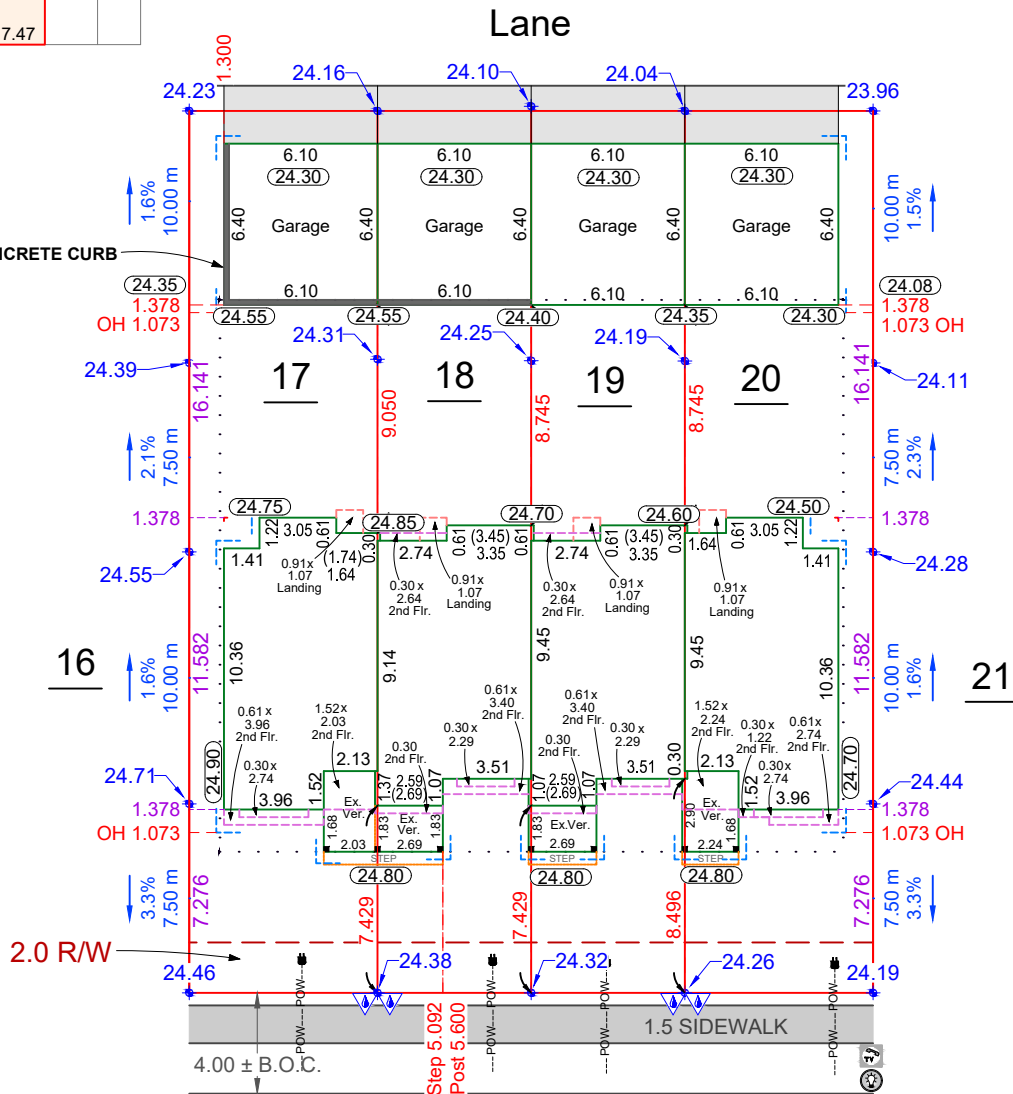
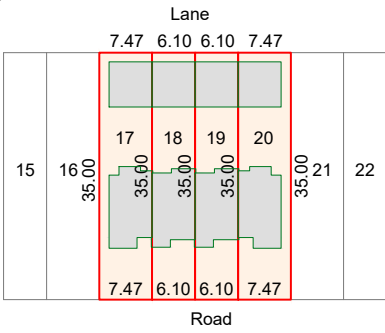


PLOT PLAN




Front

ELEVATION DETAILS	
HOUSE TYPE:	2 STOREY
FINISHED FLOOR:	25.51
BOTTOM OF FOOTING:	22.41
BASEMENT HEIGHT:	8'6"
FINISHED GRADE AT-FRONT STEP:	24.80
3 RISE, DOWN 4"	
FINISHED GRADE AT-BACK OF HOUSE:	
L-24.75, M-24.85, R-24.50	
GRADE BELOW-BACK/SIDE DOOR SILL:	
GRADE BELOW-BASEMENT WINDOWS:	WELL AS REQ'D
TOP OF CONCRETE BASEMENT WALL:	25.21
GARAGE FLOOR:	24.30
SANITARY SEWER SERVICE INVERT:	17&18-21.63 19&20-21.51
FOOTING SIZE:	0.20

