



JOB# 59211 - 59212 - 59213 - 59214

SPEC HOME-SPEC HOME-SPEC HOME-SPEC HOME
5317, 5315, 5313 & 5311-ADMIRAL GIROUARD STREET NW
EDMONTON
86 , 87 , 88 & 89 / 25 / 182-2492
GRIESBACH

PRINT LIST

NUMBER	DATE	NAME	PAGES
1	JUNE 23, 2021	K. VARGAS	ALL
2	JUNE 29, 2021	K. VARGAS	ALL
3	JULY 13, 2021	K. VARGAS	ALL

DS
RA



UNIT - BRISTOL (L)
JOB# 59211
5317 - ADMIRAL
GIROUARD STREET NW

UNIT - CALDER (L)
JOB# 59212
5315 - ADMIRAL
GIROUARD STREET NW

UNIT - CALDER (R)
JOB# 59213
5313 - ADMIRAL
GIROUARD STREET NW

UNIT - BRISTOL (R)
JOB# 59214
5311 - ADMIRAL
GIROUARD STREET NW

OVERALL FRONT ELEVATION
(NOT TO SCALE)

Address: 5317, 5315, 5313 & 5311 - ADMIRAL GIROUARD STREET NW EDMONTON, AB 86, 87, 88 & 89 / 25 / 182-2492		Model: BRISTOL-CALDER 4 (P-GB) (SHELL 4BC-PI)	
Job #: 59211, 59212, 59213 & 59214		Date: November 22, 2021	Page
Drawn By: Krizel Vargas	Main:	PACESETTER DESIGN SERIES	1
	Upper:		
	Total:		
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		SCALE: 3/16" = 1'-0"	17



UNIT - BRISTOL (R)
JOB# 59214
5311 - ADMIRAL
GIROUARD STREET NW

UNIT - CALDER (R)
JOB# 59213
5313 - ADMIRAL
GIROUARD STREET NW

UNIT - CALDER (L)
JOB# 59212
5315 - ADMIRAL
GIROUARD STREET NW

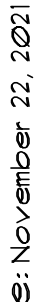
UNIT - BRISTOL (L)
JOB# 59211
5317 - ADMIRAL
GIROUARD STREET NW

OVERALL REAR ELEVATION
(NOT TO SCALE)

Model: BRISTOL-CALDER 4 (P-GB) (SHELL 4BC-PI)		Page	
Address: 5317, 5315, 5313 & 5311 - ADMIRAL GIROUARD STREET NW EDMONTON, AB		Date: November 22, 2021	
Job #: 59211, 59212, 59213 & 59214		PACESETTER DESIGN SERIES	
Drawn By: Krizel Vargas		2	
These blueprints are the property of Pacesetter Homes Ltd. 3203 - 93 Street, Edmonton, Alberta T6N 0B2. All rights reserved, including the right of reproduction in whole or in part, in any form, without the written permission of Pacesetter Homes Ltd.		Main:	104 Sq.Ft. UNIT - BRISTOL (L) 618 Sq.Ft. UNIT - CALDER (R) 618 Sq.Ft. UNIT - CALDER (L) 104 Sq.Ft. UNIT - BRISTOL (R)
		Upper:	652 Sq.Ft. UNIT - BRISTOL (L) 610 Sq.Ft. UNIT - CALDER (R) 610 Sq.Ft. UNIT - CALDER (L) 652 Sq.Ft. UNIT - BRISTOL (R)
		Total:	1356 Sq.Ft. UNIT - BRISTOL (L) 1348 Sq.Ft. UNIT - CALDER (R) 1348 Sq.Ft. UNIT - CALDER (L) 1356 Sq.Ft. UNIT - BRISTOL (R)
			
17			

(UNLESS NOTED OTHERWISE)



Job #: 59211, 59212, 59213 & 59214	SCALE: 3/16" = 1'-0"		Date: November 22, 2021	Page
Drawn By: Krizel Vargas	Main:	104 sq.ft. UNIT - BRISTOL (L) 618 sq.ft. UNIT - CALDER (R) 618 sq.ft. UNIT - CALDER (L) 104 sq.ft. UNIT - BRISTOL (R)	PACSETTER DESIGN SERIES	3
	Upper:	653 sq.ft. UNIT - BRISTOL (L) 670 sq.ft. UNIT - CALDER (R) 610 sq.ft. UNIT - CALDER (L) 652 sq.ft. UNIT - BRISTOL (R)		
	Total:	1356 sq.ft. UNIT - BRISTOL (L) 1348 sq.ft. UNIT - CALDER (R) 1348 sq.ft. UNIT - CALDER (L) 1356 sq.ft. UNIT - BRISTOL (R)		
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			17	

(4' ON EACH SIDE OF PARTY WALLS &)

APPLY 5/8" TYPE 'X' DRYWALL
TO INTERIOR SURFACES AND
5/8" DENSGLASS OR EQUIVALENT TO
EXTERIOR SURFACES TO UNDERSIDE OF
ROOF SHEATHING ON THESE WALL PLANES.

6" SMART BOARD BATTEN
(TYP. AT FRONT DOORS)

15"x15" CREZON CLAD POSTS
c/w 6" SMART BOARD COLLARS & 2"
SMART BOARD CORNERS
OVER 15"x15" MANUFACTURED
STONE CLAD POSTS

SET POST BACK FROM EDGES OF STEP
TO ALLOW FOR STONE

HATCHED AREA INDICATES
NON-VENTED SOFFIT. EXTRA
ROOF VENTING REQUIRED

APPLY 5/8" TYPE 'X' DRYWALL
TO INTERIOR SURFACES AND
5/8" DENGGLASS OR EQUIVALENT TO EXTERIOR
SURFACES TO UNDERSIDE OF ROOF
SHEATHING ON THESE WALL PLANES

8" METAL FASCIA

6" SMART BOARD
WINDOW BATTENS

CREZON PANELS c/w
6" SMART BOARD CORNERS

- 6" SMART BOARD BATTEN
- VINYL BOARD & BATTEN
c/w 6" SMART BOARD
CORNERS

6" FALSE FRAMED BEAM
C/III SMART BOARD CLAD

VINYL SIDING c/w
6" SMART BOARD CORNERS

6" SMART BOARD
WINDOW BATTENS

— 6" SMART BOARD BATTEN

MANUFACTURED STONE

— 10" SMART BOARD
BELLY BAND

UNIT - CALDER (R)

JOB# 59213

5313 - ADMIRAL GIROUARD STREET NW

UNIT - BRISTOL (R)

JOB# 59214

5311 - ADMIRAL GIROUARD STREET NW

PARTIAL FRONT ELEVATION
 ** ALL WINDOWS TO BE LOW E **
 ** TRI-PANE WINDOWS **
 THROUGHOUT

(UNLESS NOTED OTHERWISE)

NOTE!

1. FLASHING IS TO BE INSTALLED AT ALL APPROPRIATE LOCATIONS ON ROOF AND ELEVATIONS. (SEE BUILDERS SPECS)
2. WINDOW WELLS MAY BE REQUIRED DEPENDING ON FINAL GRADE
3. ALL STAIRS TO HAVE A MINIMUM 10" RUN AND " NOSING

Address: 5317, 5315, 5313 & 5311 - ADMIRAL GIROUARD STREET NW EDMONTON, AB

Model: BRISTOL-CALDER 4 (P-GB) (SHELL 4BC-PI)

Job #: 59211, 59212, 59213 & 59214

SCALE: 3/16" = 1'-0"

Drawn By: Krizel Vargas

Main:

704 Sq.Ft. UNIT - BRISTOL (L)	678 Sq.Ft. UNIT - CALDER (R)
678 Sq.Ft. UNIT - CALDER (L)	704 Sq.Ft. UNIT - BRISTOL (R)

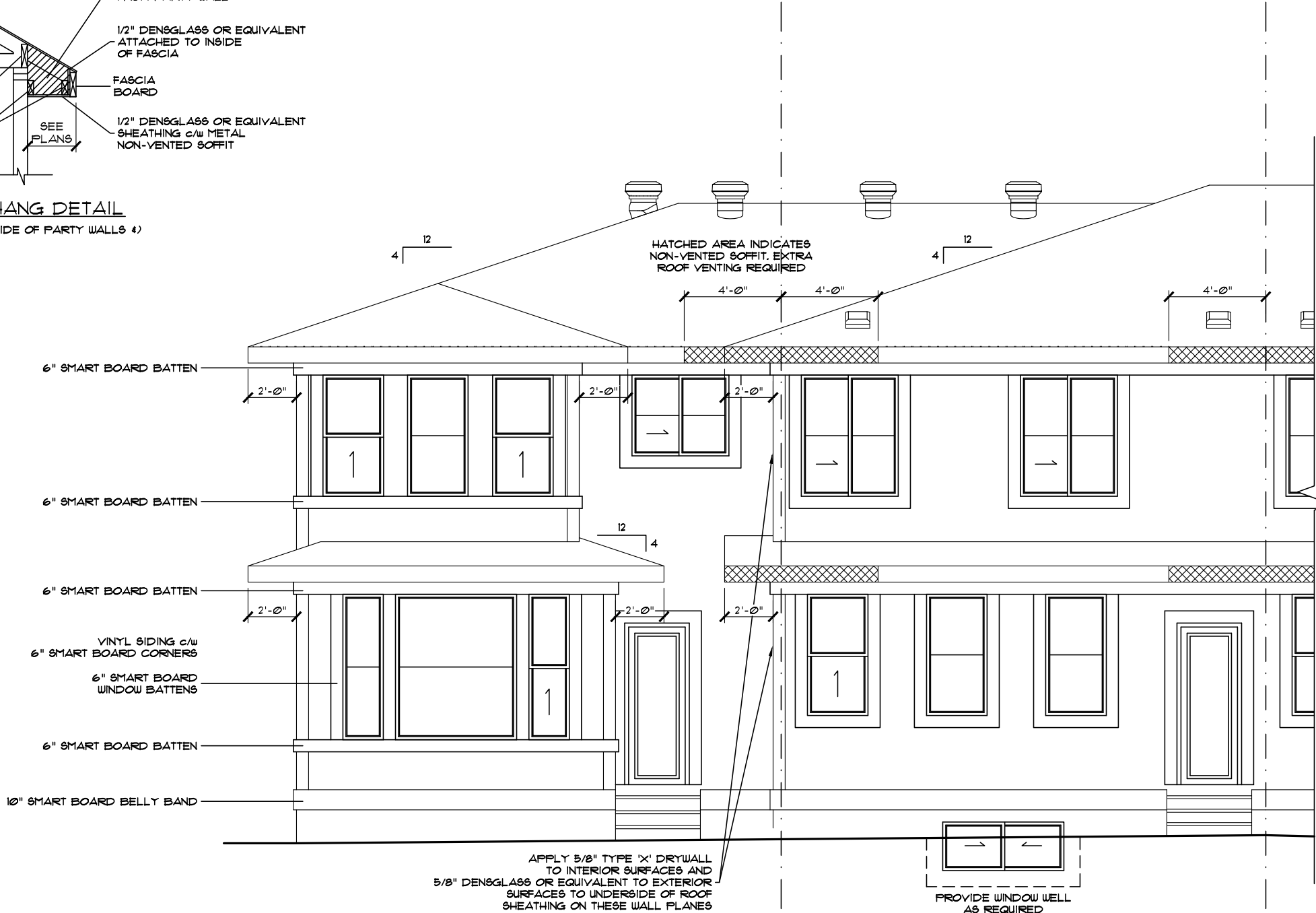
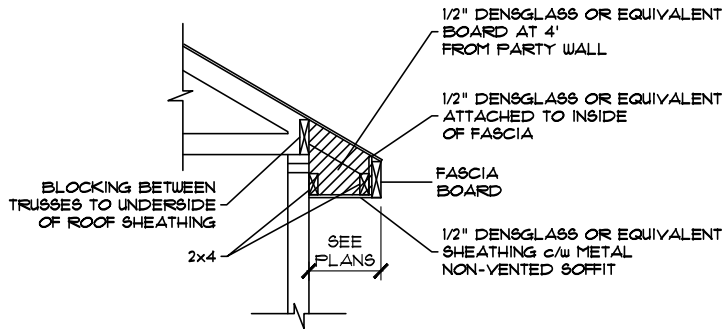
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Upper:	652 sq.ft. UNIT - BRISTOL (L)	670 sq.ft. UNIT - CALDER (R)
	670 sq.ft. UNIT - CALDER (L)	652 sq.ft. UNIT - BRISTOL (R)
Total:	1356 sq.ft. UNIT - BRISTOL (L)	1348 sq.ft. UNIT - CALDER (R)
	1348 sq.ft. UNIT - CALDER (L)	1356 sq.ft. UNIT - BRISTOL (R)

Date: November 22, 2021



A QUALICO® Company



UNIT - BRISTOL (R)
JOB# 59214
5311 - ADMIRAL GIROUARD STREET NW

UNIT - CALDER (R)
JOB# 59213
5313 - ADMIRAL GIROUARD STREET NW

PARTIAL REAR ELEVATION
** ALL WINDOWS TO BE LOW E **
** TRI-PANE WINDOWS **
THROUGHOUT

(UNLESS NOTED OTHERWISE)

Address: 5317, 5315, 5313 & 5311 - ADMIRAL GIROUARD STREET NW EDMONTON, AB

Model: BRISTOL-CALDER 4 (P-GB) (SHELL 4BC-PI)

Job #: 59211, 59212, 59213 & 59214

SCALE: 3/16" = 1'-0"

Date: November 22, 2021

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Drawn By: Krizel Vargas

PACESETTER DESIGN SERIES

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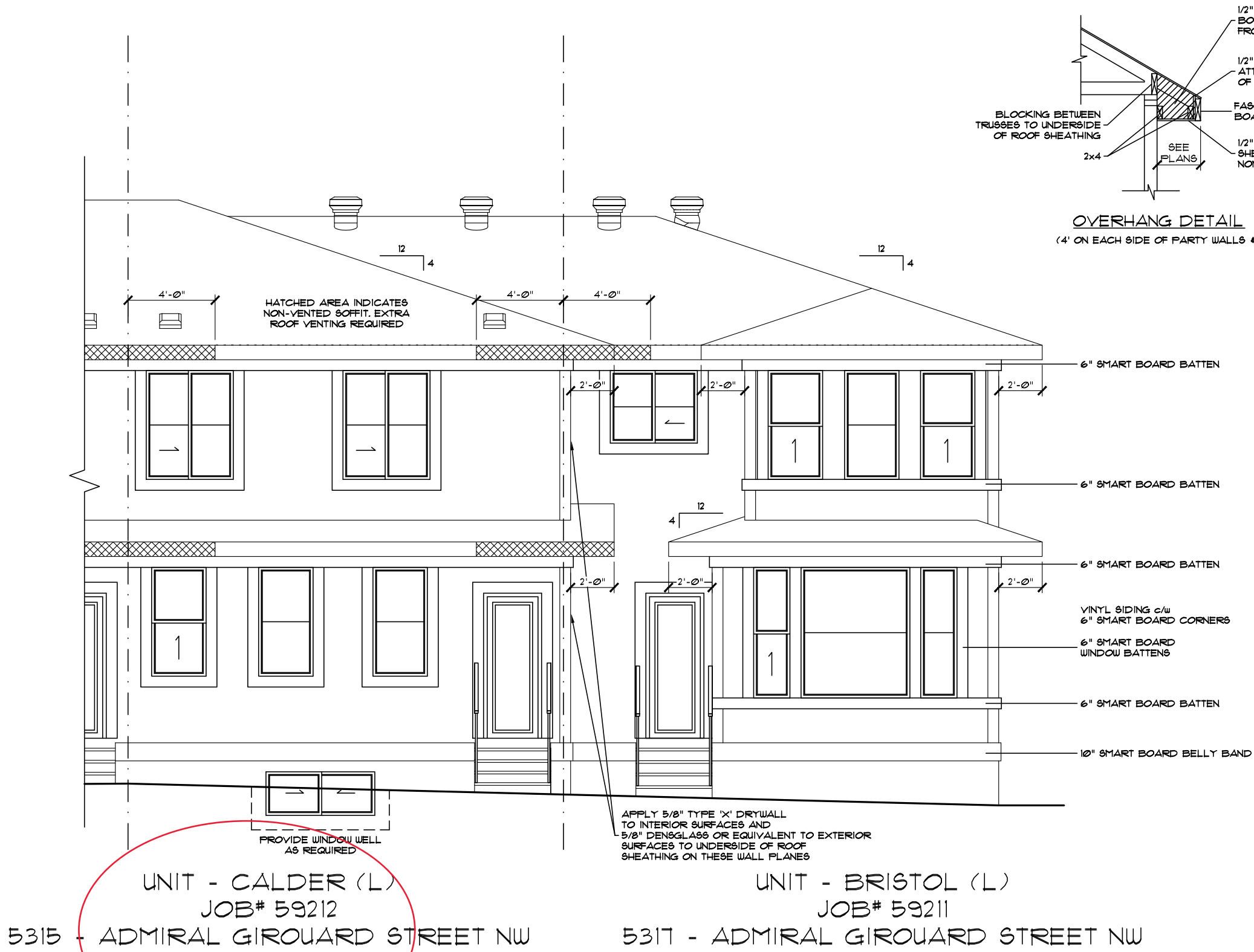
Main: 104 Sq.Ft. UNIT - BRISTOL (L) 618 Sq.Ft. UNIT - CALDER (R) 678 Sq.Ft. UNIT - CALDER (L) 104 Sq.Ft. UNIT - BRISTOL (R)

Upper: 652 Sq.Ft. UNIT - BRISTOL (L) 610 Sq.Ft. UNIT - CALDER (R) 652 Sq.Ft. UNIT - CALDER (L) 652 Sq.Ft. UNIT - BRISTOL (R)

Total: 1356 Sq.Ft. UNIT - BRISTOL (L) 1348 Sq.Ft. UNIT - CALDER (R) 1356 Sq.Ft. UNIT - CALDER (L) 1356 Sq.Ft. UNIT - BRISTOL (R)



