



UNIT - AFFIRMED (L)
JOB# 57121
5303 - 22 AVENUE SW

UNIT - ALYDAR (L)
JOB# 57122
5305 - 22 AVENUE SW

UNIT - ALYDAR (R)
JOB# 57123
5307 - 22 AVENUE SW

UNIT - AFFIRMED (R)
JOB# 57124
5309 - 22 AVENUE SW

OVERALL FRONT ELEVATION
(NOT TO SCALE)

Address: 5303, 5305, 5307 & 5309 - 22 AVENUE SW EDMONTON, AB 17, 18, 19 & 20 / 09 / 152 5734		Model: AFFIRMED-ALYDAR 4 (NR) (SHELL 4AA-N2)	
Job #: 57121, 57122, 57123 & 57124		Date: January 31, 2022	Page 1
Drawn By: Sophat Vith	Main:		PACESETTER DESIGN SERIES  A QUALICO Company
	Upper:		
	Total:		
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UNIT - AFFIRMED (R)
JOB# 57124
5309 - 22 AVENUE SW

UNIT - ALYDAR (R)
JOB# 57123
5307 - 22 AVENUE SW

UNIT - ALYDAR (L)
JOB# 57122
5305 - 22 AVENUE SW

UNIT - AFFIRMED (L)
JOB# 57121
5303 - 22 AVENUE SW

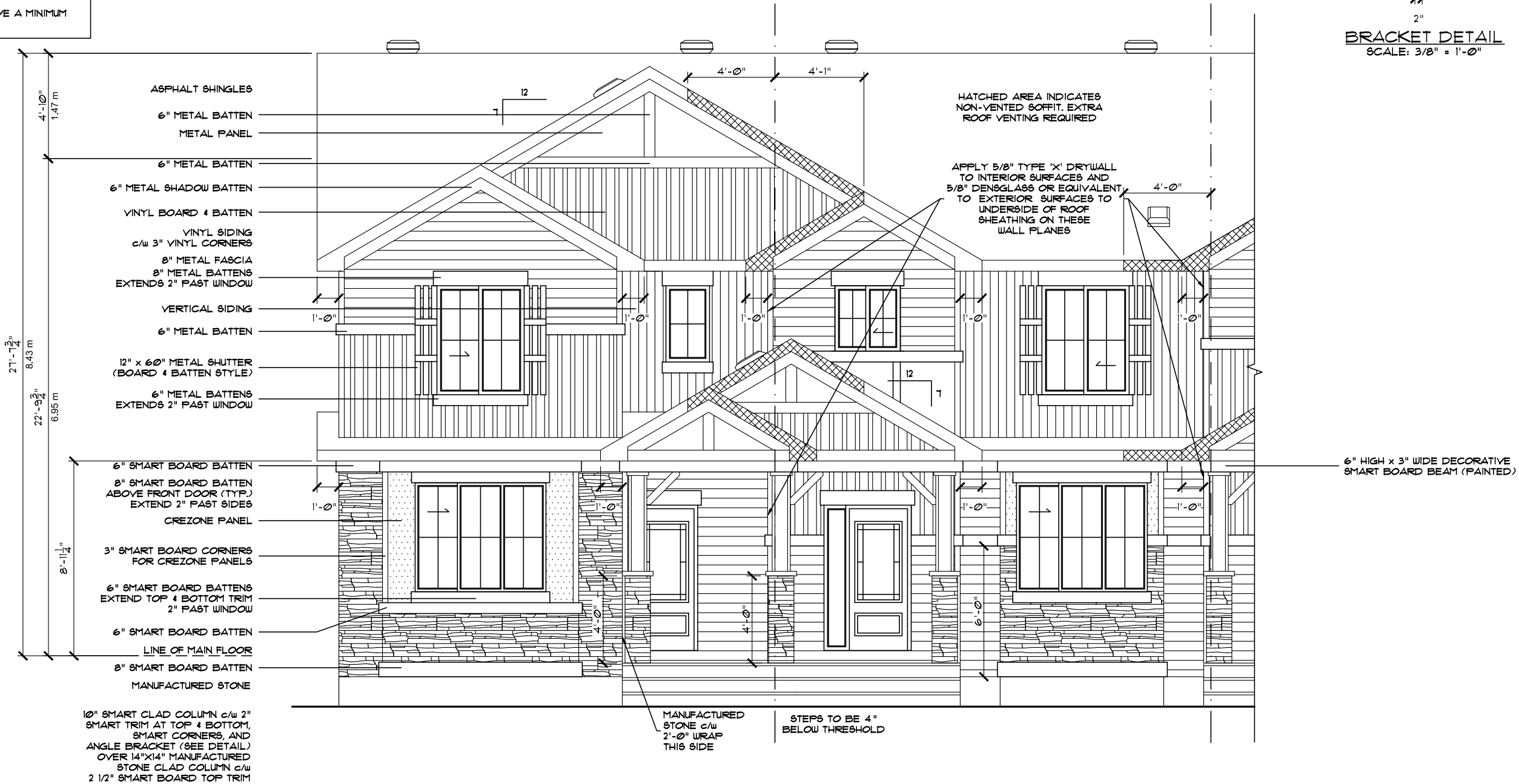
OVERALL REAR ELEVATION
(NOT TO SCALE)

