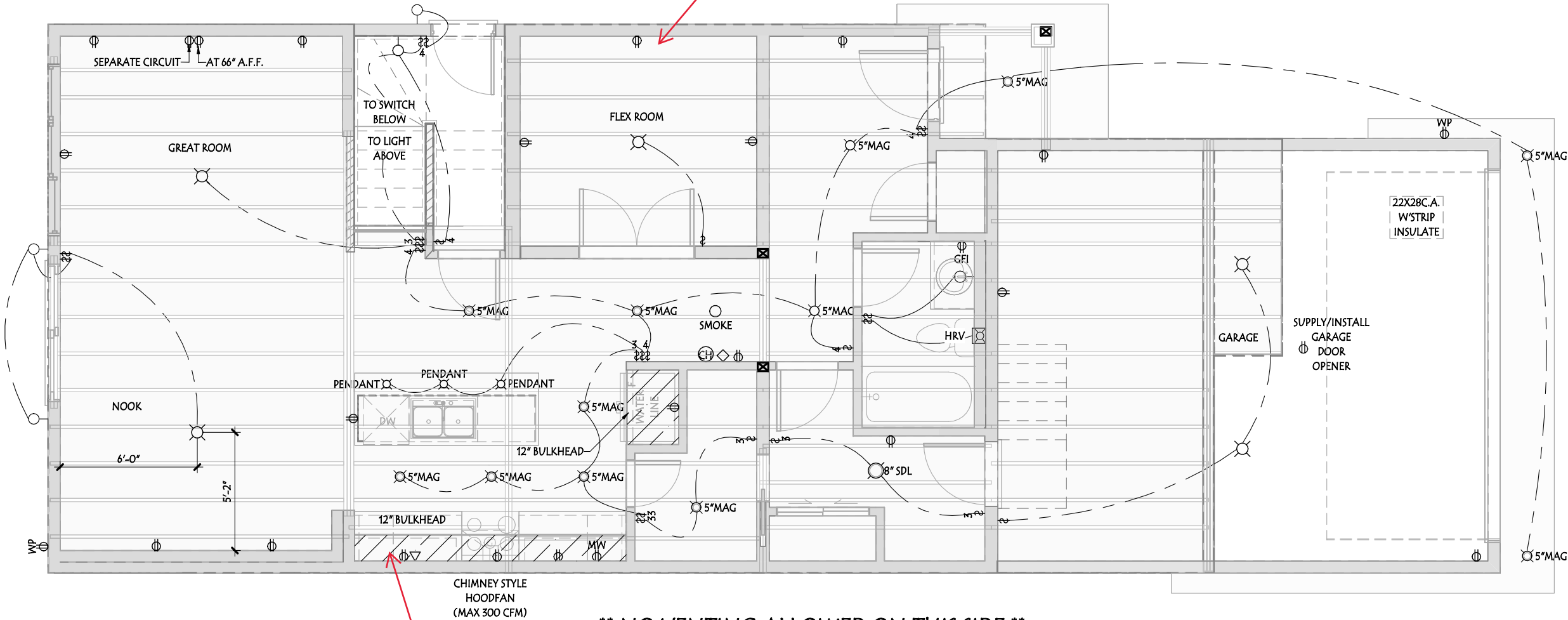
Addendum 15/18
Item 2 - relocate plug

MAIN FLOOR ELEC. / MECH. LAYOUT


ERRORS AND OMMISIONS

Home plan perusal and confirmation is essential prior to home construction. However, errors and omissions may occur on the plans. Such errors and omissions are overruled by any addendums, specifications and the offer to purchase. The builder will not be responsible for such errors and omissions.

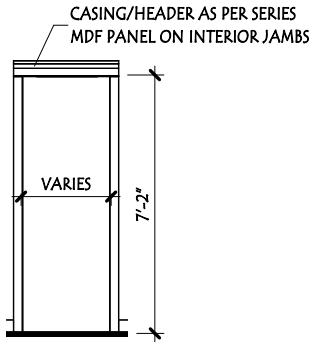
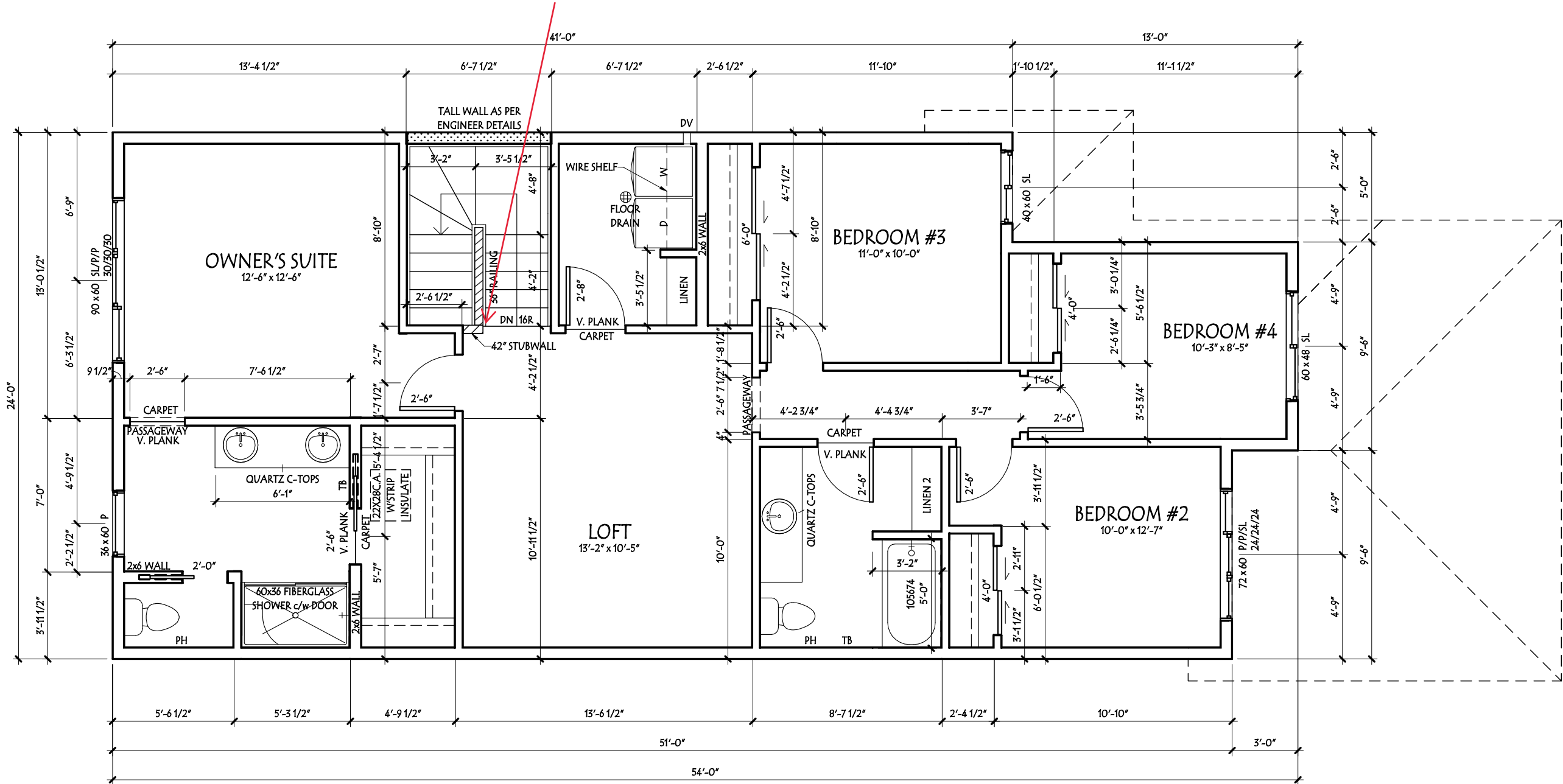
Customer Initial: PB



ELECTRICAL LEGEND			
	CEILING LIGHT		WALL LIGHT
	ELEC. PLUG		FLUE
	220 PLUG		SMOKE DETECTOR
	USB PAIRED PLUG		SD/CO DETECTOR
	TELEPHONE		VAC. ROUGH IN
	TV/CAT5E		CHIME
	THERMOSTAT		SINGLE SWITCH
	3 WAY SWITCH		ELEC. WIRING
	WEEPING TILE TEE		SPEAKER
	GAS METER		
ELECTRICAL LOCATIONS SUBJECT TO CHANGE AS REQUIRED BY CODE			