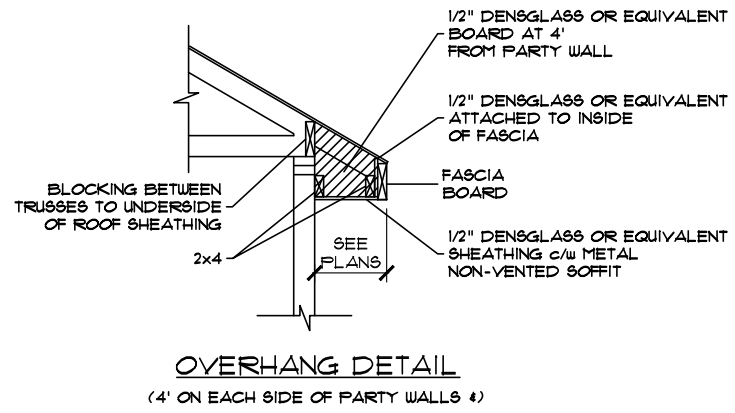
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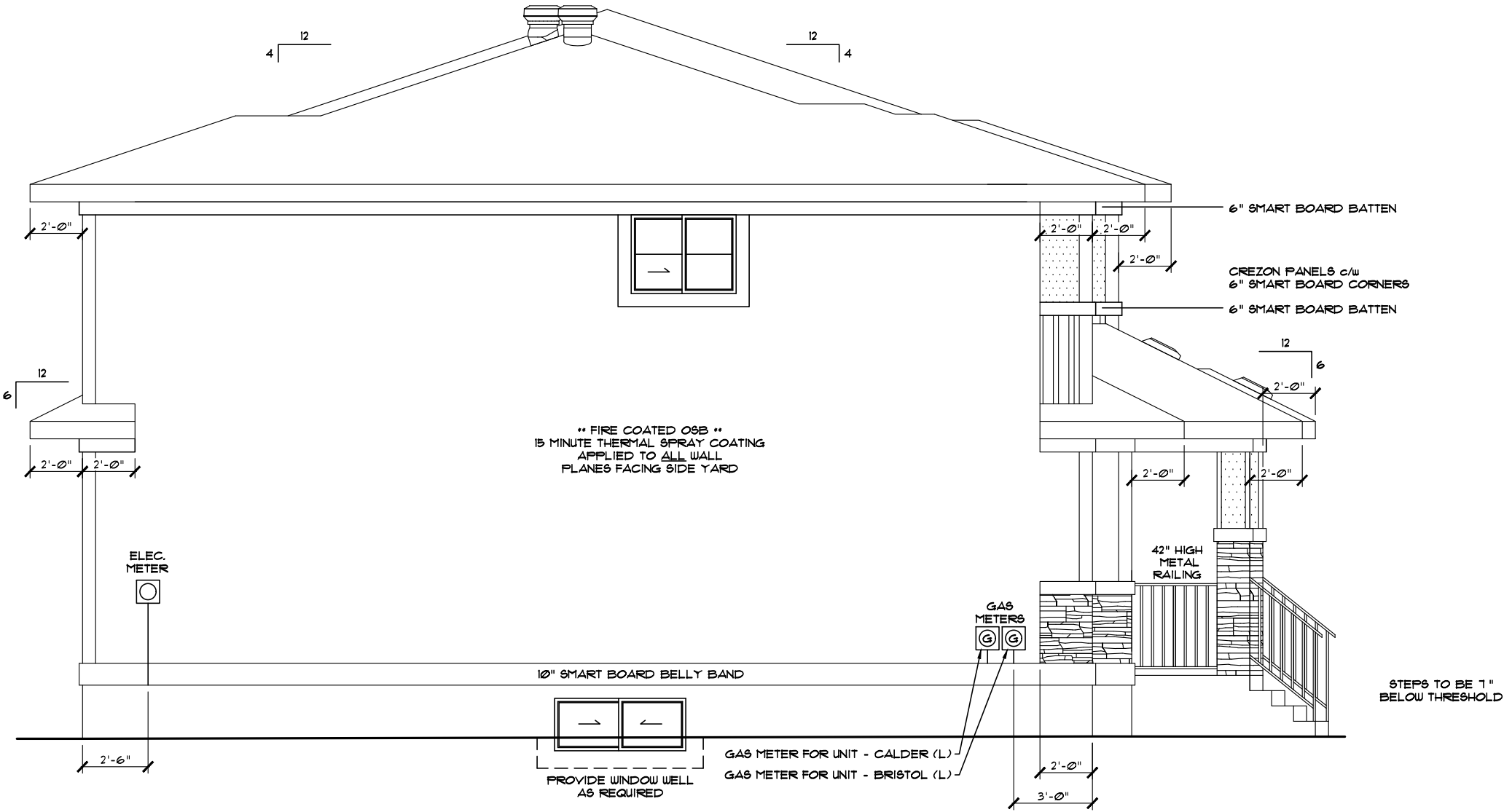
UNIT - CALDER (L)
JOB# 59212
5315 - ADMIRAL GIROUARD STREET NW

UNIT - BRISTOL (L)
JOB# 59211
5317 - ADMIRAL GIROUARD STREET NW

PARTIAL REAR ELEVATION
** ALL WINDOWS TO BE LOW E **
** TRI-PANE WINDOWS **
THROUGHOUT
(UNLESS NOTED OTHERWISE)



Model: BRISTOL-CALDER 4 (P-GB) (SHELL 4BC-PI)		Page	6	17
Date: November 22, 2021		PACESETTER DESIGN SERIES		
Scale: 3/16" = 1'-0"		Pacesetter Homes A QUALICO Company		
Main:		104 Sq.Ft. UNIT - BRISTOL (L) 618 Sq.Ft. UNIT - CALDER (R) 104 Sq.Ft. UNIT - BRISTOL (R) 618 Sq.Ft. UNIT - CALDER (R)		
Upper:		652 Sq.Ft. UNIT - BRISTOL (L) 610 Sq.Ft. UNIT - CALDER (R) 652 Sq.Ft. UNIT - BRISTOL (R) 610 Sq.Ft. UNIT - CALDER (R)		
Total:		1348 Sq.Ft. UNIT - BRISTOL (L) 1348 Sq.Ft. UNIT - CALDER (R) 1348 Sq.Ft. UNIT - BRISTOL (R) 1348 Sq.Ft. UNIT - CALDER (R)		
Address: 5317, 5315, 5313 & 5311 - ADMIRAL GIROUARD STREET NW EDMONTON, AB 86, 87, 88 & 89 / 25 / 182-2492		Job #: 59211, 59212, 59213 & 59214		
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UNIT - BRISTOL (L)
JOB# 59211
5317 - ADMIRAL GIROUARD STREET NW

LEFT ELEVATION
** ALL WINDOWS TO BE LOW E **
** TRI-PANE WINDOWS **
THROUGHOUT

(UNLESS NOTED OTHERWISE)

Address: 5317, 5315, 5313 & 5311 - ADMIRAL GIROUARD STREET NW EDMONTON, AB

Model: BRISTOL-CALDER 4 (P-GB) (SHELL 4BC-PI)

Job #:59211, 59212, 59213 & 59214

SCALE: 3/16"=1'-0"

Date: November 22, 2021

Page

Drawn By: Krizel Vargas

Main: 104 Sq.Ft. UNIT - BRISTOL (L) 618 Sq.Ft. UNIT - CALDER (R)
618 Sq.Ft. UNIT - CALDER (L) 104 Sq.Ft. UNIT - BRISTOL (R)

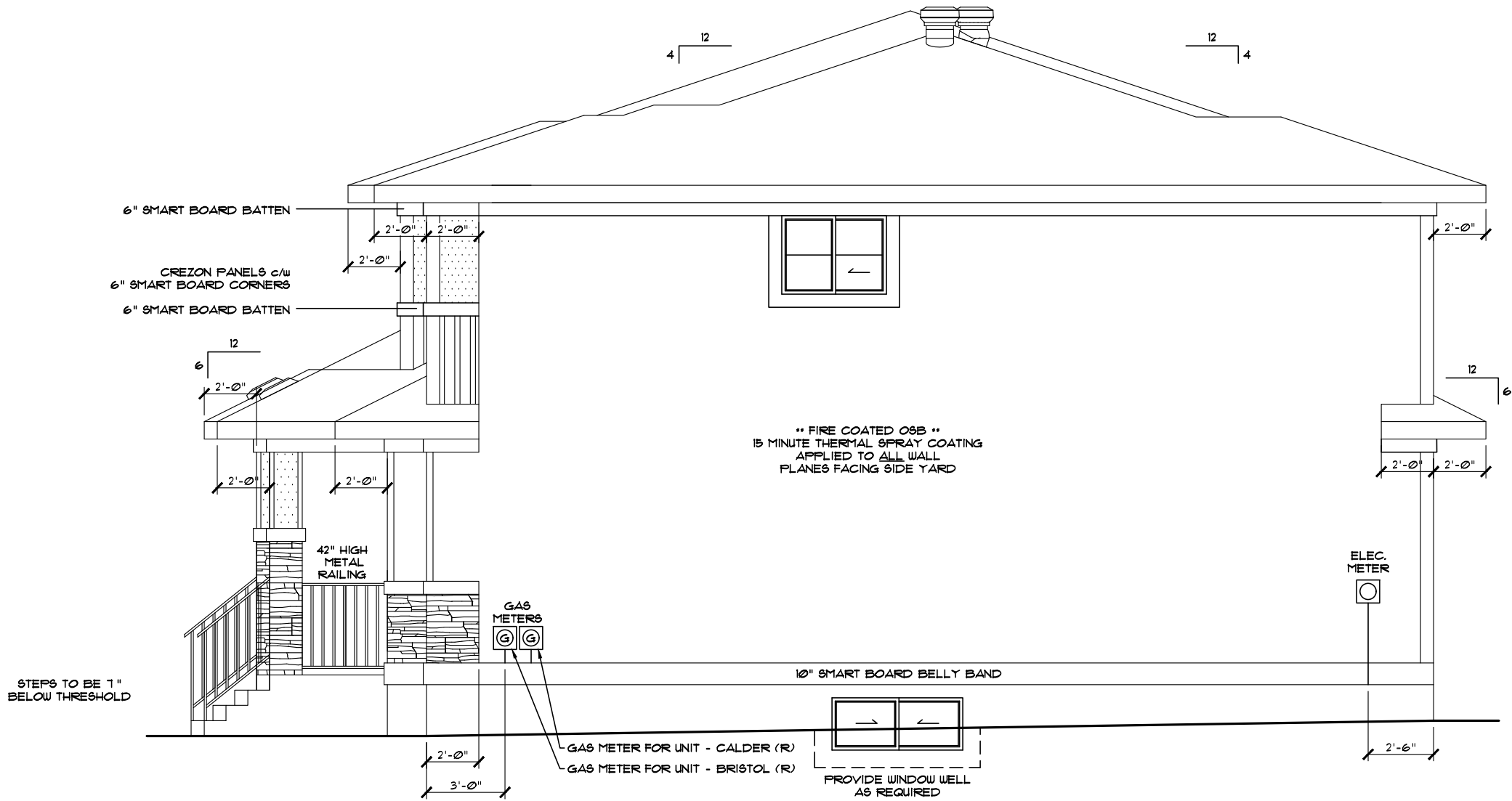
Upper: 652 Sq.Ft. UNIT - BRISTOL (L) 610 Sq.Ft. UNIT - CALDER (R)
652 Sq.Ft. UNIT - CALDER (L) 652 Sq.Ft. UNIT - BRISTOL (R)

Total: 1348 Sq.Ft. UNIT - BRISTOL (L) 1348 Sq.Ft. UNIT - CALDER (R)
1348 Sq.Ft. UNIT - CALDER (L) 1348 Sq.Ft. UNIT - BRISTOL (R)

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PACESETTER DESIGN SERIES
Pacesetter HOMES
A QUALICO Company

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17



UNIT - BRISTOL (R)
JOB# 59214
5311 - ADMIRAL GIROUARD STREET NW

RIGHT ELEVATION
** ALL WINDOWS TO BE LOW E **
** TRI-PANE WINDOWS **
THROUGHOUT

(UNLESS NOTED OTHERWISE)

Address: 5317, 5315, 5313 & 5311 - ADMIRAL GIROUARD STREET NW EDMONTON, AB

Model: BRISTOL-CALDER 4 (P-GB) (SHELL 4BC-PI)

Job #:59211, 59212, 59213 & 59214

SCALE: 3/16" = 1'-0"

Date: November 22, 2021

Page

Drawn By: Krizel Vargas

Main: 104 Sq.Ft. UNIT - BRISTOL (L) 618 Sq.Ft. UNIT - CALDER (R)
618 Sq.Ft. UNIT - CALDER (L) 104 Sq.Ft. UNIT - BRISTOL (R)

Upper: 652 Sq.Ft. UNIT - BRISTOL (L) 610 Sq.Ft. UNIT - CALDER (R)
652 Sq.Ft. UNIT - CALDER (L) 652 Sq.Ft. UNIT - BRISTOL (R)

Total: 1348 Sq.Ft. UNIT - BRISTOL (L) 1348 Sq.Ft. UNIT - CALDER (R)
1348 Sq.Ft. UNIT - CALDER (L) 1356 Sq.Ft. UNIT - BRISTOL (R)

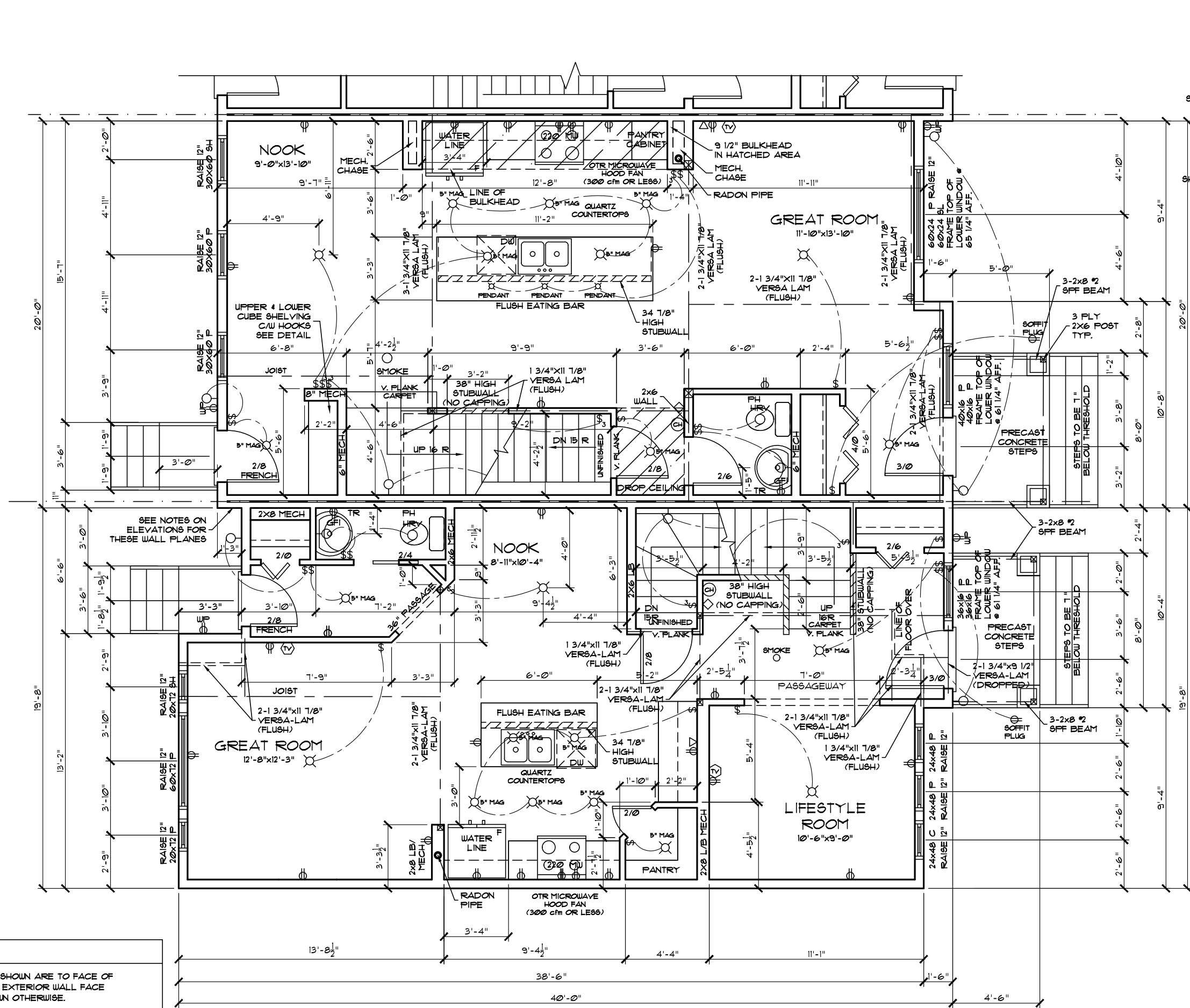
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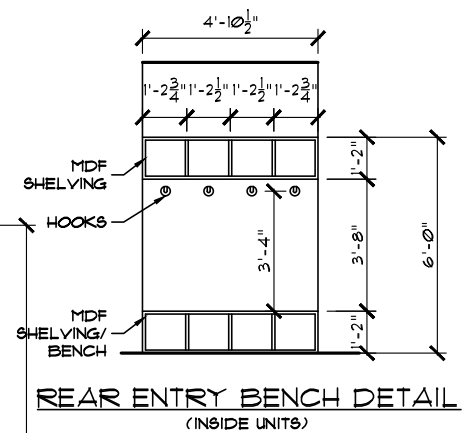
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NOTE!

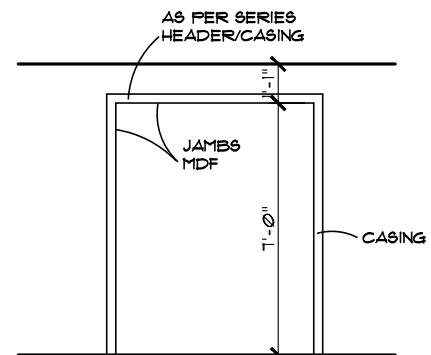
1. DIMENSIONS SHOWN ARE TO FACE OF MEMBER OR EXTERIOR WALL FACE UNLESS SHOWN OTHERWISE.
2. ALL BEAMS AND LINTELS ARE TO BE 2-2X10 SPRUCE UNLESS NOTED OTHERWISE.



UNIT - CALDER (L)
JOB# 59212
5315 - ADMIRAL
GIROUARD STREET NW



PARTIAL MAIN FLOOR PLAN



UNIT - BRISTOL (L)
JOB# 59211
5317 - ADMIRAL
GIROUARD STREET NW

PASSAGEWAY DETAIL

Address: 5317, 5315, 5313 & 5311 - ADMIRAL GIROUARD STREET NW EDMONTON, AB
 86 87 88 & 89 / 25 / 182 2182

Model: BRISTOL-CALDER 4 (P-GB) (SHELL 4BC-PI)

Job #: 59211, 59212, 59213 & 59214

SCALE: 3/16" = 1'-0"

Date: November 22, 2021

Drawn By: Krizel Vargas

Main:

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Upper:	652 sq.ft. UNIT - BRISTOL (L)	670 sq.ft. UNIT - CALDER (R)
	670 sq.ft. UNIT - CALDER (L)	652 sq.ft. UNIT - BRISTOL (R)
Total:	1356 sq.ft. UNIT - BRISTOL (L)	1348 sq.ft. UNIT - CALDER (R)
	1348 sq.ft. UNIT - CALDER (L)	1356 sq.ft. UNIT - BRISTOL (R)

DESIGN SERIES



Pacesetter
HOMES

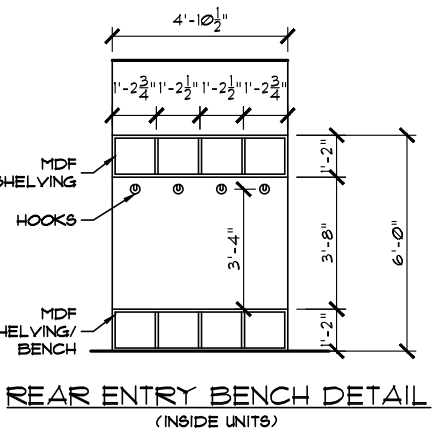
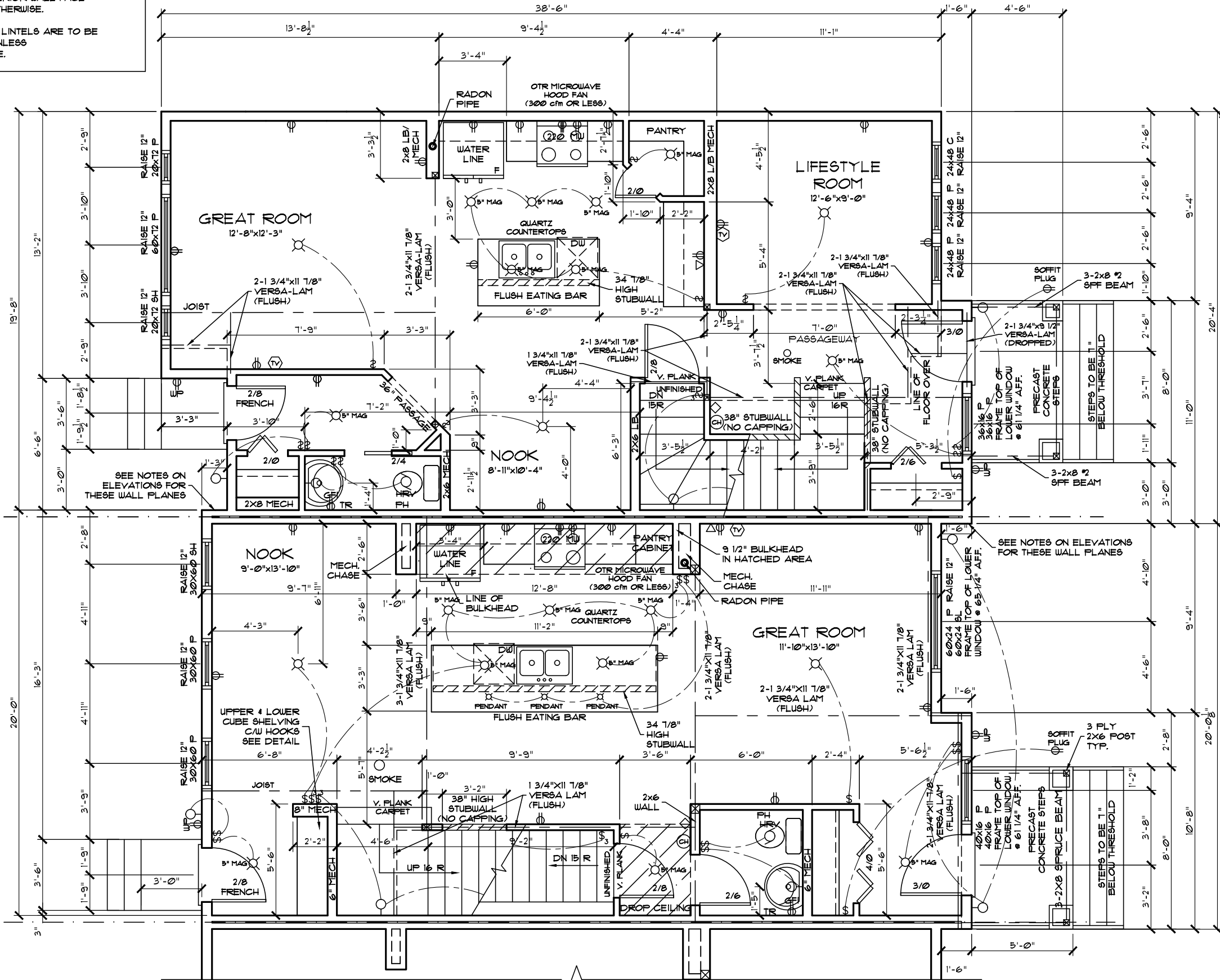
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A QUALICO® Company

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NOTE!