NOTES

- **BUILDER/OWNER RESPONSIBLE TO ENSURE BACK FILL LEVELS MEET ALL CODES.**
- ALL DIMENSIONS AND SERVICES SHOWN MUST BE CONFIRMED BY CONTRACTOR PRIOR TO EXCAVATION.
- **ALL DISTANCES SHOWN ARE IN METER AND DECIMALS THEREOF.**
- BUILDER / OWNER IS LIABLE FOR ANY COSTS INCURRED DUE TO AN ERROR IN THE ABOVE PLAN IF CONSTRUCTION STARTS PRIOR TO THIS PLAN BEING APPROVED BY THE LOCAL APPROVING AUTHORITY
- **ALL DIMENSIONS SHOWN TO FOUNDATION WALL, FINAL EXTERIOR CLADDING MAY ALTER DIMENSIONS**
- THE ELEVATION OF THIS HOUSE HAS BEEN DESIGNED SO THAT IT WILL BE IN CONFORMANCE WITH THE LOT GRADING PLAN.














 **RAIN WATER LEADERS REQUIRED.**

CITY OF EDMONTON LANDSCAPING REQUIREMENTS (PER LOT):

- 1 New Deciduous Tree (50 mm Caliper) or
- 1 New Coniferous Tree (2.5 m Height) &
- 4 New Shrubs

DETAILS
- LOT AREA (17): 261.45 m ² (2814.2 ft ²)
- HOUSE AREA: 73.59 m ² (792.1 ft ²)
- HOUSE COVERAGE: 28.15 %
- GARAGE AREA: 39.02 m ² (420.0 ft ²)
- GARAGE COVERAGE: 14.92 %
- TOTAL COVERAGE: 43.07 %
- DRIVEWAY AREA: 14.02 m ² (150.9 ft ²)
- LOT AREA (18): 213.50 m ² (2298.1 ft ²)
- HOUSE AREA: 66.31 m ² (713.7 ft ²)
- HOUSE COVERAGE: 31.06 %
- VERANDA AREA: 4.10 m ² (44.2 ft ²)
- VERANDA COVERAGE: 1.92 %
- GARAGE AREA: 39.02 m ² (420.0 ft ²)
- GARAGE COVERAGE: 18.28 %
- TOTAL COVERAGE: 51.26 %
- DRIVEWAY AREA: 14.03 m ² (151.0 ft ²)
- LOT AREA (19): 213.50 m ² (2298.1 ft ²)
- HOUSE AREA: 66.28 m ² (713.4 ft ²)
- HOUSE COVERAGE: 31.04 %
- VERANDA AREA: 4.10 m ² (44.2 ft ²)
- VERANDA COVERAGE: 1.92 %
- GARAGE AREA: 39.02 m ² (420.0 ft ²)
- GARAGE COVERAGE: 18.28 %
- TOTAL COVERAGE: 51.24 %
- DRIVEWAY AREA: 14.02 m ² (150.9 ft ²)
- LOT AREA (20): 261.45 m ² (2814.2 ft ²)
- HOUSE AREA: 73.77 m ² (794.1 ft ²)
- HOUSE COVERAGE: 28.22 %
- GARAGE AREA: 39.02 m ² (420.0 ft ²)
- GARAGE COVERAGE: 14.92 %
- TOTAL COVERAGE: 43.14 %
- DRIVEWAY AREA: 14.02 m ² (150.9 ft ²)

LEGEND

PROPOSED CLEAN OUT		PROPOSED HYDRANT		PROPOSED BACK OF CURB	B.O.C.	DESIGN GRADE ELEVATION		00.00
PROPOSED STREET LIGHT		PROPOSED SERVICE PEDESTAL		PROPOSED BACK OF WALK	B.O.W.	AS-BUILT ELEVATION		00.00
PROPOSED C.C. LOCATION		PROPOSED POWER SERVICE		PROPOSED LIP OF LANE	L.O.L.	PROPOSED ELEVATION		00.00
PROPOSED TRANSFORMER		PROPOSED FENCE LINE		PROPOSED UTILITY VAULT		CENTERLINE ELEVATION		CL 0.0

LEGAL INFORMATION		
LOT	BLOCK	PLAN NUM.
17, 18, 19, 20	9	152 5734
CIVIC ADDRESS:		
5303 22 AVENUE SW (LOT 17)		
5305 22 AVENUE SW (LOT 18)		
5307 22 AVENUE SW (LOT 19)		
5309 22 AVENUE SW (LOT 20)		
LOCATION	SUBDIVISION	
EDMONTON	WALKER	



EMAIL: PLOTPLAN@PALSGEOMATICS.COM

PHONE: 780-455-3177

FAX: 780-481-1301

10704 - 176TH STREET NW

EDMONTON, ALBERTA T5S 1G7



DWG DETAILS			
Rev. No.	Date:	Drafted By:	Description
PP	9/14/21	JGRAY	
BUILDER/OWNER: PACESETTER HOMES			
MODEL: AFFIRMED/ALYDAR/ALYDAR/AFFIRMED			
JOB NUM.: 57121/22/23/24			
LOT ZONING: RF5		SCALE: 1:300	