Address: 1919 157 STREET SW, EDMONTON, AB 20 / 28 / 222-0146	Customer: BATRA & HANDA		Page:	
	Model: COLUMBIA (P-GR)	JOB #: 9905P	TRAILBLAZER SERIES	
Drawn By: N. HUNT-LEE These blueprints are the property of Pacesetter Homes Ltd. 3203 - 93 Street, Edmonton, Alberta T6N 0B2. All rights reserved, including the right of reproduction in whole or in part, in any form, without the written permission of Pacesetter Homes Ltd.	Scale: 3/16" = 1'-0"		Const.	Market.
	Date: 7/25/2023 11:55:22 AM		Main Fl.	931 SF
	Bsmnt. Devl: 0 SF		Upper Fl.	1144 SF
			Total	2075 SF
Construction Square footage is based on floor area Marketing Square footage includes stairwells		<div><p>Pacesetter H O M E S A QUALICO® Company</p></div>		
		7		
		14		

Addendum 15/18
Item 1
Stub wall should be railing



** NO VENTING ALLOWED ON THIS SIDE **

UPPER FLOOR PLAN


** SPLATTER COAT TEXTURE CEILINGS THROUGHOUT **

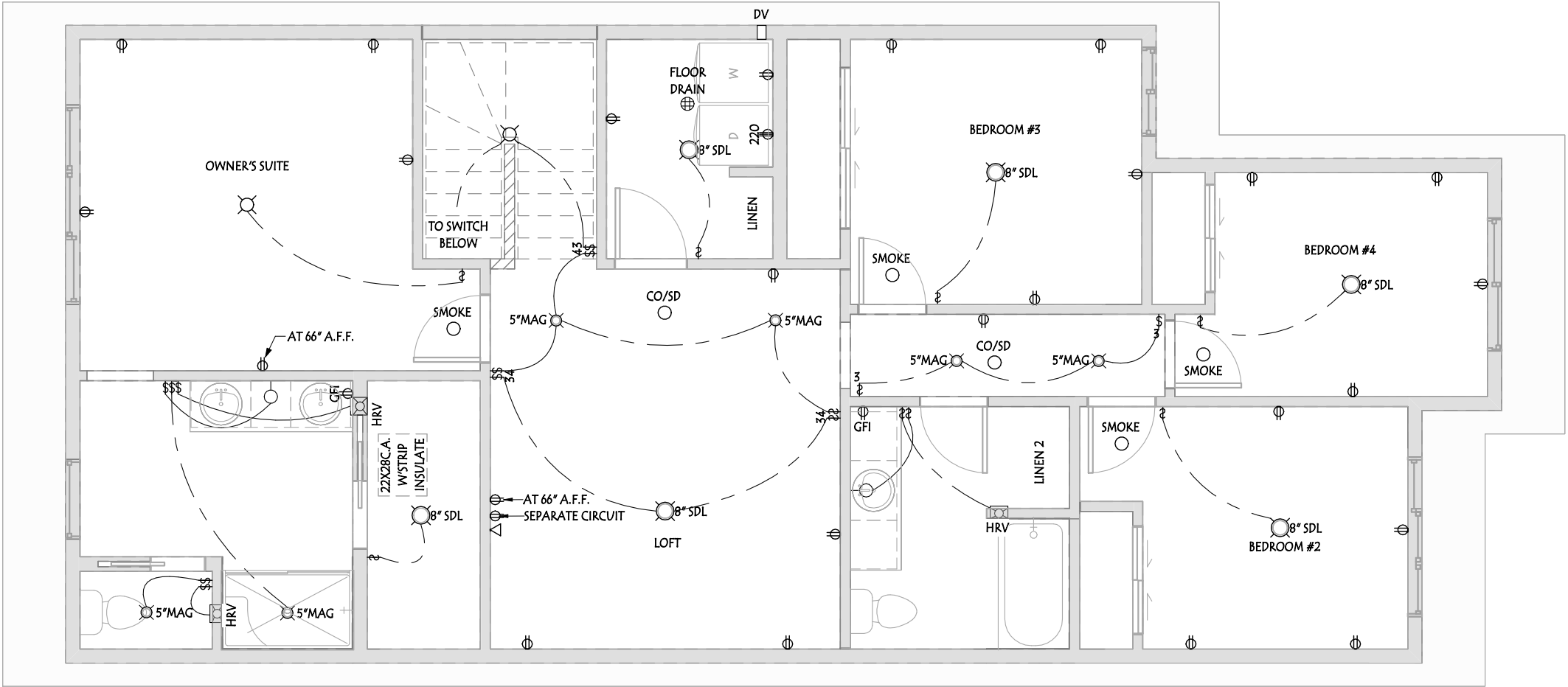
** SOFTLINE CORNERS THROUGHOUT **

ERRORS AND OMMISIONS

Home plan perusal and confirmation is essential prior to home construction. However, errors and omissions may occur on the plans. Such errors and omissions are overruled by any addendums, specifications and the offer to purchase. The builder will not be responsible for such errors and omissions.

Customer Initial PB

Address: 1919 157 STREET SW, EDMONTON, AB 20 / 28 / 222-0146	Customer: BATRA & HANDA		Page:	
	Drawn By: N. HUNT-LEE	Model: COLUMBIA (P-GR)	JOB #: 9905P	TRAILBLAZER SERIES 
		Scale: 3/16" = 1'-0"	Const.	
These blueprints are the property of Pacesetter Homes Ltd. 3203 - 93 Street, Edmonton, Alberta T6N 0B2. All rights reserved, including the right of reproduction in whole or in part, in any form, without the written permission of Pacesetter Homes Ltd.	Date: 7/25/2023 11:55:23 AM	Main Fl.	931 SF	
	Bsmnt. Devl: 0 SF	Upper Fl.	1144 SF	1202 SF
		Total	2075 SF	2185 SF
Construction Square footage is based on floor area Marketing Square footage includes stairwells	14			






















** NO VENTING ALLOWED ON THIS SIDE **

UPPER FLOOR ELEC. LAYOUT

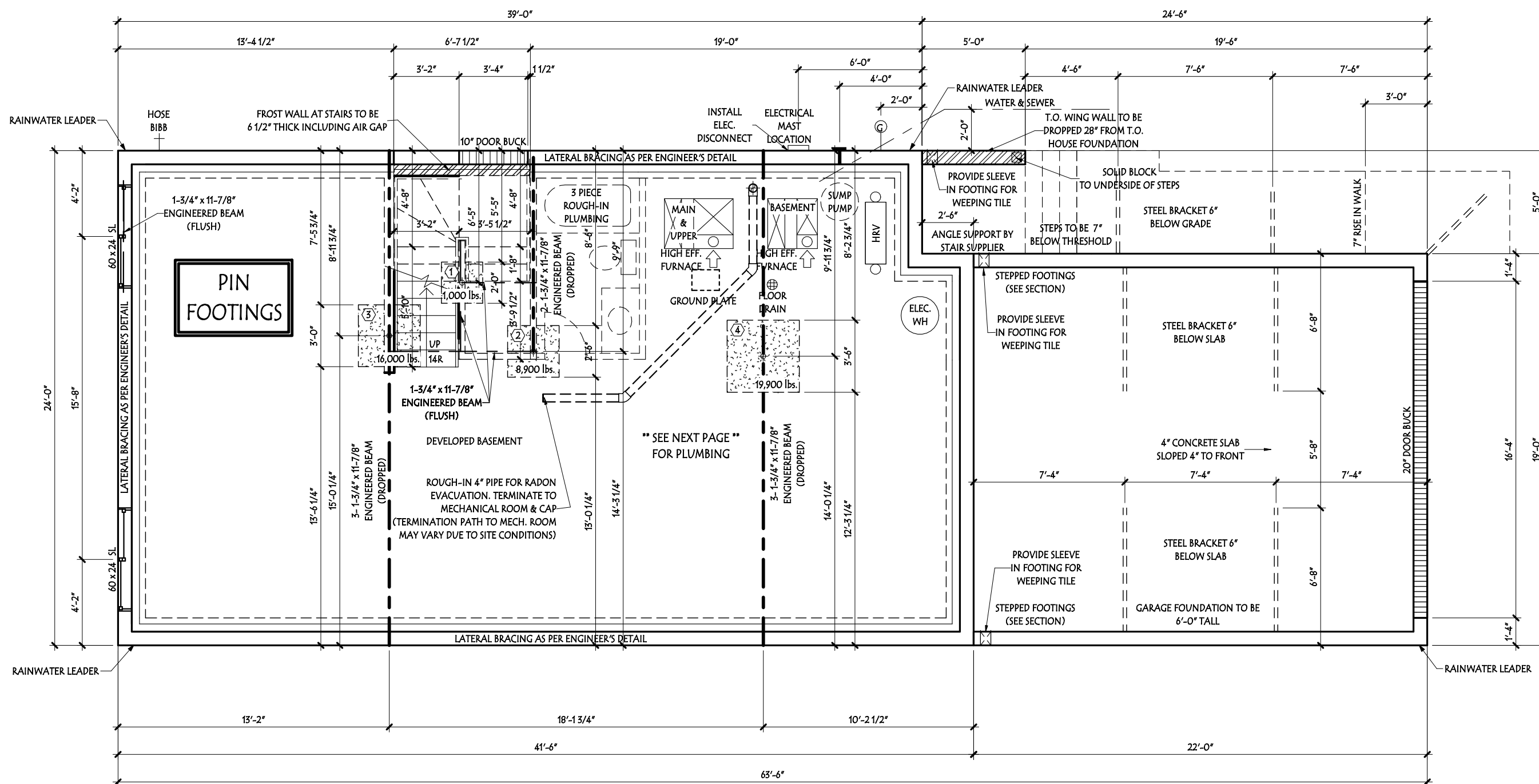
ERRORS AND OMMISIONS

Home plan perusal and confirmation is essential prior to home construction. However, errors and omissions may occur on the plans. Such errors and omissions are overruled by any addendums, specifications and the offer to purchase. The builder will not be responsible for such errors and omissions.