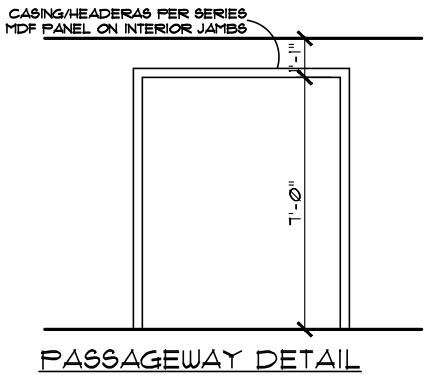
1. DIMENSIONS SHOWN ARE TO FACE OF MEMBER OR EXTERIOR WALL FACE UNLESS SHOWN OTHERWISE.
2. ALL BEAMS AND LINTELS ARE TO BE 2-2X10 SPRUCE UNLESS NOTED OTHERWISE.



UNIT - BRISTOL (R)
JOB# 59214
5311 - ADMIRAL
GIROUARD STREET NW

PARTIAL MAIN
FLOOR PLAN

UNIT - CALDER (R)
JOB# 59213
5313 - ADMIRAL
GIROUARD STREET NW



Address: 5317, 5315, 5313 & 5311 - ADMIRAL GIROUARD STREET NW EDMONTON, AB

Model: BRISTOL-CALDER 4 (P-GB) (SHELL 4BC-PI)

Job #: 59211, 59212, 59213 & 59214

SCALE: 3/16" = 1'-0"

Date: November 22, 2021

Page

Drawn By: Krizel Vargas

Main: 104 sq.ft. UNIT - BRISTOL (L) 618 sq.ft. UNIT - CALDER (R)
618 sq.ft. UNIT - CALDER (L) 104 sq.ft. UNIT - BRISTOL (R)

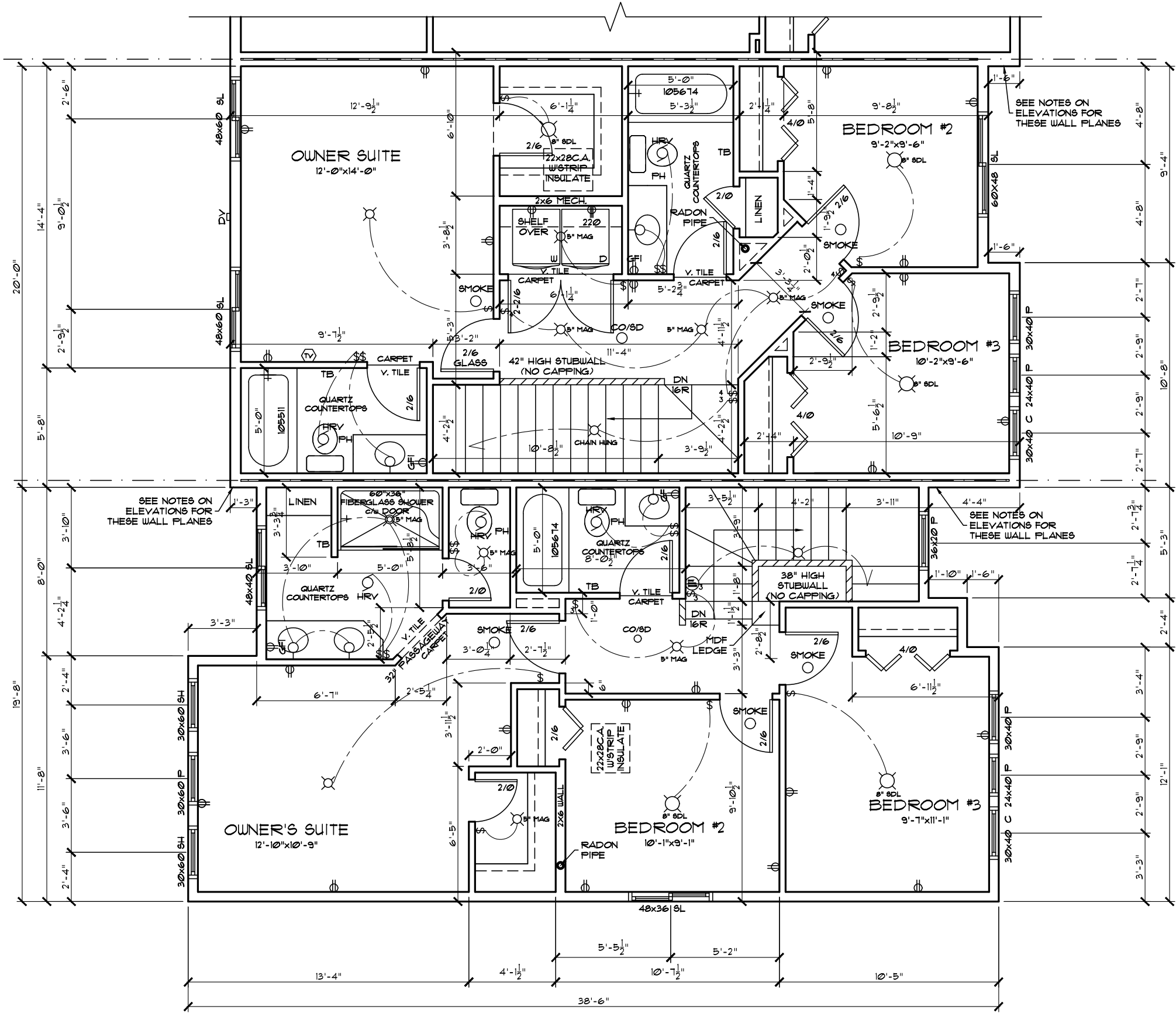
PACESETTER DESIGN SERIES

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PARTIAL UPPER FLOOR PLAN

UNIT - BRISTOL (L)
JOB# 59211
5317 - ADMIRAL
GIROUARD STREET NW

⊗

CEILING LIGHT

⊕

ELEC. PLUG

220V

220 PLUG

USB

USB PAIRED PLUG

☎

TELEPHONE

TV

TV/CAT5E

◇

THERMOSTAT

3

3 WAY SWITCH

W

WEEPING TILE

T

TEE

Ⓢ

GAS METER

○

WALL LIGHT

○

SMOKE

○

SMOKE DETECTOR

○

SD/CO DETECTOR

○

VAC. ROUGH IN

○

BATHROOM FAN

Ⓢ

CHIME

Ⓢ

SINGLE SWITCH

Ⓢ

OTTO SWITCH

—

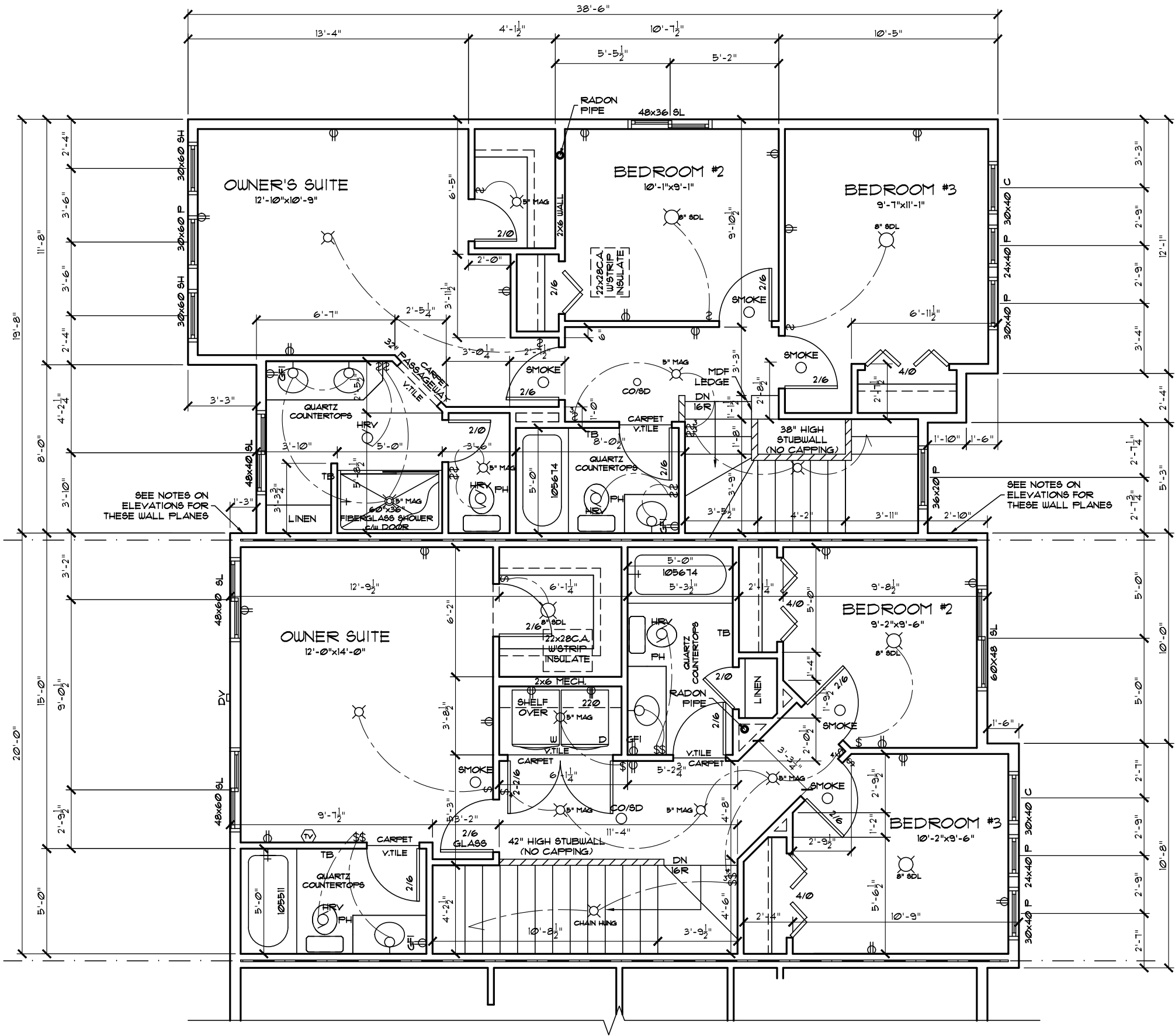
ELEC. WIRING

●

SPEAKER

ELECTRICAL LOCATIONS SUBJECT TO CHANGE AS REQUIRED BY CODE

Address: 5317, 5315, 5313 & 5311 - ADMIRAL GIROUARD STREET NW EDMONTON, AB 86, 87, 88 & 89 / 25 / 182-2492		Model: BRISTOL-CALDER 4 (P-GB) (SHELL 4BC-PI)	
Job #: 59211, 59212, 59213 & 59214		Date: November 22, 2021	Page
Drawn By: Krizel Vargas	Main:	PACESETTER DESIGN SERIES	
	Upper:		
	Total:		
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UNIT - BRISTOL (R)
JOB# 59214
5311 - ADMIRAL
GIROUARD STREET NW

UNIT - CALDER (R)
JOB# 59213
5313 - ADMIRAL
GIROUARD STREET NW

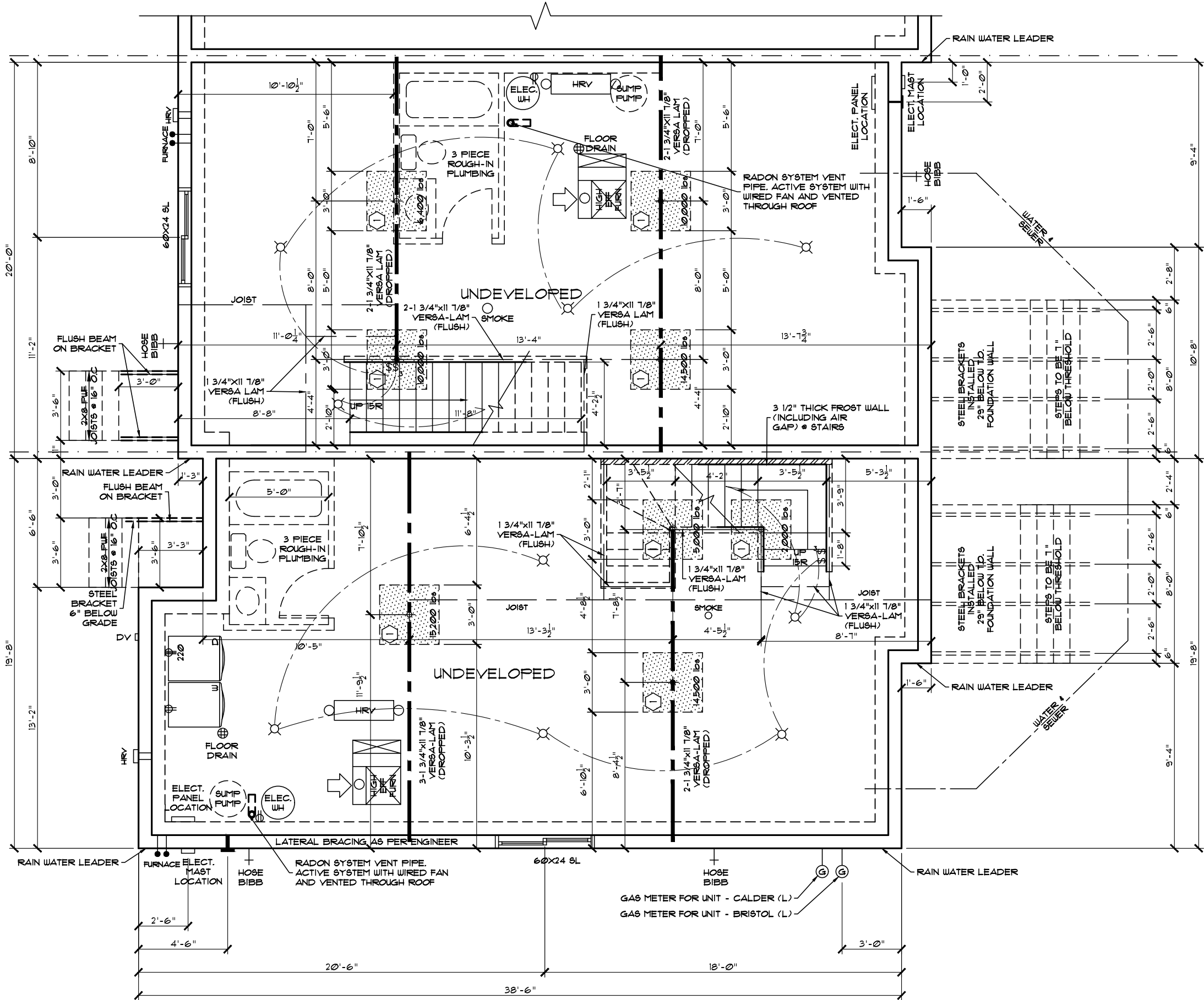
PARTIAL UPPER
FLOOR PLAN

LEGEND

	CEILING LIGHT		WALL LIGHT
	ELEC. PLUG		SMOKE DETECTOR
	220V PLUG		CO/SD DETECTOR
	USB PAIRED PLUG		VAC. ROUGH IN
	TELEPHONE		BATHROOM FAN
	TV/CAT5E		CHIME
	THERMOSTAT		SINGLE SWITCH
	3 WAY SWITCH		OTTO SWITCH
	WEEPING TILE		ELEC. WIRING
	TEE		SPEAKER
	GAS METER		

ELECTRICAL LOCATIONS SUBJECT TO CHANGE AS REQUIRED BY CODE

Address: 5317, 5315, 5313 & 5311 - ADMIRAL GIROUARD STREET NW EDMONTON, AB		Model: BRISTOL-CALDER 4 (P-GB) (SHELL 4BC-PI)	
Job #:59211, 59212, 59213 & 59214		Date: November 22, 2021	Page 12
Drawn By: Krizel Vargas	PACESETTER DESIGN SERIES		Pacesetter HOMES A QUALICO Company
	Main:	104 Sq.Ft. UNIT - BRISTOL (L) 618 Sq.Ft. UNIT - CALDER (R) 618 Sq.Ft. UNIT - CALDER (L) 104 Sq.Ft. UNIT - BRISTOL (R)	
	Upper:	652 Sq.Ft. UNIT - BRISTOL (L) 610 Sq.Ft. UNIT - CALDER (R) 652 Sq.Ft. UNIT - CALDER (L) 652 Sq.Ft. UNIT - BRISTOL (R)	
Total:		1356 Sq.Ft. UNIT - BRISTOL (L) 1348 Sq.Ft. UNIT - CALDER (R) 1348 Sq.Ft. UNIT - CALDER (L) 1356 Sq.Ft. UNIT - BRISTOL (R)	
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UNIT - CALDER (L)
JOB# 59212
5315 - ADMIRAL
GIROUARD STREET NW