Address: 5303, 5305, 5307 & 5309 - 22 AVENUE SW EDMONTON, AB 17, 18, 19 & 20 / 09 / 152 5734		Model: AFFIRMED-ALYDAR 4 (NR) (SHELL 4AA-N2)	
Job #: 57121, 57122, 57123 & 57124		Date: January 31, 2022	Page
Drawn By: Sophat Vith	Main:	649 Sq.Ft. UNIT - AFFIRMED (L) 633 Sq.Ft. UNIT - ALYDAR (R) 634 Sq.Ft. UNIT - ALYDAR (L) 648 Sq.Ft. UNIT - AFFIRMED (R)	PACESETTER DESIGN SERIES
	Upper:	661 Sq.Ft. UNIT - AFFIRMED (L) 633 Sq.Ft. UNIT - ALYDAR (R) 633 Sq.Ft. UNIT - ALYDAR (L) 651 Sq.Ft. UNIT - AFFIRMED (R)	
	Total:	1310 Sq.Ft. UNIT - AFFIRMED (L) 1266 Sq.Ft. UNIT - ALYDAR (R) 1261 Sq.Ft. UNIT - ALYDAR (L) 1305 Sq.Ft. UNIT - AFFIRMED (R)	
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		17	

- NOTE!
1. FLASHING IS TO BE INSTALLED AT ALL APPROPRIATE LOCATIONS ON ROOF AND ELEVATIONS. -SEE BUILDERS SPEC.

2. WINDOW WELLS MAY BE REQUIRED DEPENDING ON FINAL GRADE

3. ALL STAIRS TO HAVE A MINIMUM 10" RUN + 1" NOSING



UNIT - AFFIRMED (L)
JOB# 57121
5303 - 22 AVENUE SW

UNIT - ALYDAR (L)
JOB# 57122
5305 - 22 AVENUE SW

PARTIAL FRONT ELEVATION

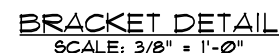
** ALL WINDOWS TO BE LOW E **

** TRI-PANE WINDOWS **

THROUGHOUT

(UNLESS NOTED OTHERWISE)

Address: 5303, 5305, 5307 & 5309 - 22 AVENUE SW EDMONTON, AB 17, 18, 19 & 20 / 09 / 152 5734		Model: AFFIRMED-ALYDAR 4 (NR) (SHELL 4AA-N2)	
Job #: 57121, 57122, 57123 & 57124		Date: January 31, 2022	
Drawn By: Sophat Vith	SCALE: 3/16" = 1'-0"		PACESETTER DESIGN SERIES
	Main:		
	Upper:		
	Total:		
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		3	Page 17



1. FLASHING IS TO BE INSTALLED AT ALL APPROPRIATE LOCATIONS ON ROOF AND ELEVATIONS.
-SEE BUILDERS SPECS.
2. WINDOW WELLS MAY BE REQUIRED DEPENDING ON FINAL GRADE
3. ALL STAIRS TO HAVE A MINIMUM 10" RUN + 1" NOSING



(UNLESS NOTED OTHERWISE)

SET POST BACK FROM EDGES OF STEP
TO ALLOW FOR BOTTOM COLLAR

Address: 5303, 5305, 5307 & 5309 - 22 AVENUE SW EDMONTON, AB
T7 1R8, T7 1R9 & T7 1R0 / 5309 / 5305 5734

Model: AFFIRMED-ALYDAR 4 (NR) (SHELL 4AA-N2)

Job #: 57121, 57122, 57123 & 57124

SCALE: 3/16"=1'-0"

Date: January 31, 2022

Drawn By: Sophat Vith

Main:

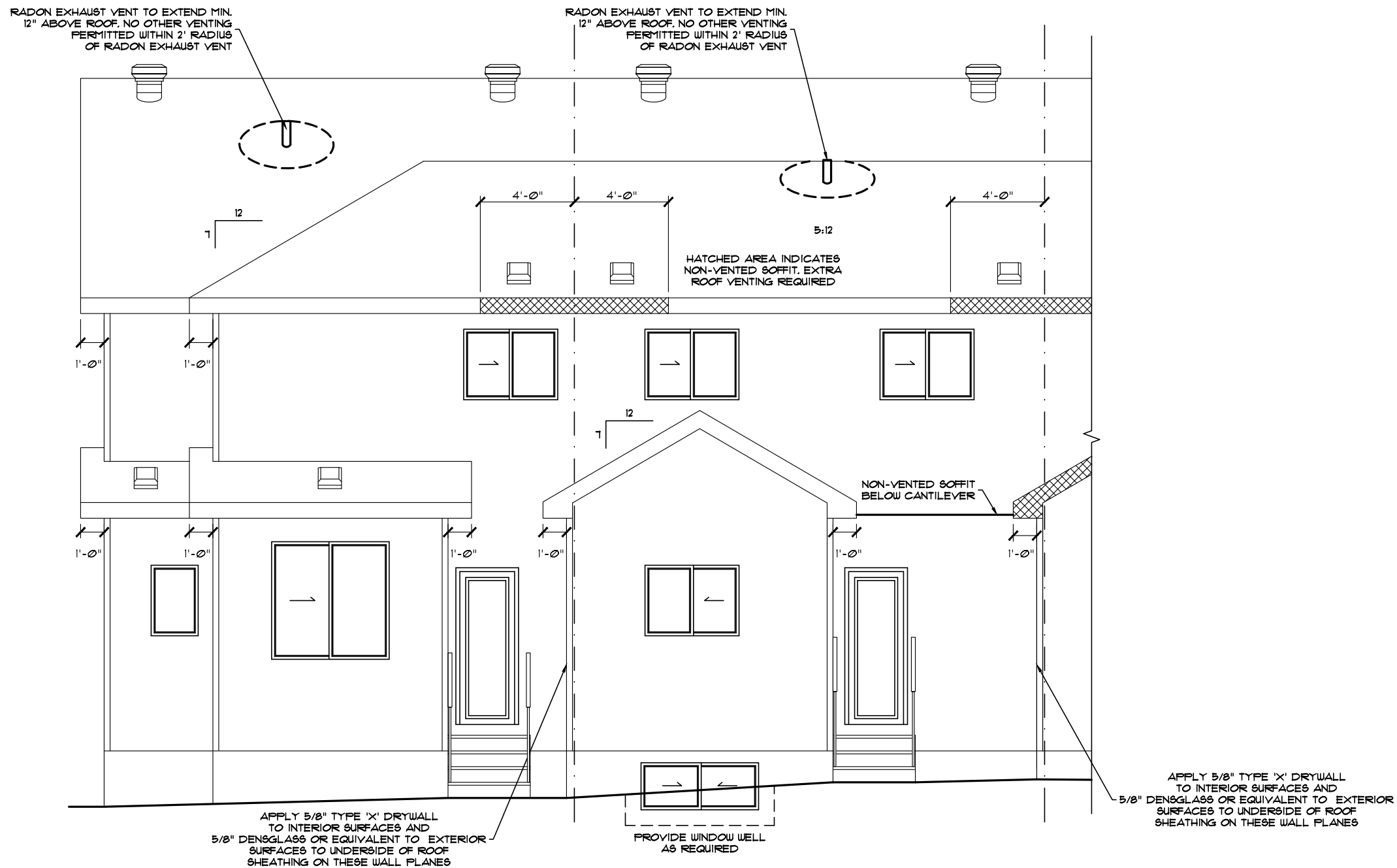
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Upper: 661 sq.ft. UNIT - AFFIRMED (L) 633 sq.ft. UNIT - ALYDAR (R)
633 sq.ft. UNIT - ALYDAR (L) 657 sq.ft. UNIT - AFFIRMED (R)

Total:	1310 Sq.Ft. UNIT - AFFIRMED (L) 266 Sq.Ft. UNIT - ALYDAR (R)
	1267 Sq.Ft. UNIT - ALYDAR (L) 1305 Sq.Ft. UNIT - AFFIRMED (R)