Customer Initial: PB

ELECTRICAL LEGEND			
	CEILING LIGHT		WALL LIGHT
	ELEC. PLUG		FLUE
	220 PLUG		SMOKE DETECTOR
	USB PAIRED PLUG		SD/CO DETECTOR
	TELEPHONE		VAC. ROUGH IN
	TV/CAT5E		CHIME
	THERMOSTAT		SINGLE SWITCH
	3 WAY SWITCH		ELEC. WIRING
	WEEPING TILE TEE		SPEAKER
	GAS METER		
ELECTRICAL LOCATIONS SUBJECT TO CHANGE AS REQUIRED BY CODE			

Address: 1919 157 STREET SW, EDMONTON, AB 20 / 28 / 222-0146	Customer: BATRA & HANDA		Page: 9	
	Model: COLUMBIA (P-GR)		Trailblazer Series	
	Job #: 9905P		Pacesetter Homes A QUALICO Company	
Drawn By: N. HUNT-LEE <small>These blueprints are the property of Pacesetter Homes Ltd. 3203 - 93 Street, Edmonton, Alberta T6N 0B2. All rights reserved, including the right of reproduction in whole or in part, in any form, without the written permission of Pacesetter Homes Ltd.</small>	Scale: 3/16" = 1'-0"		Const.	Market.
	Date: 7/25/2023 11:55:24 AM		Main Fl.	931 SF
	Bsmnt. Devl: 0 SF		Upper Fl.	1144 SF
		Total		2075 SF
				2185 SF



	MAXIMUM CAPACITY (20MPa Conc.)	CONC. PAD DIMENSIONS (L x W x d)	AMOUNT & SIZE OF REBAR
1	8,350 LBS	24"x24"x9"	2-10 M
2	13,050 LBS	30"x30"x9"	3-10 M
3	18,800 LBS	36"x36"x9"	4-10 M
4	25,580 LBS	42"x42"x9"	5-10 M
5	33,420 LBS	48"x48"x10"	7-10 M

REBAR SPACING AS PER MITEK'S DETAIL

PAD LEGEND
(BASED ON MITEK COLUMNS)

BASEMENT CEILING TO HAVE
MINIMUM 6" ROXUL INSULATION c/w
RESILIENT CHANNEL FOR STC RATING

**** NO VENTING ALLOWED ON THIS SIDE ****

FOUNDATION PLAN

****ALL FROST WALLS TO BE****

8" THICK INCLUDING AIR GAP

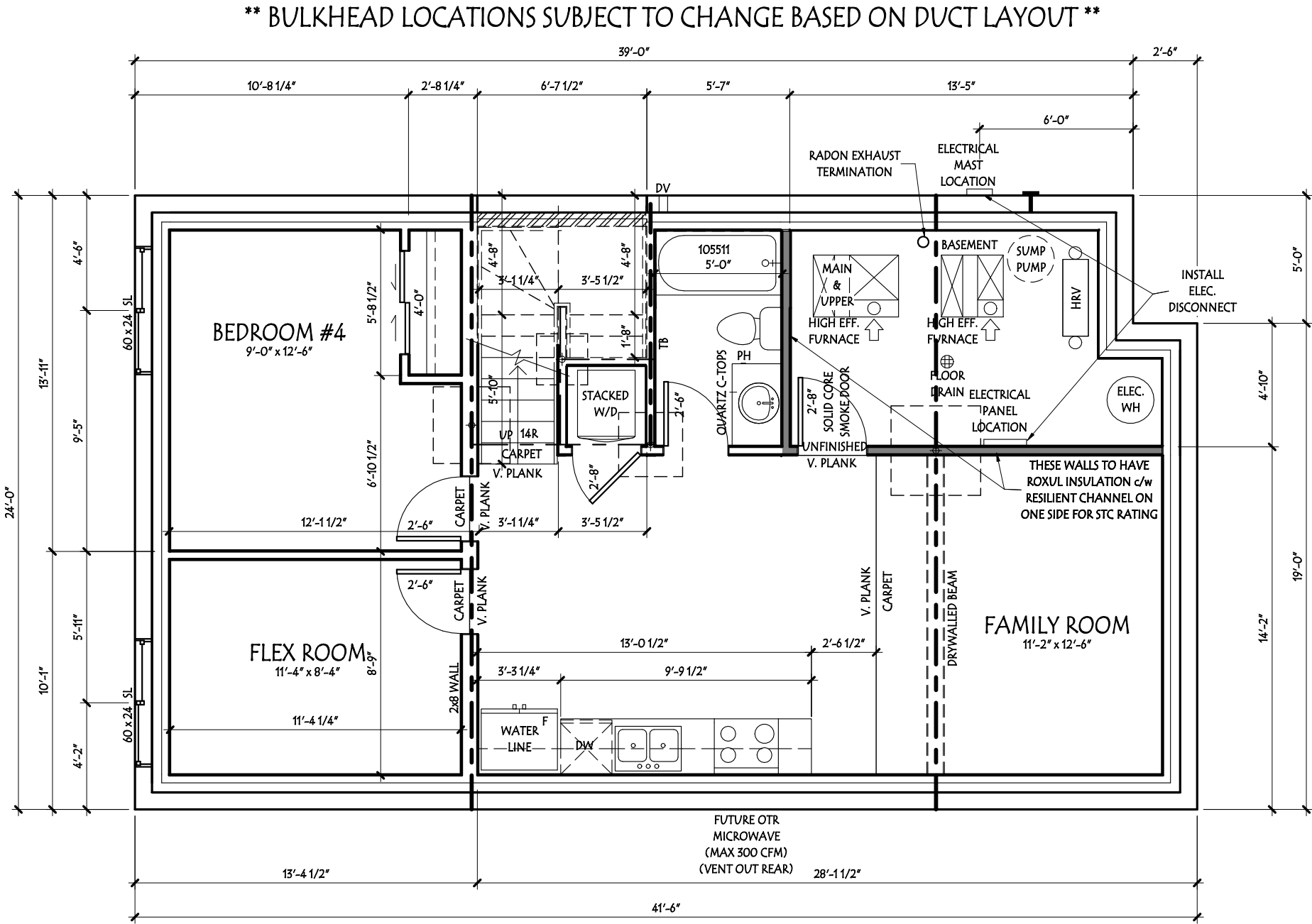
(UNLESS NOTED OTHERWISE)

ERRORS AND OMMISIONS

Home plan perusal and confirmation is essential prior to home construction. However, errors and omissions may occur on the plans. Such errors and omissions are overruled by any addendums, specifications and the offer to purchase. The builder will not be responsible for such errors and omissions.