PARTIAL
FOUNDATION
PLAN

UNIT - BRISTOL (L)
JOB# 59211
5317 - ADMIRAL
GIROUARD STREET NW

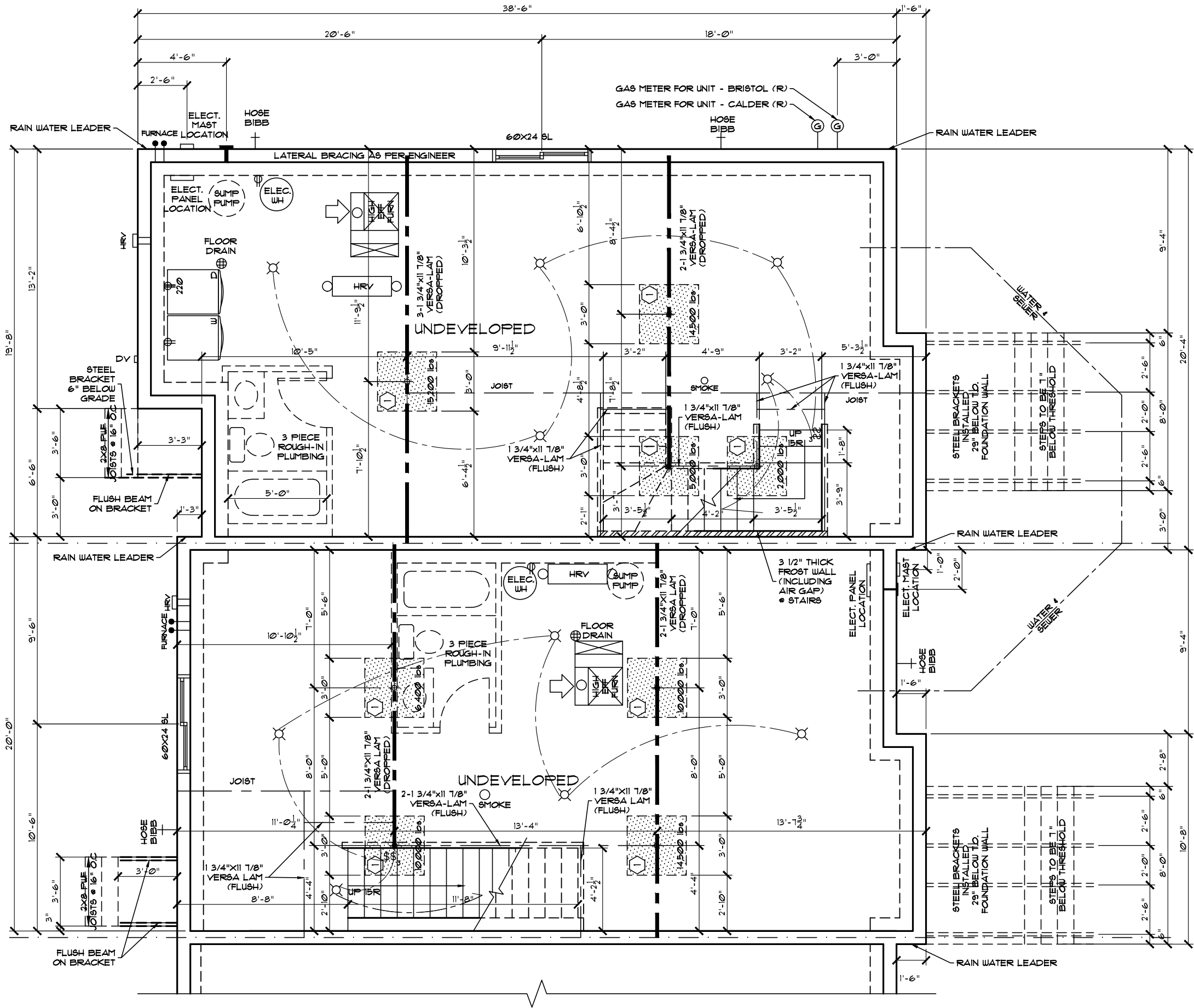
	MAXIMUM CAPACITY # 8'S EXT.	CONC. PAD DIMENSIONS (1 x w x d)	AMOUNT & SIZE OF REBAR
1	16,875 LBS	36"x36"x10"	5-10 M
2	20,810 LBS	40"x40"x10"	6-10 M
3	28,160 LBS	46"x46"x10"	6-10 M
4	37,120 LBS	54"x54"x11"	8-10 M

REBAR TO BE EQUALLY SPACED
ALONG LENGTH & WIDTH OF PAD

PAD LEGEND
(BASED ON WESURE COLUMNS)

** ALL FROST WALLS TO BE **
8" THICK INCLUDING AIR GAP

(UNLESS NOTED OTHERWISE)



UNIT - BRISTOL (R)
JOB# 59214
5311 - ADMIRAL
GIROUARD STREET NW

PARTIAL
FOUNDATION
PLAN

UNIT - CALDER (R)
JOB# 59213
5313 - ADMIRAL
GIROUARD STREET NW

	MAXIMUM CAPACITY • 8"5" EXT.	CONC. PAD DIMENSIONS (1 x w x d)	AMOUNT • SIZE OF REBAR
1	16,875 LBS	36"x36"x10"	5-10 M
2	20,810 LBS	40"x40"x10"	6-10 M
3	28,160 LBS	46"x46"x10"	6-10 M
4	37,120 LBS	54"x54"x11"	8-10 M

REBAR TO BE EQUALLY SPACED
ALONG LENGTH & WIDTH OF PAD

PAD LEGEND
(BASED ON WEASURE COLUMNS)

** ALL FROST WALLS TO BE **
8" THICK INCLUDING AIR GAP

(UNLESS NOTED OTHERWISE)

Address: 5317, 5315, 5313 & 5311 - ADMIRAL GIROUARD STREET NW EDMONTON, AB

Model: BRISTOL-CALDER 4 (P-GB) (SHELL 4BC-PI)

Job #:59211, 59212, 59213 & 59214

SCALE: 3/16"=1'-0"

Date: November 22, 2021

Page

Drawn By: Krizel Vargas

Main: 104 Sq.Ft. UNIT - BRISTOL (L) 618 Sq.Ft. UNIT - CALDER (R)
618 Sq.Ft. UNIT - CALDER (L) 104 Sq.Ft. UNIT - BRISTOL (R)

PACESETTER DESIGN SERIES

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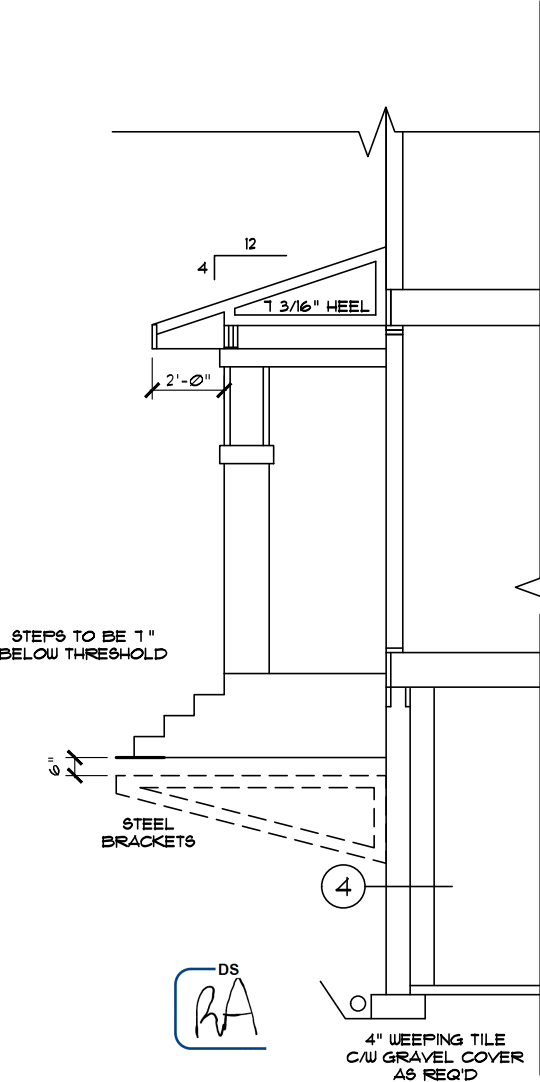
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Upper: 652 Sq.Ft. UNIT - BRISTOL (L) 610 Sq.Ft. UNIT - CALDER (R)
1356 Sq.Ft. UNIT - CALDER (L) 652 Sq.Ft. UNIT - BRISTOL (R)
Total: 1356 Sq.Ft. UNIT - BRISTOL (L) 1348 Sq.Ft. UNIT - CALDER (R)
1348 Sq.Ft. UNIT - CALDER (L) 1356 Sq.Ft. UNIT - BRISTOL (R)



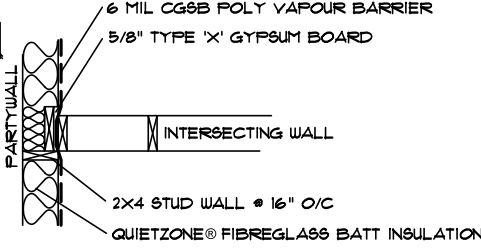
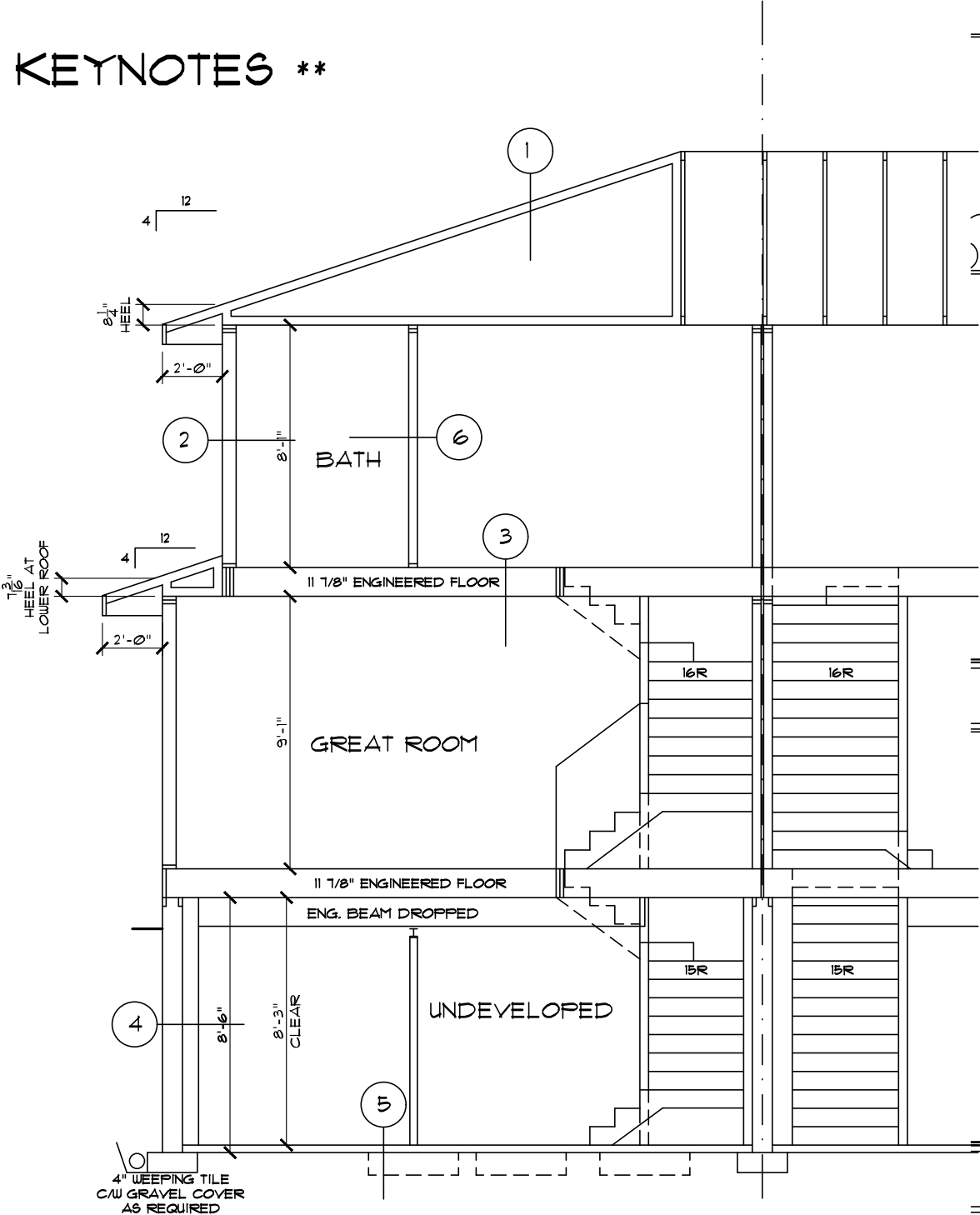
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** REFER TO PAGE 16 FOR KEYNOTES **

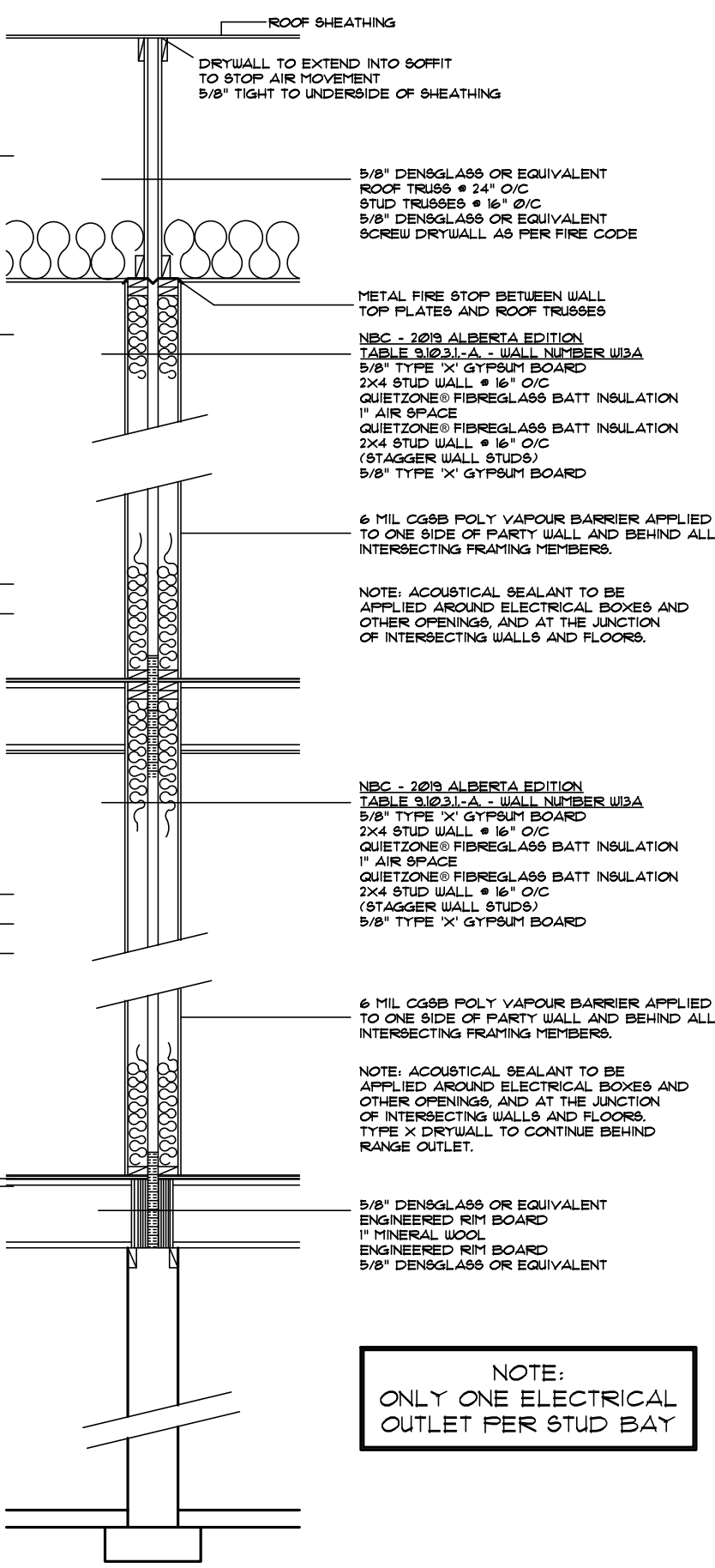


- NOTES
- TRADES ARE RESPONSIBLE FOR CHECKING ALL DIMENSIONS & NOTES AND REPORTING ANY DISCREPANCIES TO THE DESIGNER PRIOR TO CONSTRUCTION.
- ALL LOADBEARING LINTELS TO BE 2-2x10 #2 SPRUCE UNLESS NOTED OTHERWISE
 - FINAL EXTERIOR GRADES MAY VARY
 - WINDOW AND DOOR SIZES SHOWN ARE APPROXIMATE ONLY. EXACT ROUGH OPENINGS TO BE SUPPLIED BY MANUFACTURER PRIOR TO CONSTRUCTION.
 - MECHANICAL LAYOUT AND SPECS. SUPPLIED BY OTHERS.
 - ROOF SHALL BE VENTED WITH AN UNOBSTRUCTED VENT AREA OF NOT LESS THAN 1/300 OF THE CEILING AREA.
 - ALL EXTERIOR WALLS WHERE MONO TRUSSES ARE ATTACHED SHALL BE SEALED & PAPERED BEFORE INSTALLING TRUSSES
 - THE AREAS REQUIRING VENTILATION WITHIN THE ROOF SPACE OR ATTIC SHALL CONFORM TO NBC - 2019 ALERTA EDITION 9.13.1.
 - ATTIC ACCESS TO BE WEATHERSTRIPPED & INSULATED AS PER NBC - 2019 ALERTA EDITION 9.13.2.1.
 - STEP FOOTING FOR WALKOUTS SHALL BE MAX. RISE 24" & MINIMUM HORIZONTAL DISTANCE OF 24" AS PER NBC - 2019 ALERTA EDITION 9.15.2.3.
 - COMBUSTION AIR SHALL BE PROVIDED FOR FIREPLACE AS PER NBC - 2019 ALERTA EDITION 9.22.1.4.
 - SMOKE ALARMS TO CONFORM TO NBC - 2019 ALERTA EDITION 9.10.19.
 - IF WEEPING TILE IS REQUIRED SLAB ON GROUND SHALL BE DAMPROOFED AS PER NBC - 2019 ALERTA EDITION 9.13.4.
 - EXACT LOCATION OF MECHANICAL, ELECTRICAL, AND PLUMBING EQUIPMENT SUBJECT TO CHANGE DUE TO SITE CONDITIONS.
 - GARAGE ENTRY STAIRS MAY VARY IN NUMBER OF RISERS AND LOCATION DUE TO SITE CONDITIONS
 - ELEVATIONS, FLOOR LAYOUT AND ROOM DIMENSIONS ARE SUBJECT TO CHANGE DUE TO SITE CONDITIONS
 - DRIVEWAYS, SIDEWALKS, AND PARKING PADS SUBJECT TO CHANGE DUE TO SITE CONDITIONS

PARTIAL BUILDING SECTION



INTERSECTING WALL @ PARTY WALL DETAIL



NOTE:
ONLY ONE ELECTRICAL
OUTLET PER STUD BAY

Model: BRISTOL-CALDER 4 (P-GB) (SHELL 4BC-PI)		Page	15	17
Date: November 22, 2021		PACESETTER DESIGN SERIES		
Model: BRISTOL-CALDER 4 (P-GB) (SHELL 4BC-PI)		 A QUALICO Company		
Address: 5317, 5315, 5313 & 5311 - ADMIRAL GIROUARD STREET NW EDMONTON, AB		SCALE: 3/16" = 1'-0"		
Job #: 59211, 59212, 59213 & 59214		Main: 104 sq.ft. UNIT - BRISTOL (L) 618 sq.ft. UNIT - CALDER (R) 104 sq.ft. UNIT - BRISTOL (R)		
Drawn By: Krizel Vargas		Upper: 652 sq.ft. UNIT - BRISTOL (L) 610 sq.ft. UNIT - CALDER (R) 652 sq.ft. UNIT - BRISTOL (R)		
		Total: 1348 sq.ft. UNIT - BRISTOL (L) 1348 sq.ft. UNIT - CALDER (R) 1348 sq.ft. UNIT - BRISTOL (R)		
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FACESETTER DESIGN SERIES
(EFFECTIVE THERMAL RESISTANCE OF ASSEMBLIES)