Customer Initial: ^{DS} PB

Address:		1919 157 STREET SW, EDMONTON, AB 20 / 28 / 222-0146	
Drawn By:	N. HUNT-LEE	Model:	COLUMBIA (P-GR)
These blueprints are the property of Pacesetter Homes Ltd. 3203 - 93 Street, Edmonton, Alberta T6N 0B2. All rights reserved, including the right of reproduction in whole or in part, in any form, without the written permission of Pacesetter Homes Ltd.	Construction Square footage is based on floor area Marketing Square footage includes stairwells	Scale:	3/16" = 1'-0"
		Date:	7/25/2023 11:55:25 AM
		Bsmnt. Devl:	0 SF
Customer:		BATRA & HANDA	
JOB #:	9905P	TRAILBLAZER SERIES	
			</



BASEMENT DEVELOPMENT PLAN

**** SPLATTER COAT TEXTURE CEILINGS THROUGHOUT ****

DRYWALL & FIRE TAPE
MECHANICAL ROOM WALLS
& CEILING FOR STC RATING

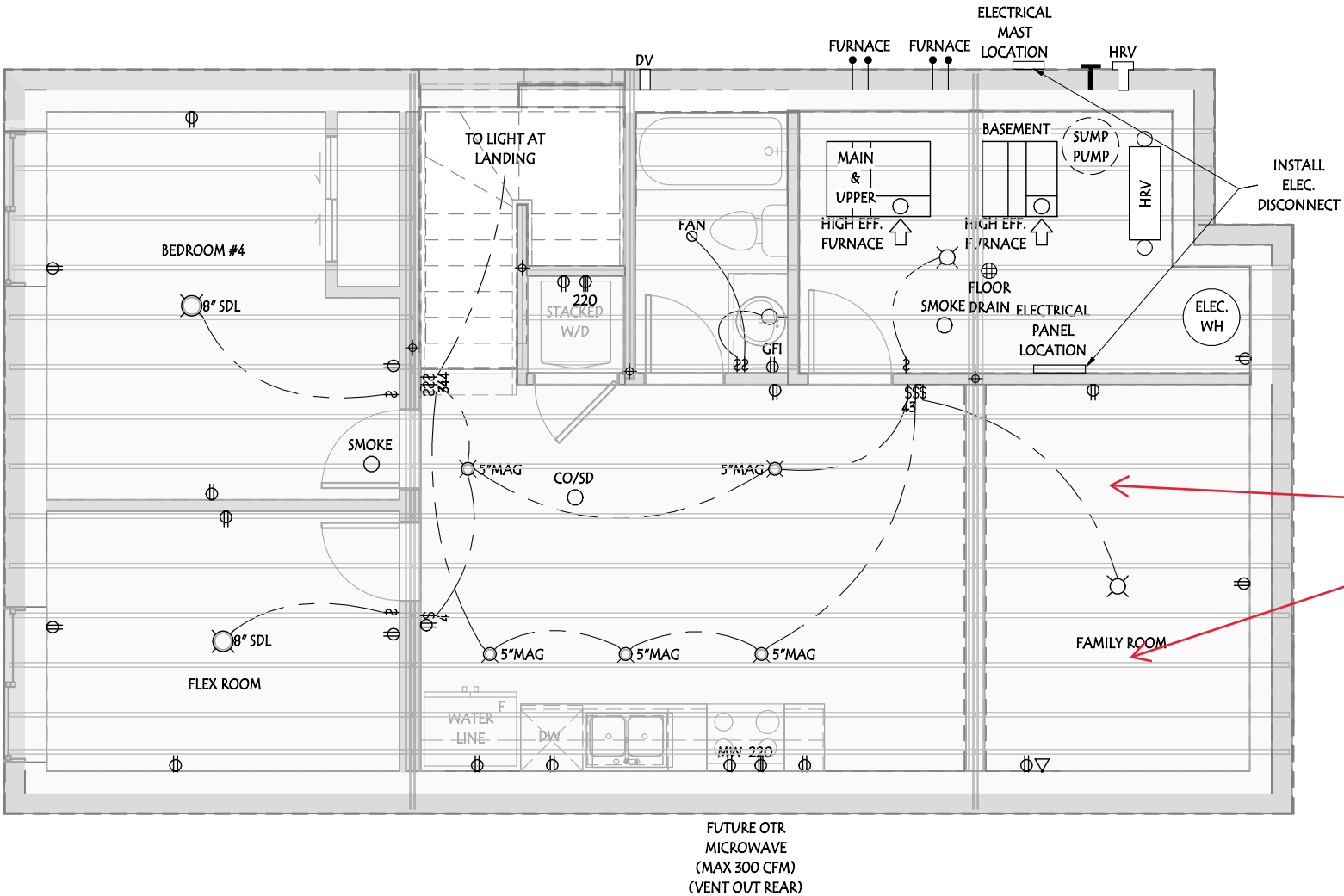
BASEMENT CEILING TO HAVE
MINIMUM 6" ROXUL INSULATION c/w
RESILIENT CHANNEL FOR STC RATING

ERRORS AND OMMISIONS

Home plan perusal and confirmation is essential prior to home construction. However, errors and omissions may occur on the plans. Such errors and omissions are overruled by any addendums, specifications and the offer to purchase. The builder will not be responsible for such errors and omissions.

Customer Initial: PB

Address:		1919 157 STREET SW, EDMONTON, AB 20 / 28 / 222-0146		Customer: BATRA & HANDA		Page:			
Drawn By:		N. HUNT-LEE		Model: COLUMBIA (P-GR)		JOB #: 9905P		TRAILBLAZER SERIES	
These blueprints are the property of Pacesetter Homes Ltd. 3203 - 93 Street, Edmonton, Alberta T6N 0B2. All rights reserved, including the right of reproduction in whole or in part, in any form, without the written permission of Pacesetter Homes Ltd.		Scale:		3/16" = 1'-0"		Const.		Market.	
		Date:		7/25/2023 11:55:27 AM		Main Fl.		931 SF	
		Bsmnt. Devl:		0 SF		Upper Fl.		1144 SF	
Construction Square footage is based on floor area Marketing Square footage includes stairwells						Total		2075 SF	
								11	
								14	
								A QUALICO Company	






















Addendum 15/18
Item 2
Family room lights

ERRORS AND OMMISIONS


Home plan perusal and confirmation is essential prior to home construction. However, errors and omissions may occur on the plans. Such errors and omissions are overruled by any addendums, specifications and the offer to purchase. The builder will not be responsible for such errors and omissions.

Customer Initial: PB

ELECTRICAL LEGEND			
	CEILING LIGHT		WALL LIGHT
	ELEC. PLUG		FLUE
	220 PLUG		SMOKE DETECTOR
	USB PAIRED PLUG		SD/CO DETECTOR
	TELEPHONE		VAC. ROUGH IN
	TV/CAT5E		CHIME
	THERMOSTAT		SINGLE SWITCH
	3 WAY SWITCH		ELEC. WIRING
	WEEPING TILE TEE		SPEAKER
	GAS METER		
ELECTRICAL LOCATIONS SUBJECT TO CHANGE AS REQUIRED BY CODE			

** NO VENTING ALLOWED ON THIS SIDE **

BASEMENT DEVELOPMENT ELEC. LAYOUT

Address: 1919 157 STREET SW, EDMONTON, AB 20 / 28 / 222-0146	Customer: BATRA & HANDA		Page:	
	Model: COLUMBIA (P-GR)	JOB #: 9905P	TRAILBLAZER SERIES	
Drawn By: N. HUNT-LEE These blueprints are the property of Pacesetter Homes Ltd. 3203 - 93 Street, Edmonton, Alberta T6N 0B2. All rights reserved, including the right of reproduction in whole or in part, in any form, without the written permission of Pacesetter Homes Ltd.	Scale: 3/16" = 1'-0"		Const.	Market.
	Date: 7/25/2023 11:55:28 AM	Main Fl.	931 SF	983 SF
	Bsmnt. Devl: 0 SF	Upper Fl.	1144 SF	1202 SF
		Total	2075 SF	2185 SF
Construction Square footage is based on floor area Marketing Square footage includes stairwells				
			 A QUALICO® Company	
			11a	
			14	

- NOTES
- TRADES ARE RESPONSIBLE FOR CHECKING ALL DIMENSIONS & NOTES AND REPORTING ANY DISCREPANCIES TO THE DESIGNER PRIOR TO CONSTRUCTION.
- ALL LOAD BEARING LINTELS TO BE 2-2x10 #2 SPRUCE UNLESS NOTED OTHERWISE
 - FINAL EXTERIOR GRADES MAY VARY
 - WINDOW AND DOOR SIZES SHOWN ARE APPROXIMATE ONLY. EXACT ROUGH OPENINGS TO BE SUPPLIED BY MANUFACTURER PRIOR TO CONSTRUCTION.
 - MECHANICAL LAYOUT AND SPECS. SUPPLIED BY OTHERS.
 - ROOF SHALL BE VENTED WITH AN UNOBSTRUCTED VENT AREA OF NOT LESS THAN 1/300 OF THE CEILING AREA.
 - ALL EXTERIOR WALLS WHERE MONO TRUSSES ARE ATTACHED SHALL BE SEALED & PAPERED BEFORE INSTALLING TRUSSES
 - THE AREAS REQUIRING VENTILATION WITHIN THE ROOF SPACE OR ATTIC SHALL CONFORM TO NBC - 2019 ALBERTA EDITION 9.19.1.
 - ATTIC ACCESS TO BE WEATHERSTRIPPED & INSULATED AS PER NBC - 2019 ALBERTA EDITION 9.19.2.1.
 - STEP FOOTING FOR WALKOUTS SHALL BE MAX. RISE 24" & MINIMUM HORIZONTAL DISTANCE OF 24" AS PER NBC - 2019 ALBERTA EDITION 9.15.8.9.
 - COMBUSTION AIR SHALL BE PROVIDED FOR FIREPLACE AS PER NBC - 2019 ALBERTA EDITION 9.22.1.4.
 - SMOKE ALARMS TO CONFORM TO NBC - 2019 ALBERTA EDITION 9.10.19.
 - IF WEEPING TILE IS REQUIRED SLAB ON GROUND SHALL BE DAMPROOFED AS PER NBC - 2019 ALBERTA EDITION 9.13.4.
 - EXACT LOCATION OF MECHANICAL, ELECTRICAL, AND PLUMBING EQUIPMENT SUBJECT TO CHANGE DUE TO SITE CONDITIONS.
 - GARAGE ENTRY STAIRS MAY VARY IN NUMBER OF RISERS AND LOCATION DUE TO SITE CONDITIONS
 - ELEVATIONS, FLOOR LAYOUT AND ROOM DIMENSIONS ARE SUBJECT TO CHANGE DUE TO SITE CONDITIONS
 - DRIVEWAYS, SIDEWALKS, AND PARKING PADS SUBJECT TO CHANGE DUE TO SITE CONDITIONS

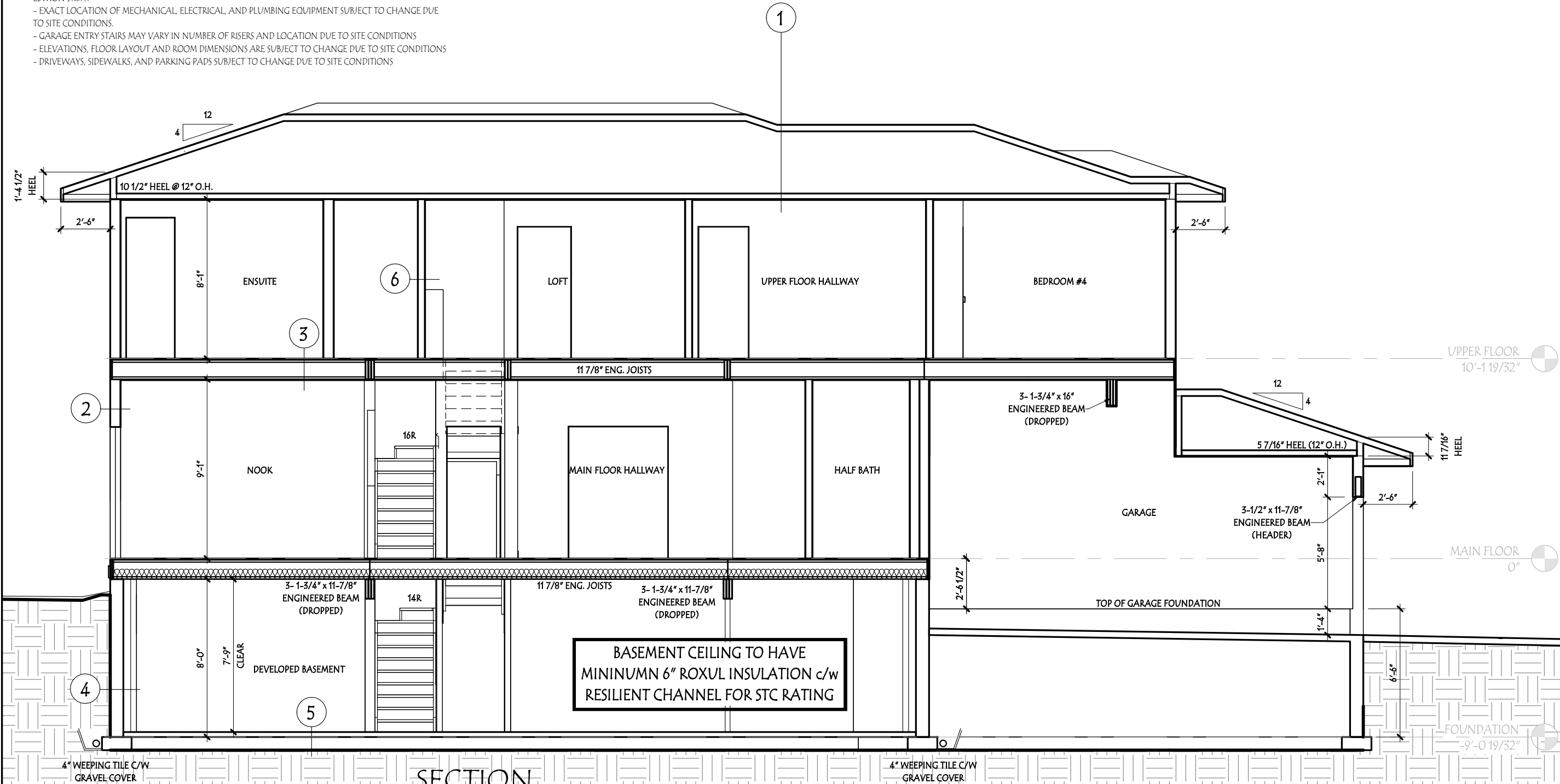
REFER TO PAGE13 FOR KEYNOTES

ERRORS AND OMMISIONS

Home plan perusal and confirmation is essential prior to home construction. However, errors and omissions may occur on the plans. Such errors and omissions are overruled by any addendums, specifications and the offer to purchase. The builder will not be responsible for such errors and omissions.

Customer Initial:

DS
PB



Customer: BATRA & HANDA

JOB #: 9905P

Model: COLUMBIA (P-GR)

Scale: 3/16" = 1'-0"

Date: 7/25/2023 11:55:29 AM

Bsmnt. Devl: 0 SF

Address: 1919 157 STREET SW, EDMONTON, AB 20 / 28 / 222-0146

Drawn By: N. HUNT-LEE

These blueprints are the property of Pacesetter Homes Ltd. 3203 - 93 Street, Edmonton, Alberta T6N 0B2. All rights reserved, including the right of reproduction in whole or in part, in any form, without the written permission of Pacesetter Homes Ltd.

Construction Square footage is based on floor area
Marketing Square footage includes stairwells

TRAILBLAZER SERIES

Const. Market.

Main Fl. 931 SF

Upper Fl. 1144 SF

Total 2075 SF

12

983 SF

1202 SF

2185 SF

Page:

12

14



1 ROOF ASSEMBLIES

UPPER FLOOR ROOF (6.90 RSI)
ASPHALT SHINGLES
3/8" O.S.B. SHEATHING c/w 'H'CLIPS
ENGINEERED WOOD TRUSSES @24" o/c
R-40 LOOSE FILL INSULATION
6 mil CGSB POLY VAPOR BARRIER
1/2" C.D. DRYWALL

UPPER FLOOR VAULTED CEILING (4.06 RSI)
IF REQUIRED AS PER PLANS
ASPHALT SHINGLES
3/8" O.S.B. SHEATHING c/w 'H'CLIPS
ENGINEERED WOOD TRUSSES @24" o/c
R-40 BATT INSULATION
6 mil CGSB POLY VAPOR BARRIER
1/2" C.D. DRYWALL

2 EXTERIOR WALL ASSEMBLIES

STANDARD EXTERIOR WALL (2.77 RSI)
INCLUDES EXTERIOR WALLS OF ATTACHED GARAGE, IF APPLICABLE
EXTERIOR CLADDING AS PER PLAN
BUILDING PAPER (AS REQ'D)
3/8" O.S.B. SHEATHING
2X6 STUDS @ 24" o/c (2X6 STUDS @ 16" o/c ON AREAS WHERE MANUFACTURED STONE OR BRICK IS APPLIED)
R-20 BATT INSULATION
6 mil. CGSB POLY VAPOR BARRIER
1/2" DRYWALL

EXTERIOR TALL WALL (2.63 RSI)
IF REQUIRED AS PER PLANS
EXTERIOR CLADDING AS PER PLAN
BUILDING PAPER (AS REQ'D)
3/8" O.S.B. SHEATHING (1/2" DENSGLASS OR EQUIVALENT FOR ZLL)
2X6 STUDS AS PER ENGINEER'S DETAIL
R-20 BATT INSULATION
6 mil. CGSB POLY VAPOR BARRIER
1/2" DRYWALL

ATTACHED GARAGE/HOUSE WALL (2.85 RSI)
IF REQUIRED AS PER PLANS
1/2" DRYWALL (FIRE TAPED)
3/8" O.S.B. SHEATHING
2X6 STUDS @ 24" o/c
R-20 BATT INSULATION
6 mil. CGSB POLY VAPOR BARRIER
1/2" DRYWALL

EXTERIOR CANTILEVERED WALL (2.78 RSI)
WITHIN 1.2m SIDE YARD SETBACK
IF REQUIRED AS PER PLANS
EXTERIOR CLADDING AS PER PLAN
BUILDING PAPER (AS REQ'D)
5/8" DENSGLASS OR EQUIVALENT
2X6 STUDS @ 24" o/c
R-20 BATT INSULATION
6 mil. CGSB POLY VAPOR BARRIER
1/2" DRYWALL