1 ROOF ASSEMBLIES

UPPER FLOOR ROOF (6.90 RSI)
ASPHALT SHINGLES
3/8" O.S.B. SHEATHING c/w 'H'CLIPS
ENGINEERED WOOD TRUSSES @24" o/c
R-40 LOOSE FILL INSULATION
6 mil CGSB POLY VAPOR BARRIER
1/2" C.D. DRYWALL

UPPER FLOOR VAULTED CEILING (4.06 RSI)
IF REQUIRED AS PER PLANS
ASPHALT SHINGLES
3/8" O.S.B. SHEATHING c/w 'H'CLIPS
ENGINEERED WOOD TRUSSES @24" o/c
R-40 BATT INSULATION
6 mil CGSB POLY VAPOR BARRIER
1/2" C.D. DRYWALL

2 EXTERIOR WALL ASSEMBLIES

STANDARD EXTERIOR WALL (2.11 RSI)
INCLUDES EXTERIOR WALLS OF ATTACHED GARAGE, IF APPLICABLE
EXTERIOR CLADDING AS PER PLAN
BUILDING PAPER (AS REQ'D)
3/8" O.S.B. SHEATHING
2X6 STUDS @ 24" o/c
R-20 BATT INSULATION
6 mil CGSB POLY VAPOR BARRIER
1/2" DRYWALL

EXTERIOR TALL WALL (2.63 RSI)
IF REQUIRED AS PER PLANS
EXTERIOR CLADDING AS PER PLAN
BUILDING PAPER (AS REQ'D)
3/8" O.S.B. SHEATHING (1/2" DENSGLASS OR EQUIVALENT FOR ZLL)
2X6 STUDS AS PER ENGINEER'S DETAIL
R-20 BATT INSULATION
6 mil CGSB POLY VAPOR BARRIER
1/2" DRYWALL

ATTACHED GARAGE/HOUSE WALL (2.85 RSI)
IF REQUIRED AS PER PLANS
1/2" DRYWALL (FIRE TAPED)
3/8" O.S.B. SHEATHING
2X6 STUDS @ 24" o/c
R-20 BATT INSULATION
6 mil CGSB POLY VAPOR BARRIER
1/2" DRYWALL

EXTERIOR CANTILEVERED WALL (2.18 RSI)
WITHIN 12m SIDE YARD SETBACK
IF REQUIRED AS PER PLANS
EXTERIOR CLADDING AS PER PLAN
BUILDING PAPER (AS REQ'D)
5/8" DENSGLASS OR EQUIVALENT
2X6 STUDS AT 24" o/c
R-20 BATT INSULATION
6 mil CGSB POLY VAPOR BARRIER
1/2" DRYWALL

EXTERIOR ZERO LOT LINE WALL (2.69 RSI)
WITHIN 12m SIDE YARD SETBACK
IF REQUIRED AS PER PLANS
EXTERIOR CLADDING AS PER PLAN
BUILDING PAPER (AS REQ'D)
1/2" DENSGLASS OR EQUIVALENT
2X6 STUDS AT 16" o/c
R-20 BATT INSULATION
6 mil CGSB POLY VAPOR BARRIER
5/8" TYPE 'X' DRYWALL

EXTERIOR PARTY WALL JOGG (3.51 RSI)
IF REQUIRED AS PER PLANS
EXTERIOR CLADDING AS PER PLAN
BUILDING PAPER (AS REQ'D)
5/8" DENSGLASS OR EQUIVALENT
2X4 STUDS AT 16" o/c
R-12 BATT INSULATION
1" AIR SPACE
2X4 STUDS AT 16" o/c
R-12 BATT INSULATION
6 mil CGSB POLY VAPOR BARRIER
5/8" TYPE 'X' DRYWALL

3 FLOOR ASSEMBLIES

INTERIOR FLOOR (N/A RSI)
FLOOR FINISH AS SPECIFIED
3/8" U-LAY IN LINO AREAS
23/32" T4G OSB SUBFLOOR GLUED AND SCREWED
ENGINEERED WOOD JOISTS AS PER MANUFACTURER

FLOOR OVER UNHEATED SPACE (6.61 RSI)
FLOOR FINISH AS SPECIFIED
3/8" U-LAY IN LINO AREAS
23/32" T4G OSB SUBFLOOR GLUED AND SCREWED
6 mil CGSB POLY VAPOR BARRIER
ENGINEERED WOOD JOISTS AS PER MANUFACTURER
R-40 1/2lb OPEN-CELL SPRAY FOAM INSULATION
1/2" DRYWALL

CANTILEVERED MAIN FLOOR (5.18 RSI)
IF REQUIRED AS PER PLANS
FLOOR FINISH AS SPECIFIED
3/8" U-LAY IN LINO AREAS
23/32" T4G OSB SUBFLOOR GLUED AND SCREWED
6 mil CGSB POLY VAPOR BARRIER
ENGINEERED WOOD JOISTS AS PER MANUFACTURER
R-28 2lb CLOSED-CELL SPRAY FOAM INSULATION
3/8" OSB SHEATHING
NON-VENTED METAL SOFFIT

CANTILEVERED UPPER FLOOR (6.19 RSI)
IF REQUIRED AS PER PLANS
FLOOR FINISH AS SPECIFIED
3/8" U-LAY IN LINO AREAS
23/32" T4G OSB SUBFLOOR GLUED AND SCREWED
6 mil CGSB POLY VAPOR BARRIER
ENGINEERED WOOD JOISTS AS PER MANUFACTURER
R-40 2lb CLOSED-CELL SPRAY FOAM INSULATION
3/8" OSB SHEATHING
NON-VENTED METAL SOFFIT

4 BASEMENT WALL ASSEMBLIES

FOUNDATION W/ FROST WALL (2.23 RSI)
UNLESS NOTED OTHERWISE ON PLANS
PARGING ABOVE GRADE
DAMP-PROOFING ON EXTERIOR OF FOUNDATION WALLS (TO COMPLY WITH NBC - 2019 ALBERTA EDITION 9.13.2.3.(2XaX111))
8" CONC FOUNDATION WALL C/W 2 ROWS OF 2-#10 BARS
STUDS @24" o/c
R-20 BATT INSULATION
6 mil CGSB POLY VAPOR BARRIER
1/2" DRYWALL (FINISHED AREAS)
18"X 8" CONCRETE STRIP FOOTING OR AS REQUIRED BY ENGINEER'S REPORT
TELEPOST PAD FOOTINGS AS PER PLAN
WINDOWS OVER 48 INCHES IN LENGTH TO BE BRACED AS PER ENGINEER'S DETAIL
OPEN TO BELOW AREA WALLS WILL BE REINFORCED AS PER ENGINEER'S DETAIL

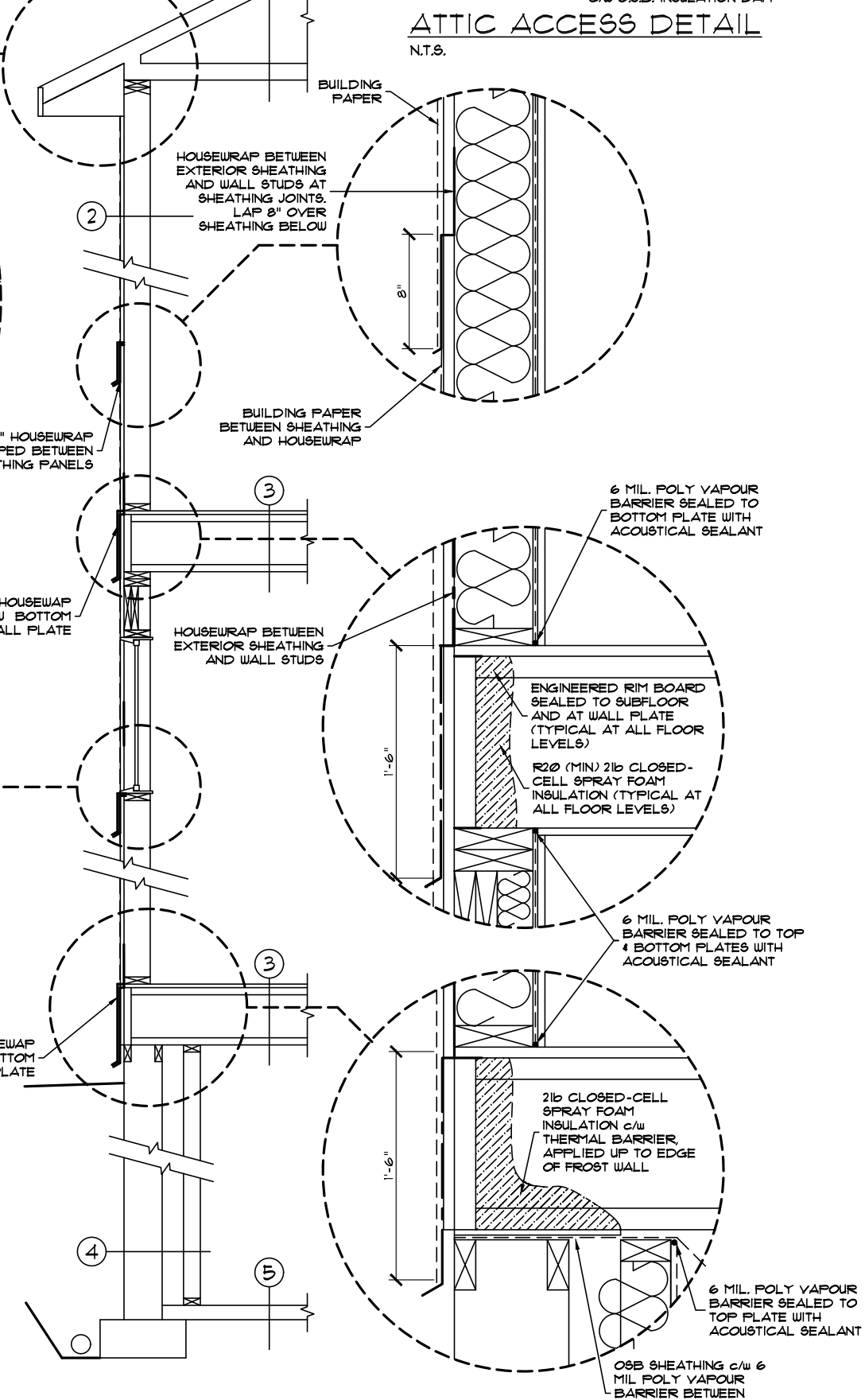
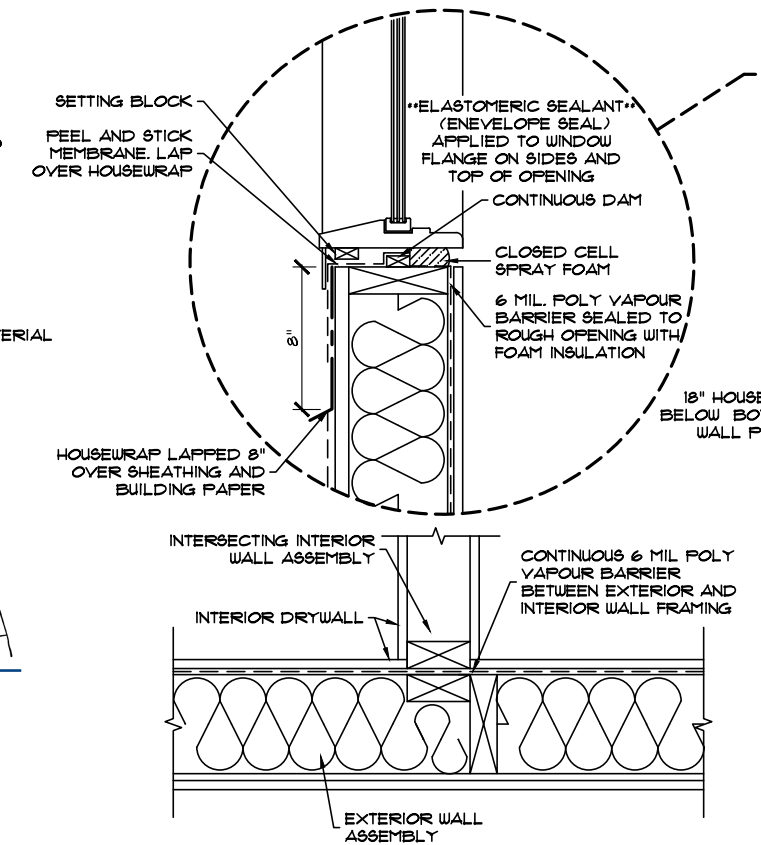
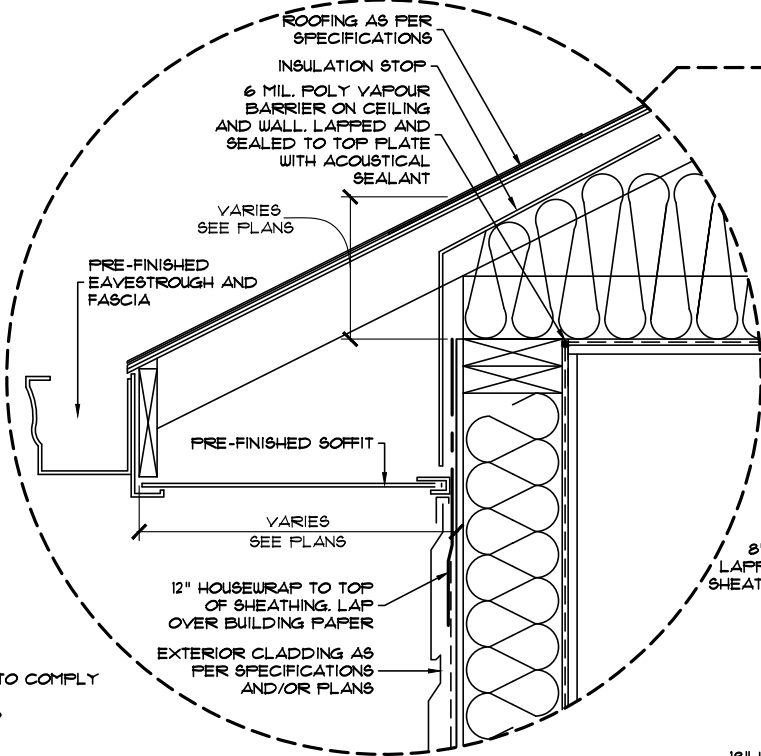
5 BASEMENT FLOOR ASSEMBLY (0.19 RSI)

CUPOLEX CONCRETE FORMS USED AS A BASE BELOW THE BASEMENT CONCRETE SLAB.
REFER TO ENGINEER DETAILS
ACTIVE SUB SLAB DEPRESSURIZATION SYSTEM FOR RADON GAS EXTRACTION
3" CONCRETE SLAB - ALL SEAMS & PENETRATIONS TO BE SEALED WITH FLEXIBLE SEALANT AS PER NBC - 2019 ALBERTA EDITION - 9.25.3.3.(5)

6 INTERIOR WALL ASSEMBLIES (N/A RSI)

1/2" DRYWALL
2X4" STUDS @ 24" O.C. (OR DEEPER STUD IF REQUIRED ON PLANS)
1/2" DRYWALL

1 RSI VALUE EXCLUDES FINISHED CLADDING
2 RSI VALUE EXCLUDES INTERIOR FINISHED FLOOR MATERIAL



** ALL WINDOWS/DOORS TO BE AS PER U-VALUES BELOW OR LESS **			
TYPE / OPERATION	GLAZING**	SERIES	U-VALUE (W/m²K)
PICTURE	H82 / H85 W/ ARGON	6500	1.14
SLIDER	H82 / H85 W/ ARGON	6500	1.31
SINGLE HUNG	H82 / H85 W/ ARGON	6500	1.31
CASEMENT	H82 / H85 W/ ARGON	9100	1.19
AWNING	H82 / H85 W/ ARGON	9100	1.19
BASEMENT SLIDER	H82 W/ ARGON	5600	1.31
EXTERIOR DOOR w/ GLAZING	H91 W/ ARGON	--	1.36
EXTERIOR PATIO/GARDEN DOOR w/o GLAZING	H91 W/ ARGON	--	1.48
EXTERIOR DOOR w/o GLAZING	--	--	0.85
**H81 GLAZING=DUAL PANE (CLEAR / LOW-E) H82 GLAZING=TRIPLE PANE (CLEAR/CLEAR/LOW-E) H85 GLAZING=TRIPLE PANE (CLEAR/CLEAR/SUNSTOP)			

INTERIOR WALL INTERSECTION DETAIL
NTS

EXTERIOR ENVELOPE DETAIL
NTS

Model: BRISTOL-CALDER 4 (P-GB) (SHELL 4BC-PI)

Address: 5317, 5315, 5313 & 5311 - ADMIRAL GIROUARD STREET NW EDMONTON, AB

Address: 86, 87, 88 & 89 / 25 / 182-2492

Job #: 59211, 59212, 59213 & 59214

Drawn By: Krizel Vargas

Main:		
104 sq.ft. UNIT - BRISTOL (L)	618 sq.ft. UNIT - CALDER (R)	104 sq.ft. UNIT - BRISTOL (R)
618 sq.ft. UNIT - CALDER (L)	104 sq.ft. UNIT - BRISTOL (R)	618 sq.ft. UNIT - CALDER (R)
652 sq.ft. UNIT - BRISTOL (L)	610 sq.ft. UNIT - CALDER (R)	652 sq.ft. UNIT - CALDER (R)
1348 sq.ft. UNIT - BRISTOL (L)	1348 sq.ft. UNIT - CALDER (R)	1348 sq.ft. UNIT - CALDER (R)
1348 sq.ft. UNIT - BRISTOL (L)	1348 sq.ft. UNIT - CALDER (R)	1348 sq.ft. UNIT - CALDER (R)
Total:		