EXTERIOR ZERO LOT LINE WALL (2.69 RSI)
WITHIN 1.2m SIDE YARD SETBACK
IF REQUIRED AS PER PLANS
EXTERIOR CLADDING AS PER PLAN
BUILDING PAPER (AS REQ'D)
1/2" DENSGLASS OR EQUIVALENT
2X6 STUDS @ 16" o/c
R-20 BATT INSULATION
6 mil. CGSB POLY VAPOR BARRIER
5/8" TYPE 'X' DRYWALL

EXTERIOR PARTY WALL JOGS (3.51 RSI)
IF REQUIRED AS PER PLANS
EXTERIOR CLADDING AS PER PLAN
BUILDING PAPER (AS REQ'D)
5/8" DENSGLASS OR EQUIVALENT
2X4 STUDS @ 16" o/c
R-12 BATT INSULATION
1" AIR SPACE
2X4 STUDS @ 16" o/c
R-12 BATT INSULATION
6 mil. CGSB POLY VAPOR BARRIER
5/8" TYPE 'X' DRYWALL

3 FLOOR ASSEMBLIES

INTERIOR FLOOR (N/A RSI)
FLOOR FINISH AS SPECIFIED
3/8" U-LAY IN LINO AREAS
23/32" T&G OSB SUBFLOOR GLUED AND SCREWED
ENGINEERED WOOD JOISTS AS PER MANUFACTURER

FLOOR OVER UNHEATED SPACE (6.67 RSI)
FLOOR FINISH AS SPECIFIED
3/8" U-LAY IN LINO AREAS
23/32" T&G OSB SUBFLOOR GLUED AND SCREWED
6 mil. CGSB POLY VAPOR BARRIER
ENGINEERED WOOD JOISTS AS PER MANUFACTURER
R-40 1/2 lb OPEN-CELL SPRAY FOAM INSULATION
1/2" DRYWALL

CANTILEVERED MAIN FLOOR (5.18 RSI)
IF REQUIRED AS PER PLANS
FLOOR FINISH AS SPECIFIED
3/8" U-LAY IN LINO AREAS
23/32" T&G OSB SUBFLOOR GLUED AND SCREWED
6 mil. CGSB POLY VAPOR BARRIER
ENGINEERED WOOD JOISTS AS PER MANUFACTURER
R-28 2lb CLOSED-CELL SPRAY FOAM INSULATION
3/8" OSB SHEATHING
NON-VENTED METAL SOFFIT

CANTILEVERED UPPER FLOOR (6.79 RSI)
IF REQUIRED AS PER PLANS
FLOOR FINISH AS SPECIFIED
3/8" U-LAY IN LINO AREAS
23/32" T&G OSB SUBFLOOR GLUED AND SCREWED
6 mil. CGSB POLY VAPOR BARRIER
ENGINEERED WOOD JOISTS AS PER MANUFACTURER
R-40 2lb CLOSED-CELL SPRAY FOAM INSULATION
3/8" OSB SHEATHING
NON-VENTED METAL SOFFIT

4 BASEMENT WALL ASSEMBLIES

FOUNDATION W/ FROST WALL (2.08 RSI)
**UNLESS NOTED OTHERWISE ON PLANS
PARGING ABOVE GRADE
DAMP-PROOFING ON EXTERIOR OF FOUNDATION WALLS (TO COMPLY WITH NBC - 2019 ALBERTA EDITION 9.13.2.3.(2)(a)(iii))
8" CONC FOUNDATION WALL C/W 2 ROWS OF 2-#10 BARS STUDS @24" o/c
R-12 BATT INSULATION
6 mil CGSB POLY VAPOR BARRIER
1/2" DRYWALL (FINISHED AREAS)
18"x 8" CONCRETE STRIP FOOTING OR AS REQUIRED BY ENGINEER'S REPORT
TELEPOST PAD FOOTINGS AS PER PLAN
WINDOWS OVER 48 INCHES IN LENGTH TO BE BRACED AS PER ENGINEER'S DETAIL
OPEN TO BELOW AREA WALLS WILL BE REINFORCED AS PER ENGINEER'S DETAIL

5 BASEMENT FLOOR ASSEMBLY (0.19 RSI)

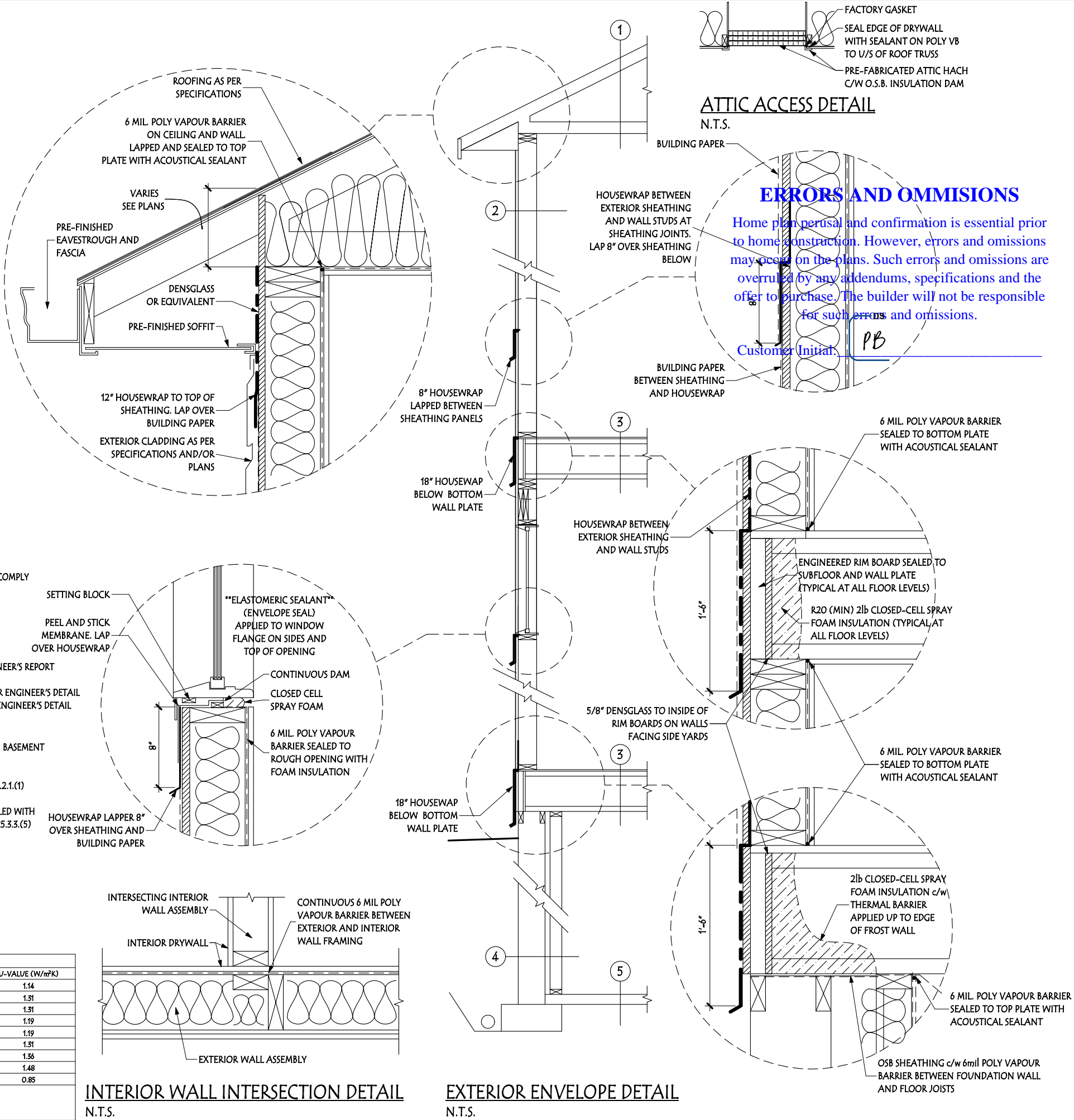
A) CUPOLEX CONCRETE FORMS USED AS A BASE BELOW THE BASEMENT CONCRETE SLAB. REFER TO ENGINEER'S DETAIL OR
B) 8" FILL TO COMPLY WITH NBC-2019 ALBERTA EDITION 9.16.2.1.(1)
6mil CGSB POLY VAPOR BARRIER
3" CONCRETE SLAB - ALL SEAMS & PENETRATIONS TO BE SEALED WITH FLEXIBLE SEALANT AS PER NBC - 2019 ALBERTA EDITION - 9.25.3.3.(5)