Page

Date: November 22, 2021

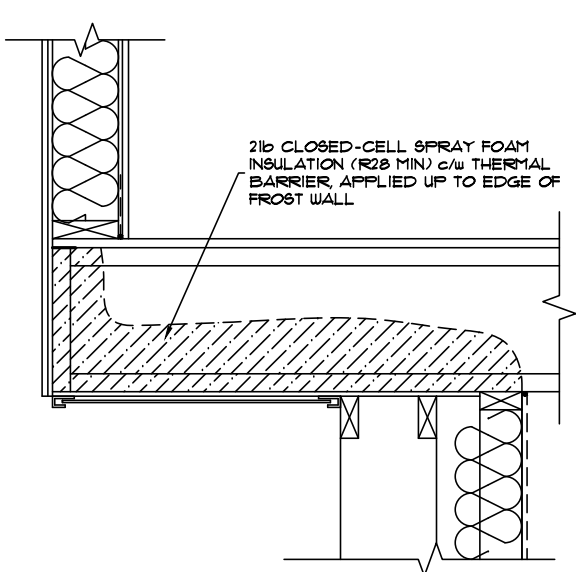
PACESETTER DESIGN SERIES

16

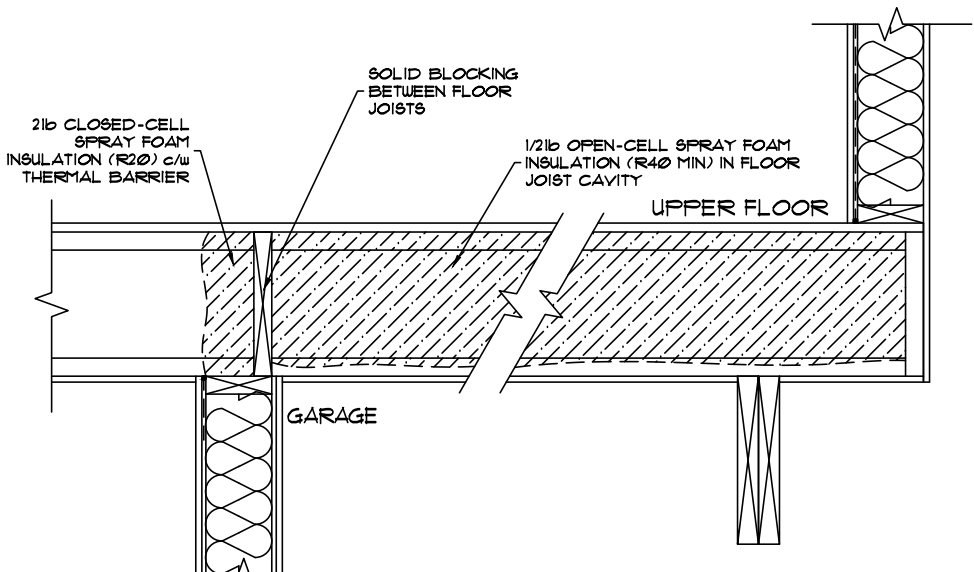
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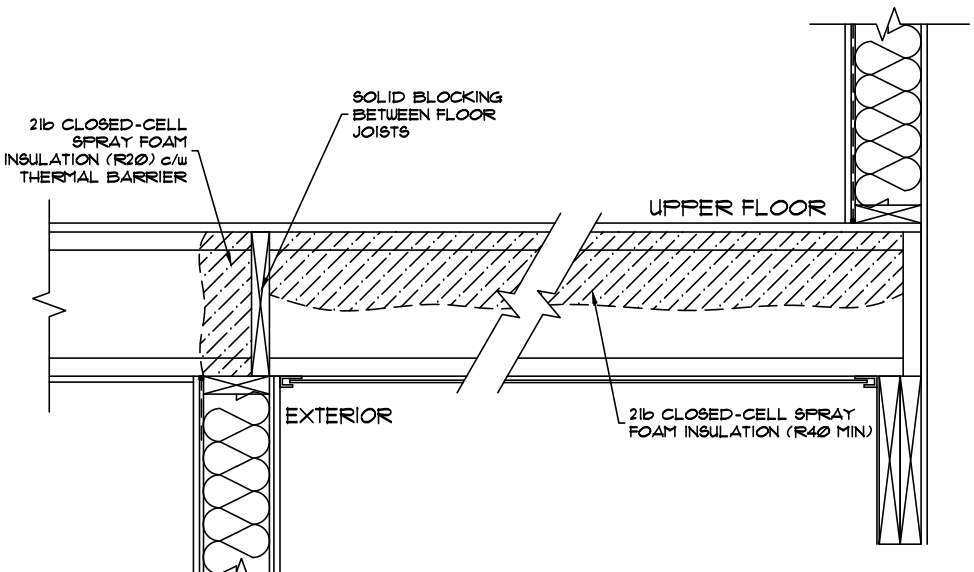




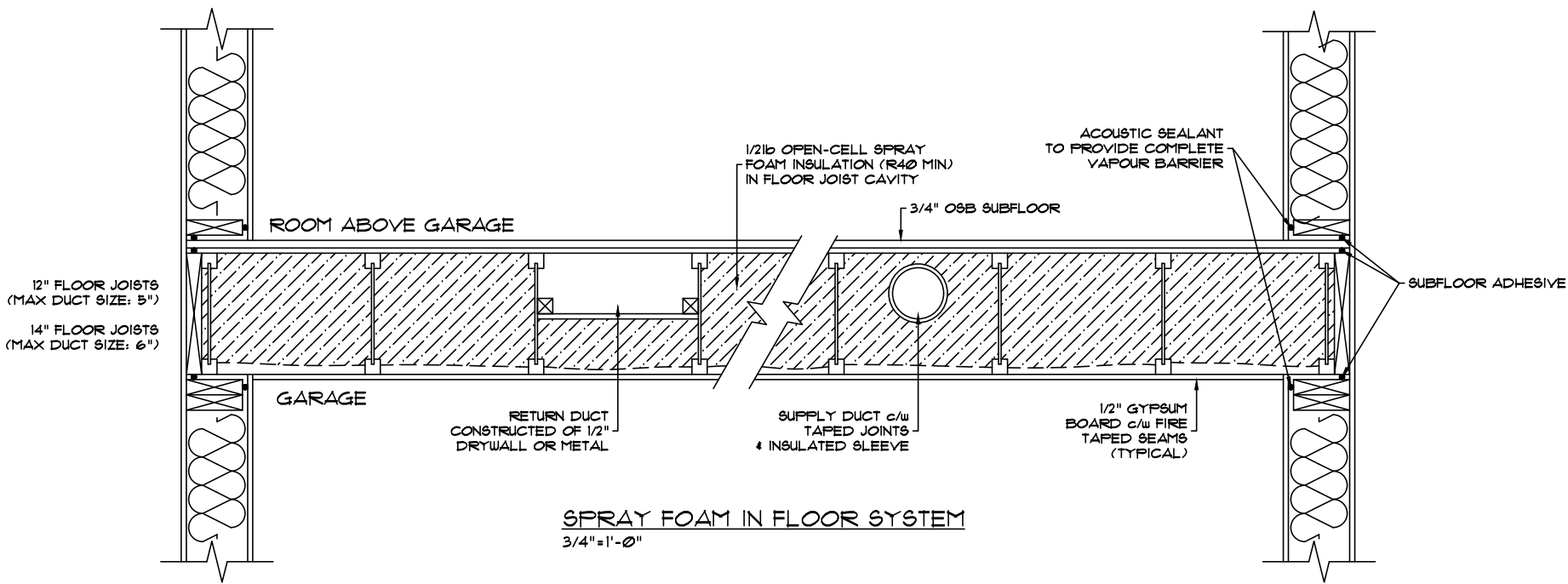
MAIN FLOOR CANTILEVER DETAIL - 3FT OR LESS
3/4"=1'-0"



FLOOR ABOVE UNHEATED SPACE DETAIL
3/4"=1'-0"



LARGE EXTERIOR OVERHANG DETAIL
3/4"=1'-0"



SPRAY FOAM IN FLOOR SYSTEM
3/4"=1'-0"

DS
RA

Address: 5317, 5315, 5313 & 5311 - ADMIRAL GIROUARD STREET NW EDMONTON, AB

Model: BRISTOL-CALDER 4 (P-GB) (SHELL 4BC-PI)

Job #: 59211, 59212, 59213 & 59214

SCALE: 3/16"=1'-0"

Date: November 22, 2021

Page

Drawn By: Krizel Vargas

Main: 104 Sq.Ft. UNIT - BRISTOL (L) 618 Sq.Ft. UNIT - CALDER (R) 618 Sq.Ft. UNIT - CALDER (L) 104 Sq.Ft. UNIT - BRISTOL (R)

Upper: 652 Sq.Ft. UNIT - BRISTOL (L) 610 Sq.Ft. UNIT - CALDER (R) 652 Sq.Ft. UNIT - CALDER (L) 652 Sq.Ft. UNIT - BRISTOL (R)

Total: 1356 Sq.Ft. UNIT - BRISTOL (L) 1348 Sq.Ft. UNIT - CALDER (R) 1356 Sq.Ft. UNIT - BRISTOL (R)

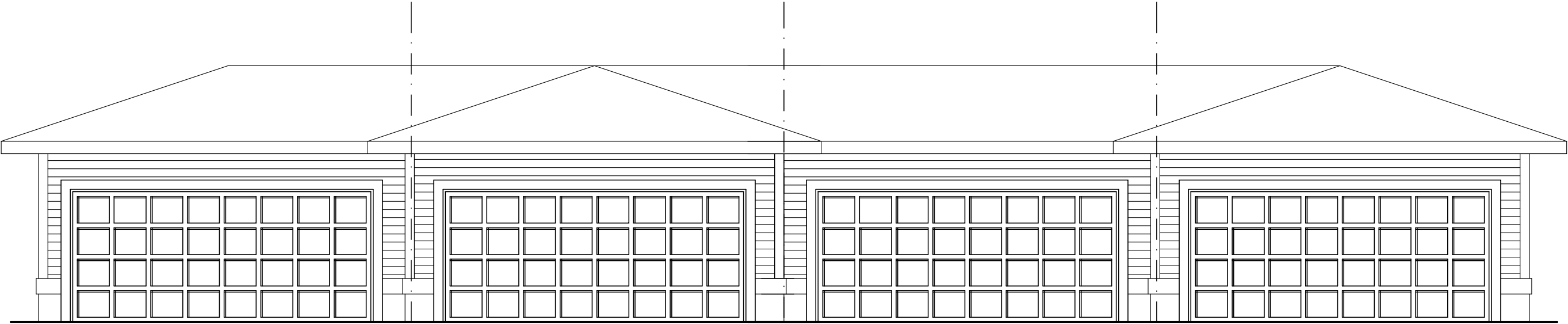
PACESETTER DESIGN SERIES

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UNIT - BRISTOL (R)
JOB# 59214
5311 - ADMIRAL
GIROUARD STREET NW

UNIT - CALDER (R)
JOB# 59213
5313 - ADMIRAL
GIROUARD STREET NW

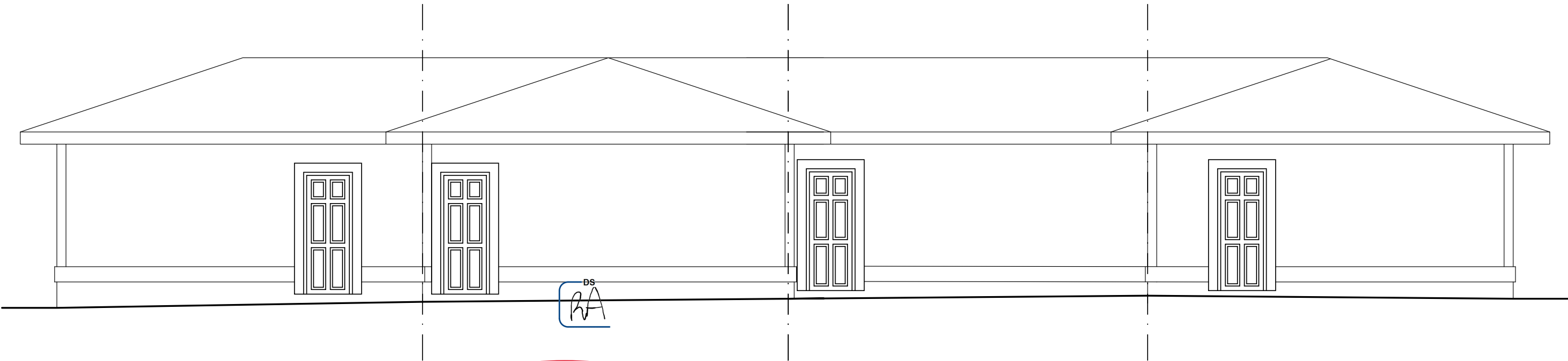
UNIT - CALDER (L)
JOB# 59212
5315 - ADMIRAL
GIROUARD STREET NW

UNIT - BRISTOL (L)
JOB# 59211
5317 - ADMIRAL
GIROUARD STREET NW

OVERALL GARAGE FRONT ELEVATION
(NOT TO SCALE)

DS
RA

Address: 5317, 5315, 5313 & 5311 - ADMIRAL GIROUARD STREET NW EDMONTON, AB		Model: BRISTOL-CALDER 4 (P-GB) (SHELL 4BC-PI)	
Job #: 59211, 59212, 59213 & 59214		Date: November 22, 2021	Page 1
Drawn By: Krizel Vargas	SCALE: 3/16" = 1'-0"		PACESETTER DESIGN SERIES  A QUALICO Company
	Main:	104 Sq.Ft. UNIT - BRISTOL (L) 618 Sq.Ft. UNIT - CALDER (R) 618 Sq.Ft. UNIT - CALDER (L) 104 Sq.Ft. UNIT - BRISTOL (R)	
	Upper:	652 Sq.Ft. UNIT - BRISTOL (L) 610 Sq.Ft. UNIT - CALDER (R) 610 Sq.Ft. UNIT - CALDER (L) 652 Sq.Ft. UNIT - BRISTOL (R)	
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UNIT - BRISTOL (L)
JOB# 59211
5317 - ADMIRAL
GIROUARD STREET NW

UNIT - CALDER (L)
JOB# 59212
5315 - ADMIRAL
GIROUARD STREET NW

UNIT - CALDER (R)
JOB# 59213
5313 - ADMIRAL
GIROUARD STREET NW

UNIT - BRISTOL (R)
JOB# 59214
5311 - ADMIRAL
GIROUARD STREET NW

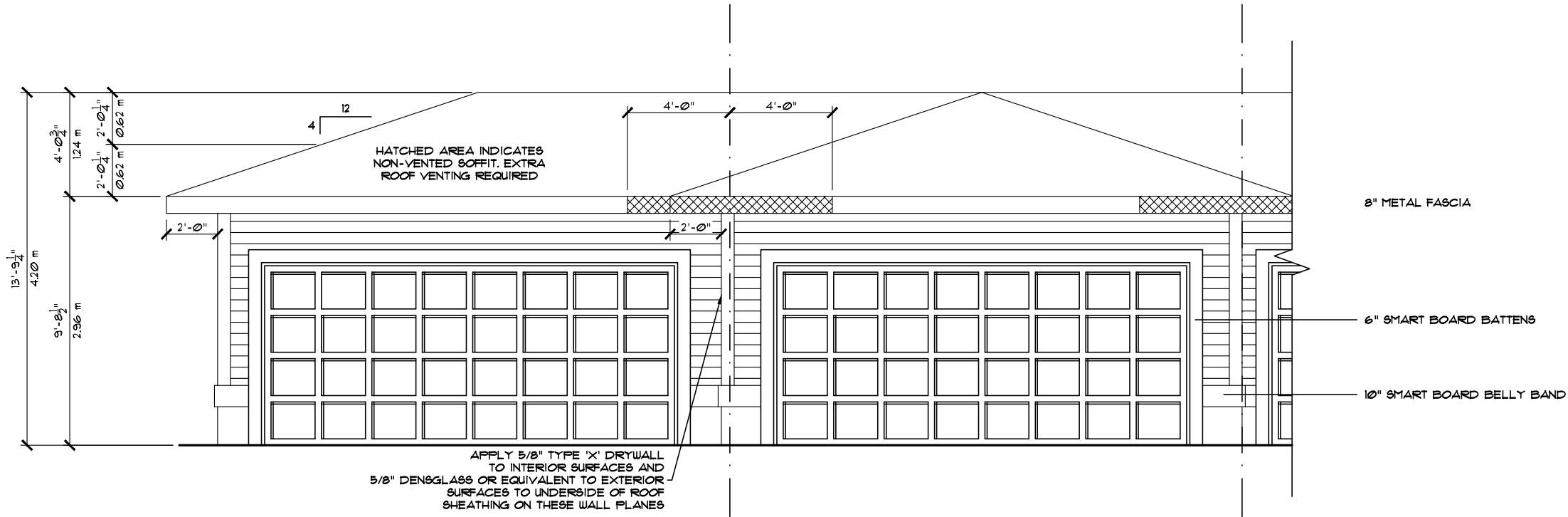
OVERALL GARAGE REAR ELEVATION
(NOT TO SCALE)

Address: 5317, 5315, 5313 & 5311 - ADMIRAL GIROUARD STREET NW EDMONTON, AB 86, 87, 88 & 89 / 25 / 182-2492		Model: BRISTOL-CALDER 4 (P-GB) (SHELL 4BC-PI)	
Job #: 59211, 59212, 59213 & 59214		Date: November 22, 2021	
Drawn By: Krizel Vargas	Main:		PACESETTER DESIGN SERIES
	Upper:		
	Total:		
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		2 / 10	

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NOTE!