6 INTERIOR WALL ASSEMBLIES (N/A RSI)

1/2" DRYWALL
2X4" STUDS @ 24" O.C. (OR DEEPER STUD IF REQUIRED ON PLANS)
1/2" DRYWALL

¹ RSI VALUE EXCLUDES FINISHED CLADDING
² RSI VALUE EXCLUDES INTERIOR FINISHED MATERIAL

** ALL WINDOWS TO BE AS PER U-VALUES BELOW OR LESS **			
TYPE / OPERATION	GLAZING**	SERIES	U-VALUE (W/m²K)
PICTURE	HS2 / HS5 W/ ARGON	6700	1.14
SLIDER	HS2 / HS5 W/ ARGON	6700	1.31
SINGLE HUNG	HS2 / HS5 W/ ARGON	6700	1.31
CASEMENT	HS2 / HS5 W/ ARGON	9100	1.19
AWNING	HS2 / HS5 W/ ARGON	9100	1.19
BASEMENT SLIDER	HS2 W/ ARGON	5600	1.31
EXTERIOR DOOR w/ GLAZING	HS1 W/ ARGON	--	1.36
EXTERIOR PATIO/GARDEN DOOR	HS1 W/ ARGON	--	1.48
EXTERIOR DOOR w/o GLAZING	--	--	0.85
**HS1 GLAZING=DUAL PANE (CLEAR / LOW-E) HS2 GLAZING=TRIPLE PANE (CLEAR/CLEAR/LOW-E) HS5 GLAZING=TRIPLE PANE (CLEAR/CLEAR/SUNSTOP)			



INTERIOR WALL INTERSECTION DETAIL
N.T.S.

EXTERIOR ENVELOPE DETAIL
N.T.S.

Customer: BATRA & HANDA

Address: 1919 157 STREET SW, EDMONTON, AB 20 / 28 / 222-0146

Drawn By: N. HUNT-LEE

These blueprints are the property of Pacesetter Homes Ltd. 3203 - 93 Street, Edmonton, Alberta T6N 0B2. All rights reserved, including the right of reproduction in whole or in part, in any form, without the written permission of Pacesetter Homes Ltd.

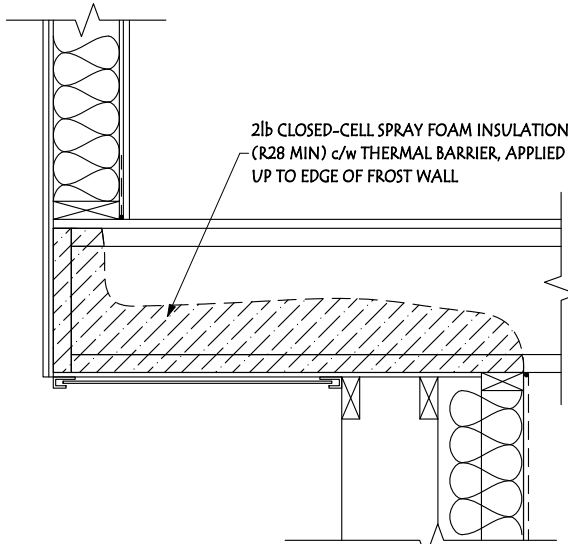
Construction Square footage is based on floor area
Marketing Square footage includes stairwells

JOB #: 9905P

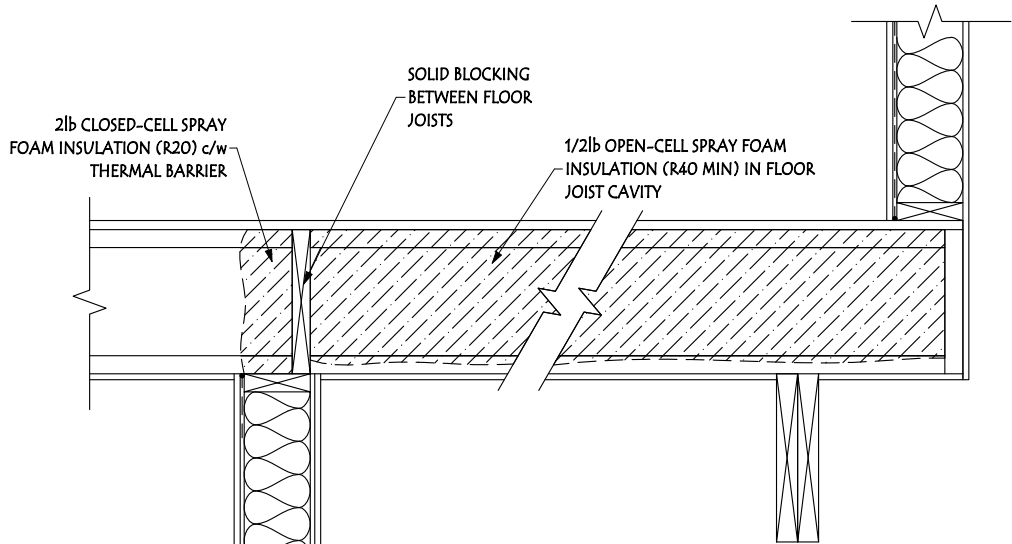
Const.	Market.
931 SF	983 SF
1144 SF	1202 SF
2075 SF	2185 SF
Total	

TRAILBLAZER SERIES

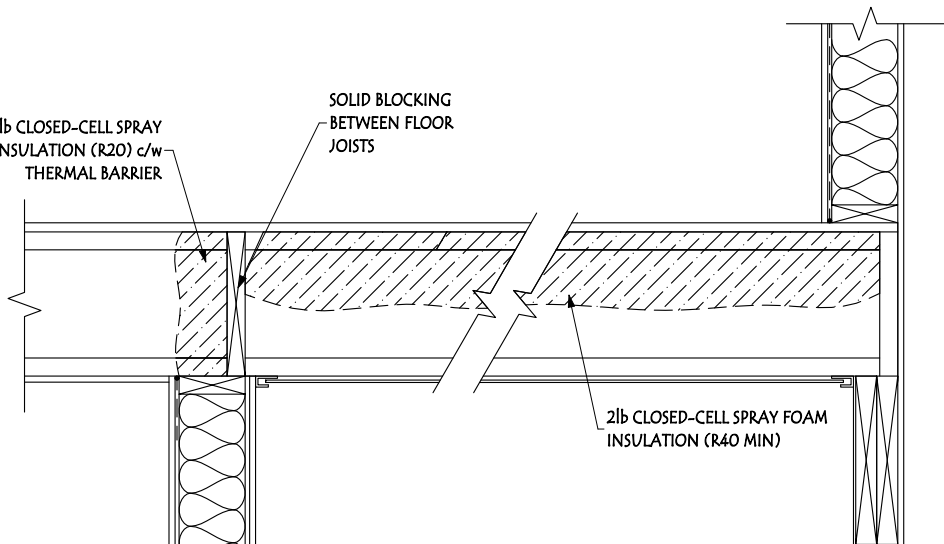
Page:



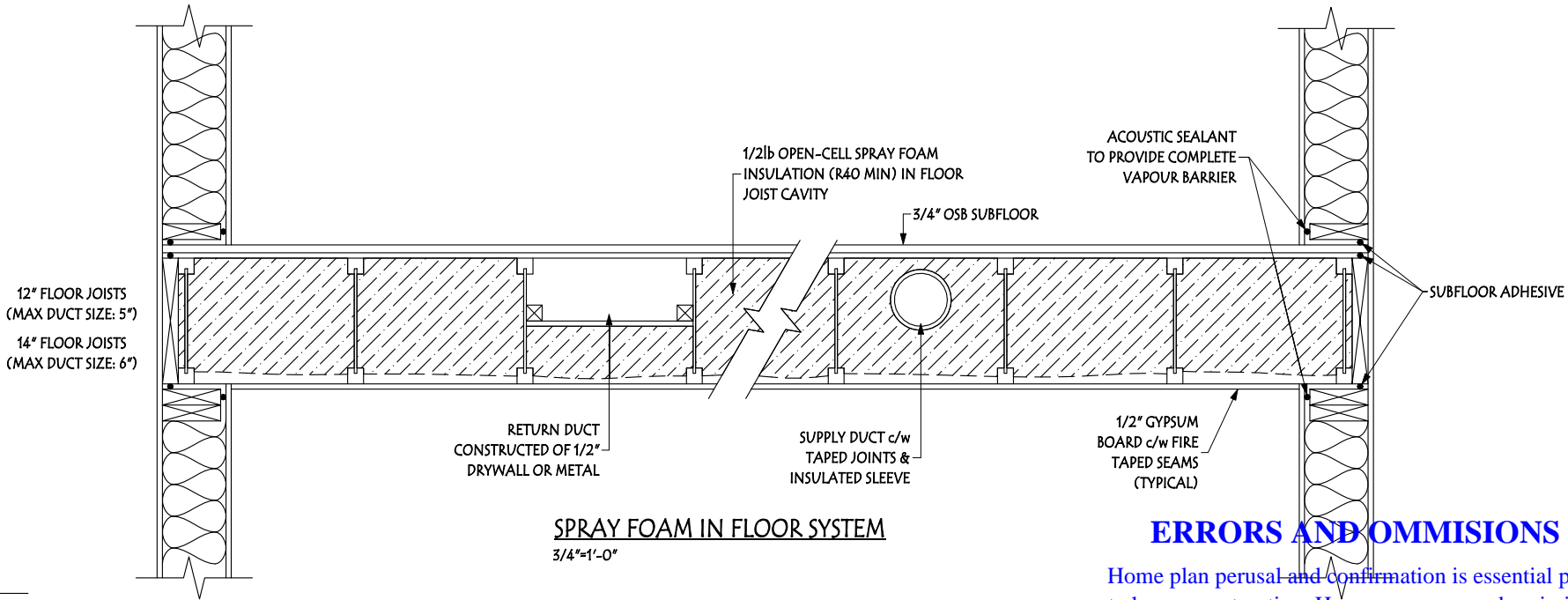
MAIN FLOOR CANTILEVER DETAIL - 3FT OR LESS
3/4"=1'-0"