I. FLASHING IS TO BE INSTALLED AT ALL APPROPRIATE LOCATIONS ON ROOF AND ELEVATIONS (SEE BUILDERS SPECS).

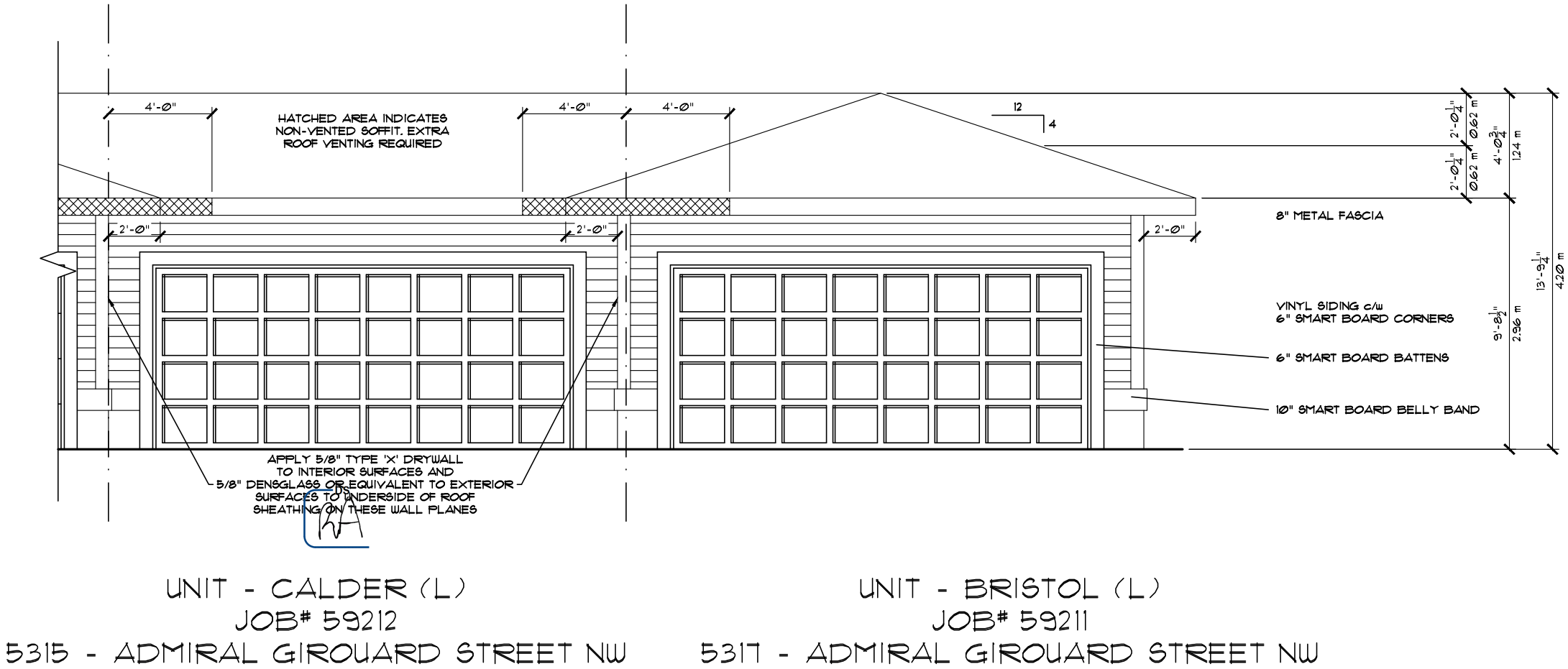


UNIT - BRISTOL (R)
JOB# 59214
5311 - ADMIRAL GIROUARD STREET NW

UNIT - CALDER (R)
JOB# 59213
5313 - ADMIRAL GIROUARD STREET NW

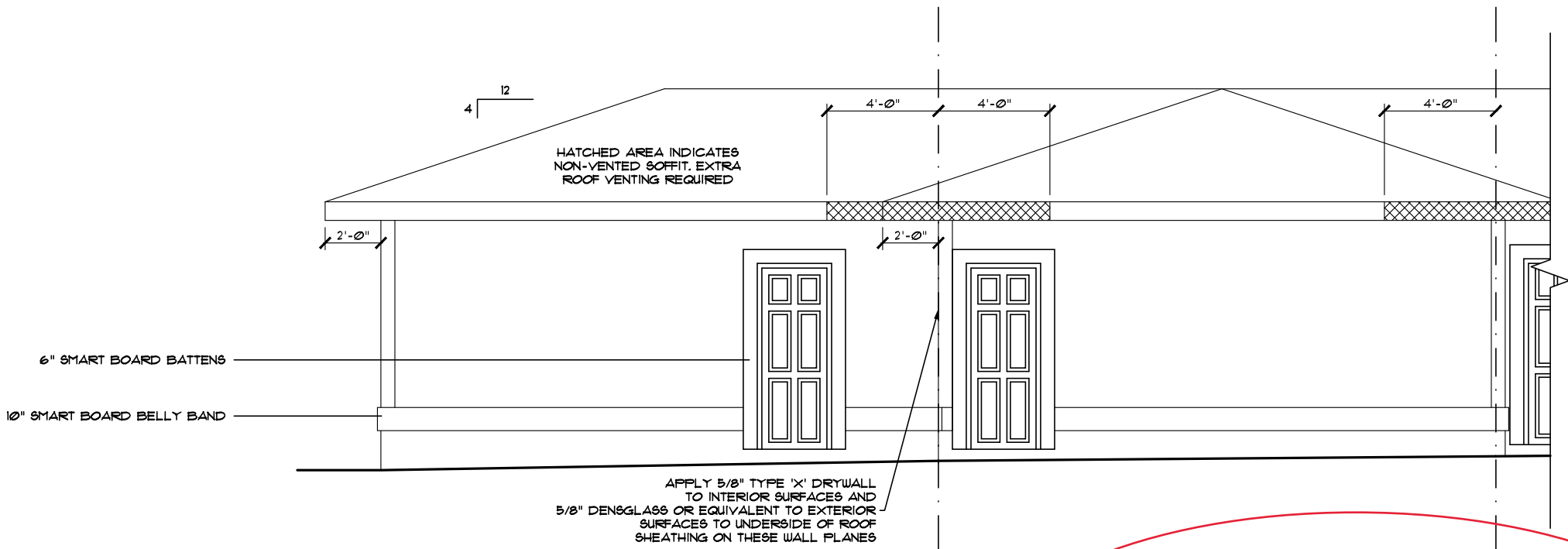
PARTIAL GARAGE FRONT ELEVATION

Address: 5317, 5315, 5313 & 5311 - ADMIRAL GIROUARD STREET NW EDMONTON, AB 86, 87, 88 & 89 / 25 / 182-2492		Model: BRISTOL-CALDER 4 (P-GB) (SHELL 4BC-PI)	
Job #: 59211, 59212, 59213 & 59214		Date: November 22, 2021	Page
Drawn By: Krizel Vargas	Main:	PACESETTER DESIGN SERIES	3
	Upper:		
	Total:		
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		SCALE: 3/16" = 1'-0"	
		PACESSETTER HOMES A QUALICO Company	
		10	



Address: 5317, 5315, 5313 & 5311 - ADMIRAL GIROUARD STREET NW EDMONTON, AB 86, 87, 88 & 89 / 25 / 182-2492		Model: BRISTOL-CALDER 4 (P-GB) (SHELL 4BC-PI)	
Job #: 59211, 59212, 59213 & 59214		Date: November 22, 2021	Page 4
Drawn By: Krizel Vargas	PACESETTER DESIGN SERIES		 A QUALICO Company
	Main:	104 Sq.Ft. UNIT - BRISTOL (L) 618 Sq.Ft. UNIT - CALDER (R) 618 Sq.Ft. UNIT - CALDER (L) 104 Sq.Ft. UNIT - BRISTOL (R)	
	Upper:	652 Sq.Ft. UNIT - BRISTOL (L) 610 Sq.Ft. UNIT - CALDER (R) 610 Sq.Ft. UNIT - CALDER (L) 652 Sq.Ft. UNIT - BRISTOL (R)	
Total:		1348 Sq.Ft. UNIT - BRISTOL (L) 1348 Sq.Ft. UNIT - CALDER (R) 1348 Sq.Ft. UNIT - CALDER (L) 1348 Sq.Ft. UNIT - BRISTOL (R)	

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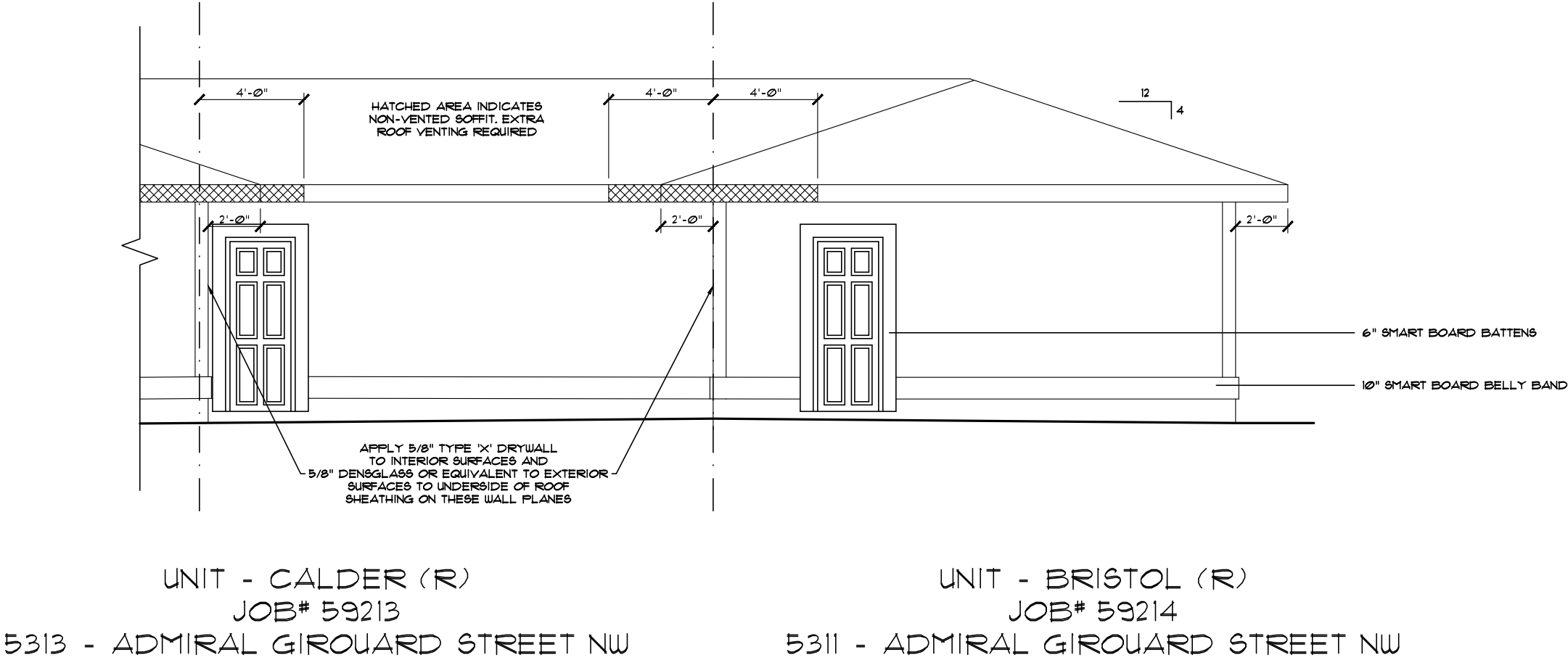


UNIT - BRISTOL (L)
JOB# 59211
5317 - ADMIRAL GIROUARD STREET NW

UNIT - CALDER (L)
JOB# 59212
5315 - ADMIRAL GIROUARD STREET NW

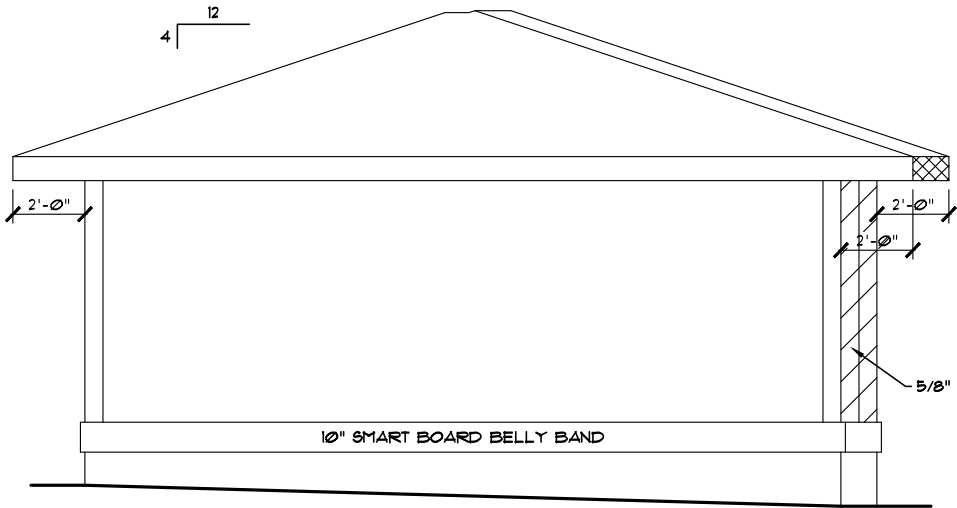
PARTIAL GARAGE REAR ELEVATION

Address: 5317, 5315, 5313 & 5311 - ADMIRAL GIROUARD STREET NW EDMONTON, AB 86, 87, 88 & 89 / 25 / 182-2492		Model: BRISTOL-CALDER 4 (P-GB) (SHELL 4BC-PI)	
Job #: 59211, 59212, 59213 & 59214		Date: November 22, 2021	Page 5
Drawn By: Krizel Vargas	Main:	PACESETTER DESIGN SERIES	
	Upper:	 A QUALICO Company	
	Total:		
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PARTIAL GARAGE REAR ELEVATION

Address: 5317, 5315, 5313 & 5311 - ADMIRAL GIROUARD STREET NW EDMONTON, AB 86, 87, 88 & 89 / 25 / 182-2492		Model: BRISTOL-CALDER 4 (P-GB) (SHELL 4BC-PI)	
Job #: 59211, 59212, 59213 & 59214		Date: November 22, 2021	Page 6
Drawn By: Krizel Vargas	Main:	PACESETTER DESIGN SERIES	
	Upper:	 A QUALICO Company	
	Total:		
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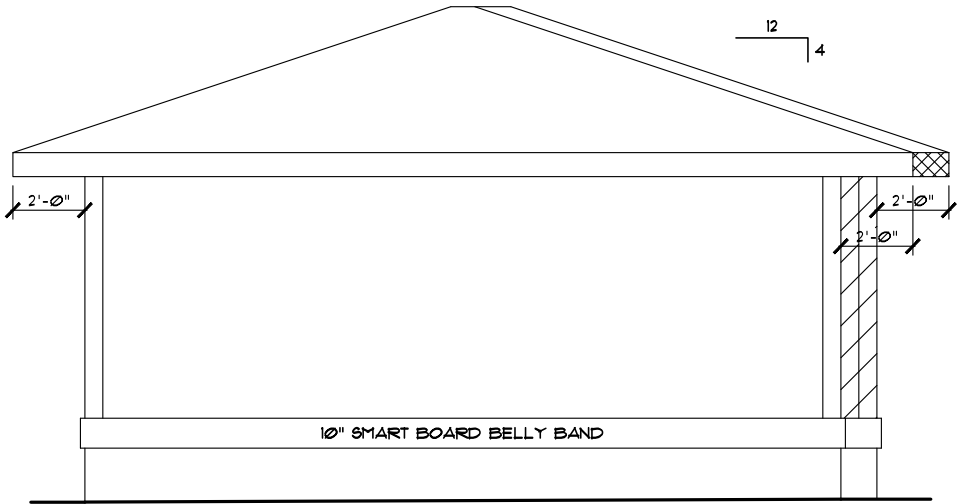


HATCHED AREA INDICATES
NON-VENTED SOFFIT. EXTRA
ROOF VENTING REQUIRED

APPLY 5/8" TYPE 'X' DRYWALL
TO INTERIOR SURFACES AND
5/8" DENSGLASS OR EQUIVALENT TO EXTERIOR
SURFACES TO UNDERSIDE OF ROOF
SHEATHING ON THESE WALL PLANES

10" SMART BOARD BELLY BAND

LEFT ELEVATION
(GARAGE)



RIGHT ELEVATION
(GARAGE)

Address: 5317, 5315, 5313 & 5311 - ADMIRAL GIROUARD STREET NW EDMONTON, AB

Model: BRISTOL-CALDER 4 (P-GB) (SHELL 4BC-PI)

Job #: 59211, 59212, 59213 & 59214

SCALE: 3/16" = 1'-0"

Date: November 22, 2021

Page

Drawn By: Krizel Vargas

Main: 104 Sq.Ft. UNIT - BRISTOL (L) 678 Sq.Ft. UNIT - CALDER (R)
678 Sq.Ft. UNIT - CALDER (L) 104 Sq.Ft. UNIT - BRISTOL (R)

Upper: 652 Sq.Ft. UNIT - BRISTOL (L) 670 Sq.Ft. UNIT - CALDER (R)
670 Sq.Ft. UNIT - CALDER (L) 652 Sq.Ft. UNIT - BRISTOL (R)

Total: 1356 Sq.Ft. UNIT - BRISTOL (L) 1348 Sq.Ft. UNIT - CALDER (R)
1348 Sq.Ft. UNIT - CALDER (L) 1356 Sq.Ft. UNIT - BRISTOL (R)

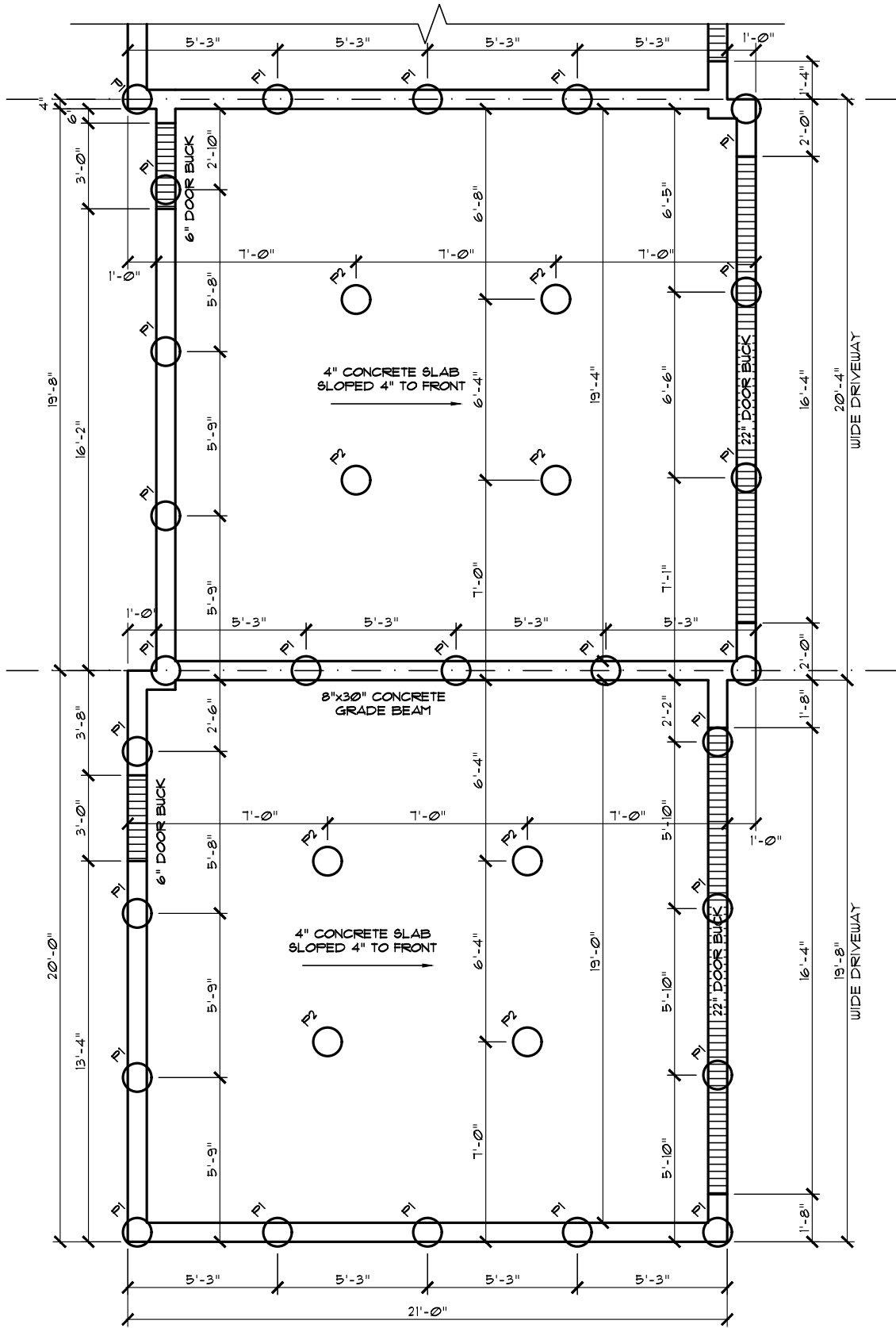
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PACESETTER DESIGN SERIES

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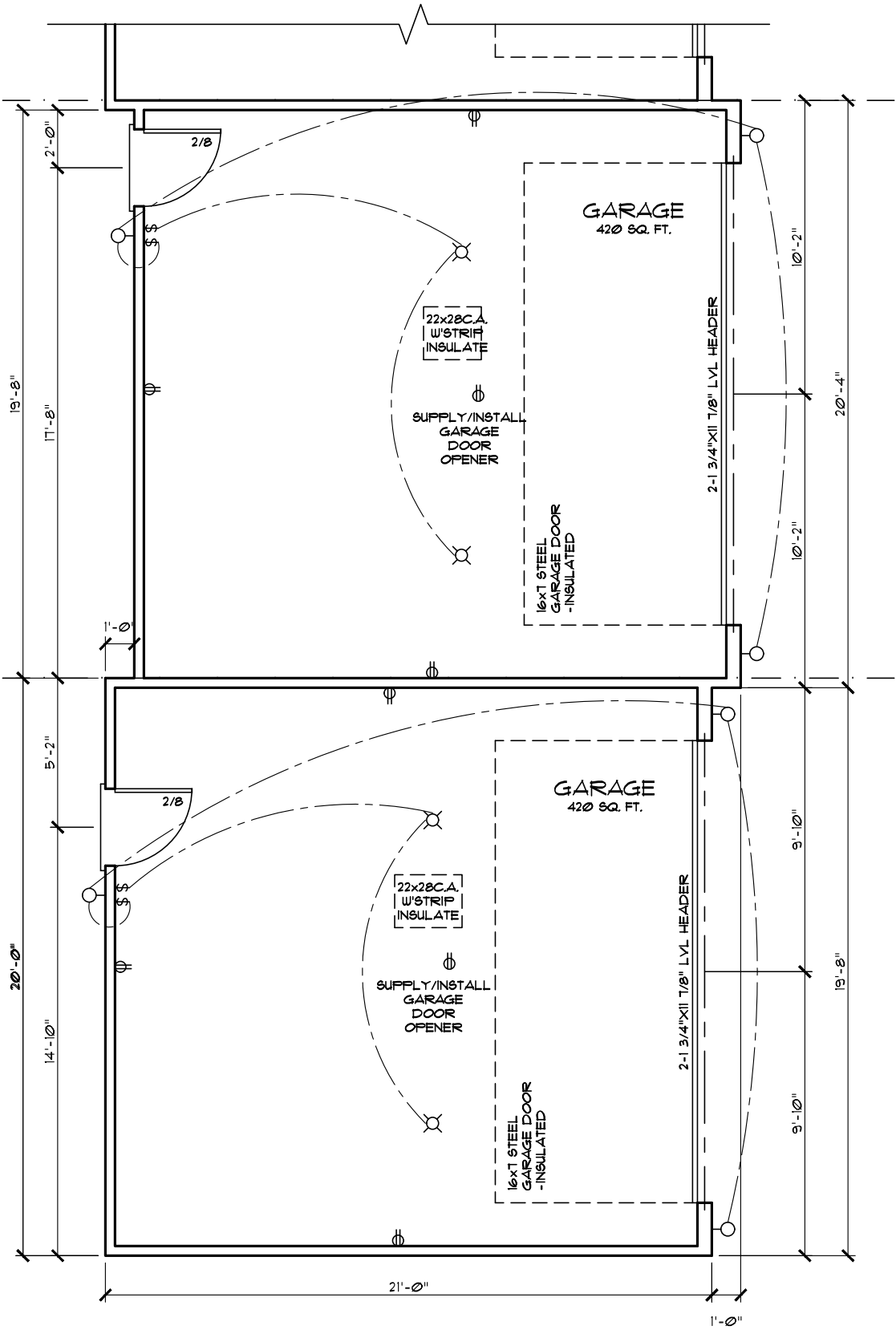
PARTIAL GARAGE
FOUNDATION PLAN

NOTE!
1. DIMENSIONS SHOWN ARE TO FACE OF MEMBER OR EXTERIOR WALL FACE UNLESS SHOWN OTHERWISE.