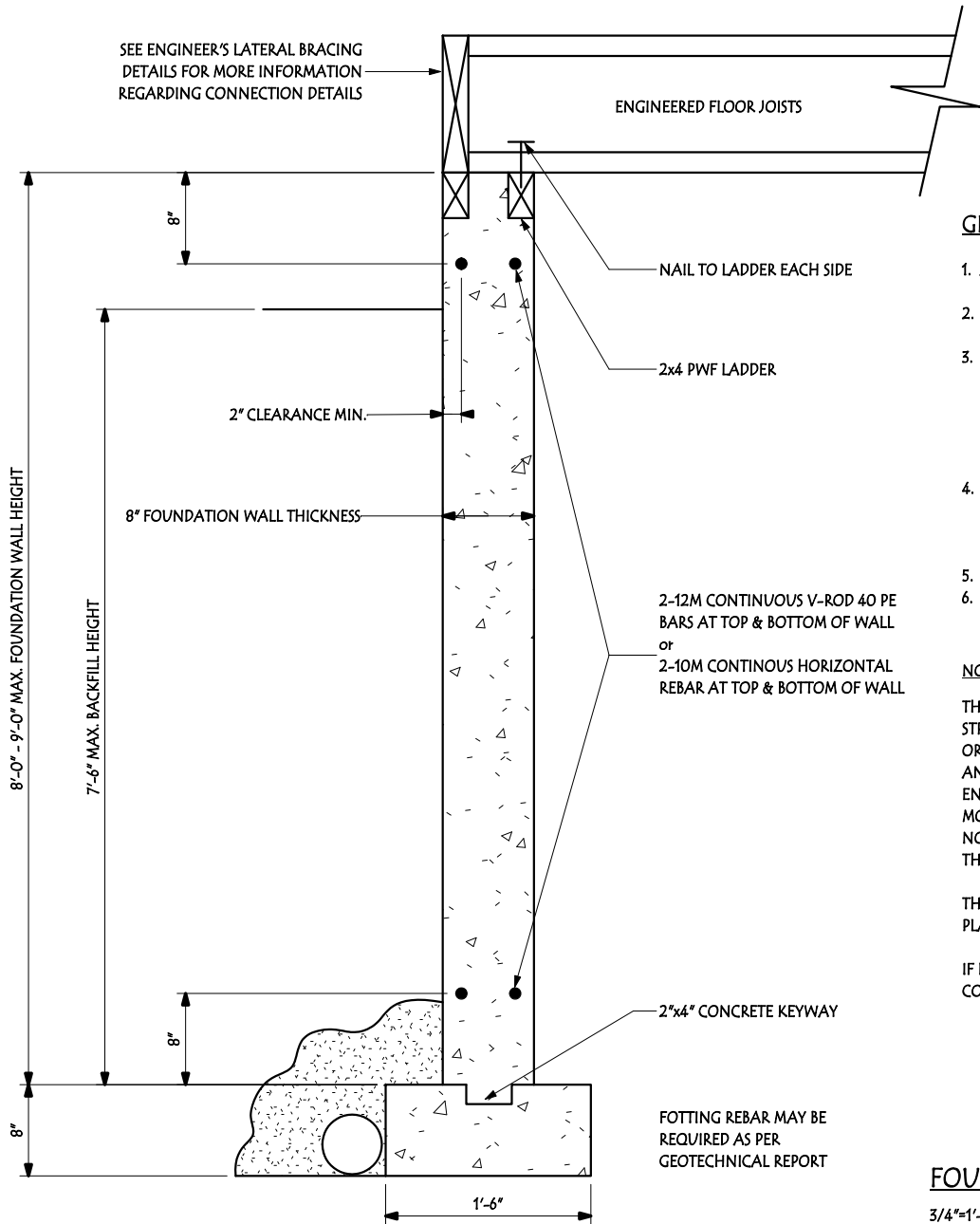
FLOOR ABOVE UNHEATED SPACE DETAIL
3/4"=1'-0"



LARGE EXTERIOR OVERHANG DETAIL
3/4"=1'-0"



SPRAY FOAM IN FLOOR SYSTEM
3/4"=1'-0"



FOUNDATION WALL DETAIL
3/4"=1'-0"

ERRORS AND OMMISIONS

Home plan perusal and confirmation is essential prior to home construction. However, errors and omissions may occur on the plans. Such errors and omissions are overruled by any addendums, specifications and the offer to purchase. The builder will not be responsible for such errors and omissions.

Customer Initial: PB

GENERAL NOTES:


- ALL OF THE CONSTRUCTION SHOULD BE IN ACCORDANCE WITH THE CURRENT NATIONAL BUILDING CODE (NBC - 2019 ALBERTA EDITION).
- SEE MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION / SUPPORT OF ENGINEERED FLOOR JOISTS.
- CONCRETE:
 - 32 MPA TYPE 50 (HS) OR SPECIFIED IN SULPHATE TEST REPORT
 - ALL CONCRETE EXPOSED TO FREEZE / THAW CYCLE HAS A MINIMUM AIR ENTRAINMENT OF 5-7%
 - INTERNAL VIBRATION WITH A 31.8mm (1.25") MECHANICAL VIBRATOR
 - MAXIMUM CONCRETE FORM PRESSURE (HURD, THUNMAN) 29KPa
- REINFORCING DETAIL
 - IT IS DESIGNED TO CSA A23.3-94
 - IT REINFORCES TO CSA CAN-A23.1-M90 AND CSA G30.12.M77
 - ITS STRENGTH IS 400 MPa
- PROVIDE WEEPING TILES AROUND FOOTINGS c/w DRAIN GRAVEL
- FOOTING SIZES AS PER CURRENT NBC AND/OR GEOTECHNICAL ENGINEER'S RECOMMENDATIONS

NOTES:

THE CONTRACTOR TO VERIFY ALL DIMENSIONS AND DATA NOTED ON THE STRUCTURAL DRAWING WITH CONDITIONS ON SITE. CONTRACTOR IS TO CO-ORDINATE ALL OF THE DIMENSIONS WITH THE ARCHITECTURAL DRAWINGS AND IS HELD RESPONSIBLE FOR REPORTING ANY DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK. VARIATIONS AND MODIFICATIONS TO WORK SHOWN ON THE STRUCTURAL DRAWINGS SHALL NOT BE CARRIED OUT WITHOUT WRITTEN PERMISSION FROM THE ENGINEER. THIS DRAWING IS NOT TO BE SCALED

THIS DETAIL IS VALID WHEN BACKFILL SOILS ARE SAND / GRAVEL OR LOW PLASTIC

IF BACKFILL SOILS ARE MEDIUM TO HIGH PLASTIC THEN ENGINEER SHOULD BE CONTACTED

Address: 1919 157 STREET SW, EDMONTON, AB 20 / 28 / 222-0146		Customer: BATRA & HANDA		Page: 14	
Drawn By: N. HUNT-LEE These blueprints are the property of Pacesetter Homes Ltd. 3203 - 93 Street, Edmonton, Alberta T6N 0B2. All rights reserved, including the right of reproduction in whole or in part, in any form, without the written permission of Pacesetter Homes Ltd. Construction Square footage is based on floor area Marketing Square footage includes stairwells	Model: COLUMBIA (P-GR)	JOB #:	9905P	TRAILBLAZER SERIES	
	Scale: 3/16" = 1'-0"		Const.	Market.	 A QUALICO® Company
	Date: 7/25/2023 11:55:30 AM	Main Fl.	931 SF	983 SF	
	Bsmnt. Devl:	Upper Fl.	1144 SF	1202 SF	
		Total	2075 SF	2185 SF	