UNIT - CALDER (R)
JOB# 59213
5313 - ADMIRAL
GIROUARD STREET NW

UNIT - BRISTOL (R)
JOB# 59214
5311 - ADMIRAL
GIROUARD STREET NW

PILE LEGEND			
	DIAM.	PILE DEPTH	AMOUNT & SIZE OF REBAR
P1	12"	12'-0"	2-15 M
P2	12"	12'-0"	2-10 M
P3	12"	15'-0"	2-15 M



PARTIAL GARAGE
FLOOR PLAN

Address: 5317, 5315, 5313 & 5311 - ADMIRAL GIROUARD STREET NW EDMONTON, AB

Model: BRISTOL-CALDER 4 (P-GB) (SHELL 4BC-PI)

Job #: 59211, 59212, 59213 & 59214

SCALE: 3/16" = 1'-0"

Date: November 22, 2021

Page

Drawn By: Krizel Vargas

Main: 104 sq.ft. UNIT - BRISTOL (L) 618 sq.ft. UNIT - CALDER (R) 618 sq.ft. UNIT - CALDER (L) 104 sq.ft. UNIT - BRISTOL (R)

PACESETTER DESIGN SERIES

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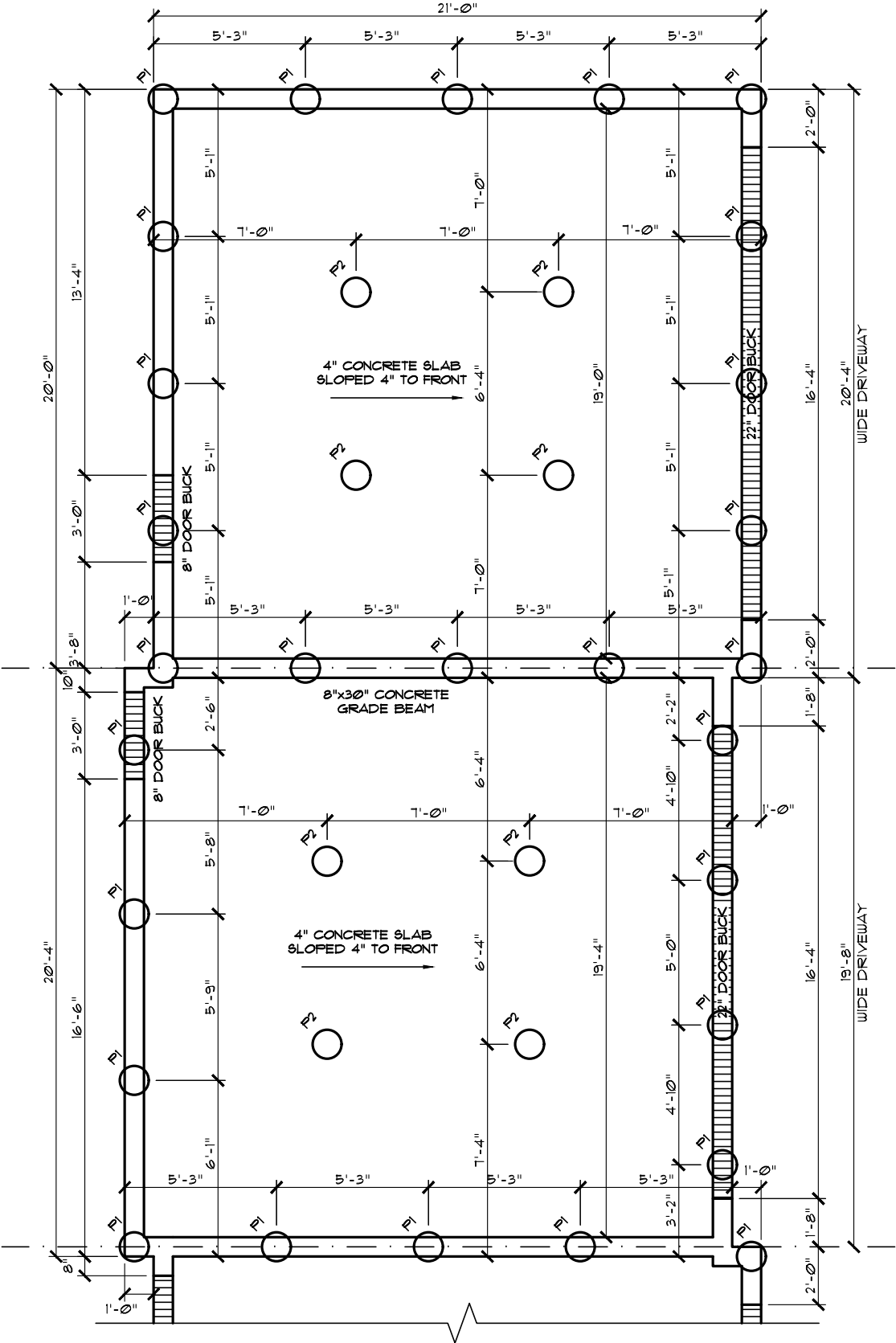
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Upper: 652 sq.ft. UNIT - BRISTOL (L) 610 sq.ft. UNIT - CALDER (R) 652 sq.ft. UNIT - CALDER (L) 652 sq.ft. UNIT - BRISTOL (R) 1348 sq.ft. UNIT - BRISTOL (L) 1348 sq.ft. UNIT - CALDER (R) 1356 sq.ft. UNIT - CALDER (L) 1356 sq.ft. UNIT - BRISTOL (R)

Total: 1348 sq.ft. UNIT - BRISTOL (L) 1348 sq.ft. UNIT - CALDER (R) 1356 sq.ft. UNIT - CALDER (L) 1356 sq.ft. UNIT - BRISTOL (R)



10



PARTIAL GARAGE
FOUNDATION PLAN

NOTE!
1. DIMENSIONS SHOWN ARE TO FACE OF
MEMBER OR EXTERIOR WALL FACE
UNLESS SHOWN OTHERWISE.

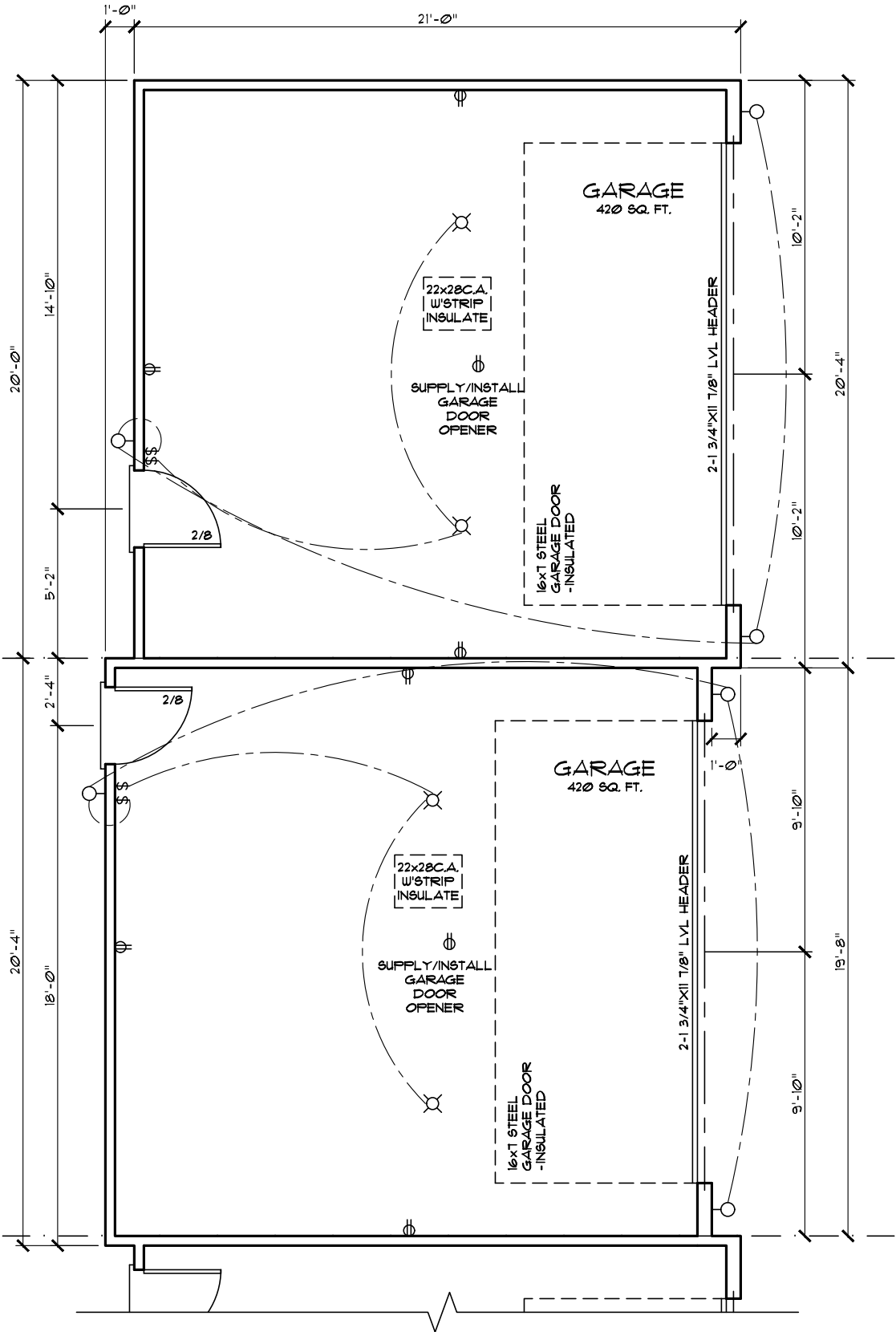
UNIT - BRISTOL (L)
JOB# 59211
5317 - ADMIRAL
GIROUARD STREET NW



UNIT - CALDER (L)
JOB# 59212
5315 - ADMIRAL
GIROUARD STREET NW

PILE LEGEND

	DIAM.	PILE DEPTH	AMOUNT & SIZE OF REBAR
P1	12"	12'-0"	2-15 M
P2	12"	12'-0"	2-10 M
P3	12"	15'-0"	2-15 M



PARTIAL GARAGE
FLOOR PLAN

Address: 5317, 5315, 5313 & 5311 - ADMIRAL GIROUARD STREET NW EDMONTON, AB

Model: BRISTOL-CALDER 4 (P-GB) (SHELL 4BC-PI)

Job #: 59211, 59212, 59213 & 59214

SCALE: 3/16" = 1'-0"

Date: November 22, 2021

Page

Drawn By: Krizel Vargas

Main: 104 sq.ft. UNIT - BRISTOL (L) 618 sq.ft. UNIT - CALDER (R)
618 sq.ft. UNIT - CALDER (L) 104 sq.ft. UNIT - BRISTOL (R)

PACESETTER DESIGN SERIES

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Upper: 652 sq.ft. UNIT - BRISTOL (L) 610 sq.ft. UNIT - CALDER (R)
652 sq.ft. UNIT - CALDER (L) 652 sq.ft. UNIT - BRISTOL (R)

Total: 1348 sq.ft. UNIT - BRISTOL (L) 1348 sq.ft. UNIT - CALDER (R)
1356 sq.ft. UNIT - CALDER (L) 1356 sq.ft. UNIT - BRISTOL (R)



10

GARAGE CONSTRUCTION

- 1

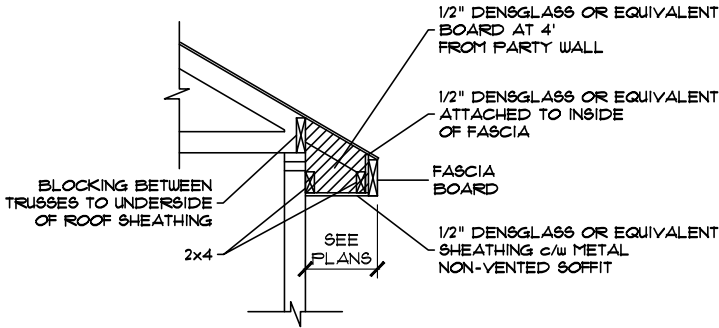
EXTERIOR WALL
VINYL SIDING W/PRE-FINISHED METAL BATTENS
BUILDING PAPER (AS REQ'D)
3/8" OSB SHEATHING
2 X 4 STUDS @ 16" O.C.
BATT INSULATION(OPTIONAL)
6 MIL POLY V.B.
1/2 DRYWALL (OPTIONAL)
- 2

4" CONCRETE SLAB ON GRADE
10M REBARS @ 24" O.C. EACH WAY
6" SAND FILL
- 3

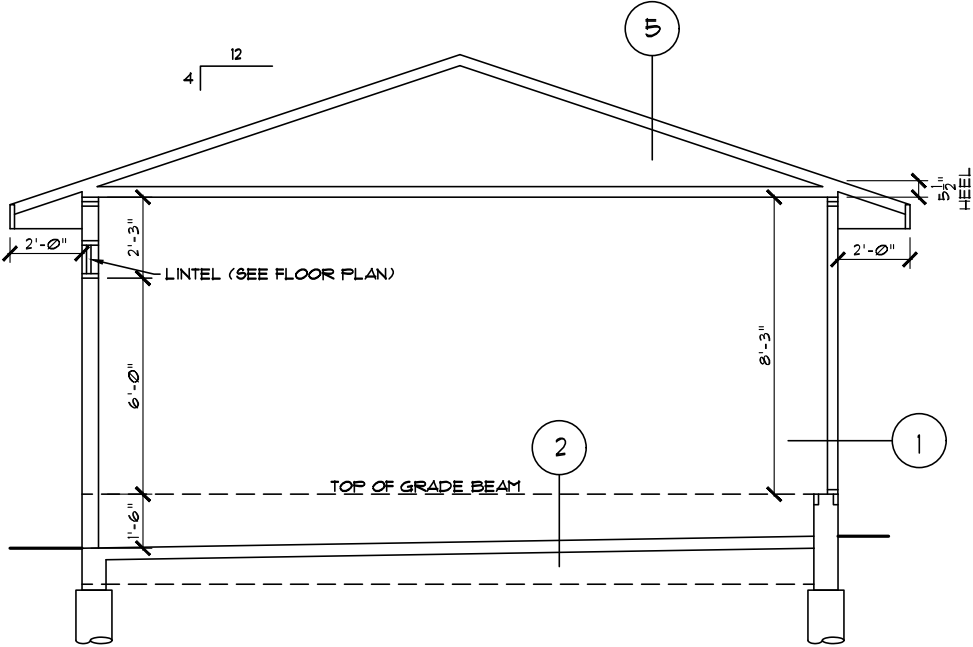
FIRE WALL
5/8" TYPE "X" GYP. B'D.
2x4 STUDS @ 16"O.C.
BATT INSULATION
5/8" TYPE "X" GYP. B'D.
(10 HOUR FIRE RATING)
- 4

ATTIC SEPARATION
5/8" TYPE "X" GYP. B'D.
ENGIN. TRUSS
5/8" TYPE "X" GYP. B'D.
(10 HOUR FIRE RATING)
- 5

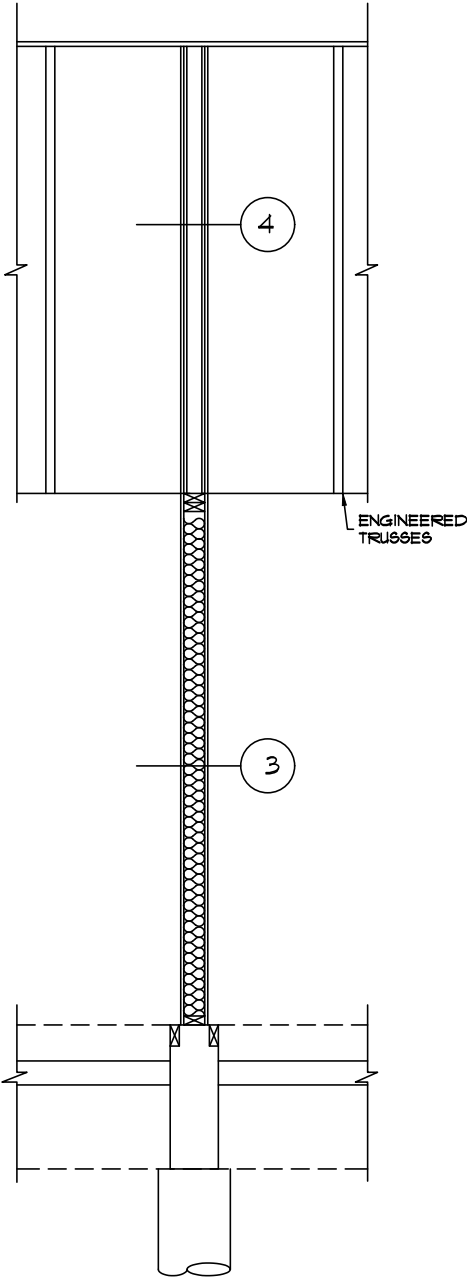
ROOF CONSTRUCTION
ASPHALT SHINGLES
3/8" O.S.B. SHEATHING c/w 'H'CLIPS
ENGINEERED WOOD TRUSSES @24" o/c



OVERHANG DETAIL
(4' ON EACH SIDE OF PARTY WALLS 4)



GARAGE SECTION



GARAGE PARTY
WALL DETAIL

Address: 5317, 5315, 5313 & 5311 - ADMIRAL GIROUARD STREET NW EDMONTON, AB 86, 87, 88 & 89 / 25 / 182-2492		Model: BRISTOL-CALDER 4 (P-GB) (SHELL 4BC-PI)	
Job #: 59211, 59212, 59213 & 59214		SCALE: 3/16" = 1'-0"	Date: November 22, 2021
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		Upper:	 A QUALICO Company
		Total:	
			Page
			10 / 10