Pacesetter
HOMES



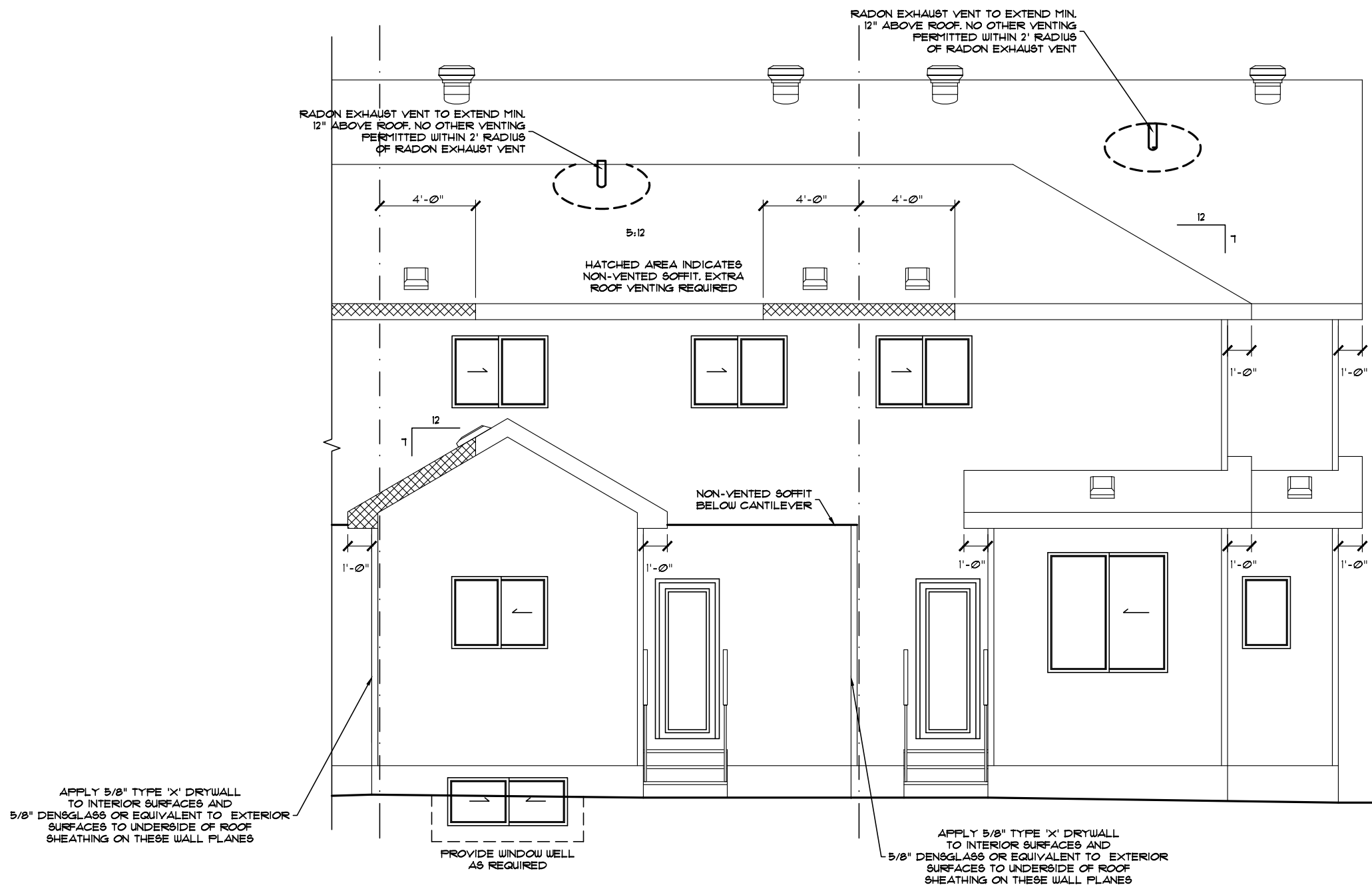
UNIT - AFFIRMED (R)
JOB# 57124
5309 - 22 AVENUE SW

UNIT - ALYDAR (R)
JOB# 57123
5307 - 22 AVENUE SW

PARTIAL REAR ELEVATION
** ALL WINDOWS TO BE LOW E **
** TRI-PANE WINDOWS **
THROUGHOUT

(UNLESS NOTED OTHERWISE)

Address: 5303, 5305, 5307 & 5309 - 22 AVENUE SW EDMONTON, AB 17, 18, 19 & 20 / 09 / 152 5734		Model: AFFIRMED-ALYDAR 4 (NR) (SHELL 4AA-N2)		Page
Job #: 57121, 57122, 57123 & 57124		Date: January 31, 2022		
Drawn By: Sophat Vith	Main:		PACESETTER DESIGN SERIES	
	Upper:		 A QUALICO Company	
	Total:			
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		649 sq.ft. UNIT - AFFIRMED (L) 633 sq.ft. UNIT - ALYDAR (R) 634 sq.ft. UNIT - ALYDAR (L) 648 sq.ft. UNIT - AFFIRMED (R)		17
		661 sq.ft. UNIT - AFFIRMED (L) 633 sq.ft. UNIT - ALYDAR (R) 651 sq.ft. UNIT - ALYDAR (L) 651 sq.ft. UNIT - AFFIRMED (R)		
		1310 sq.ft. UNIT - AFFIRMED (L) 1266 sq.ft. UNIT - ALYDAR (R) 1267 sq.ft. UNIT - ALYDAR (L) 1305 sq.ft. UNIT - AFFIRMED (R)		



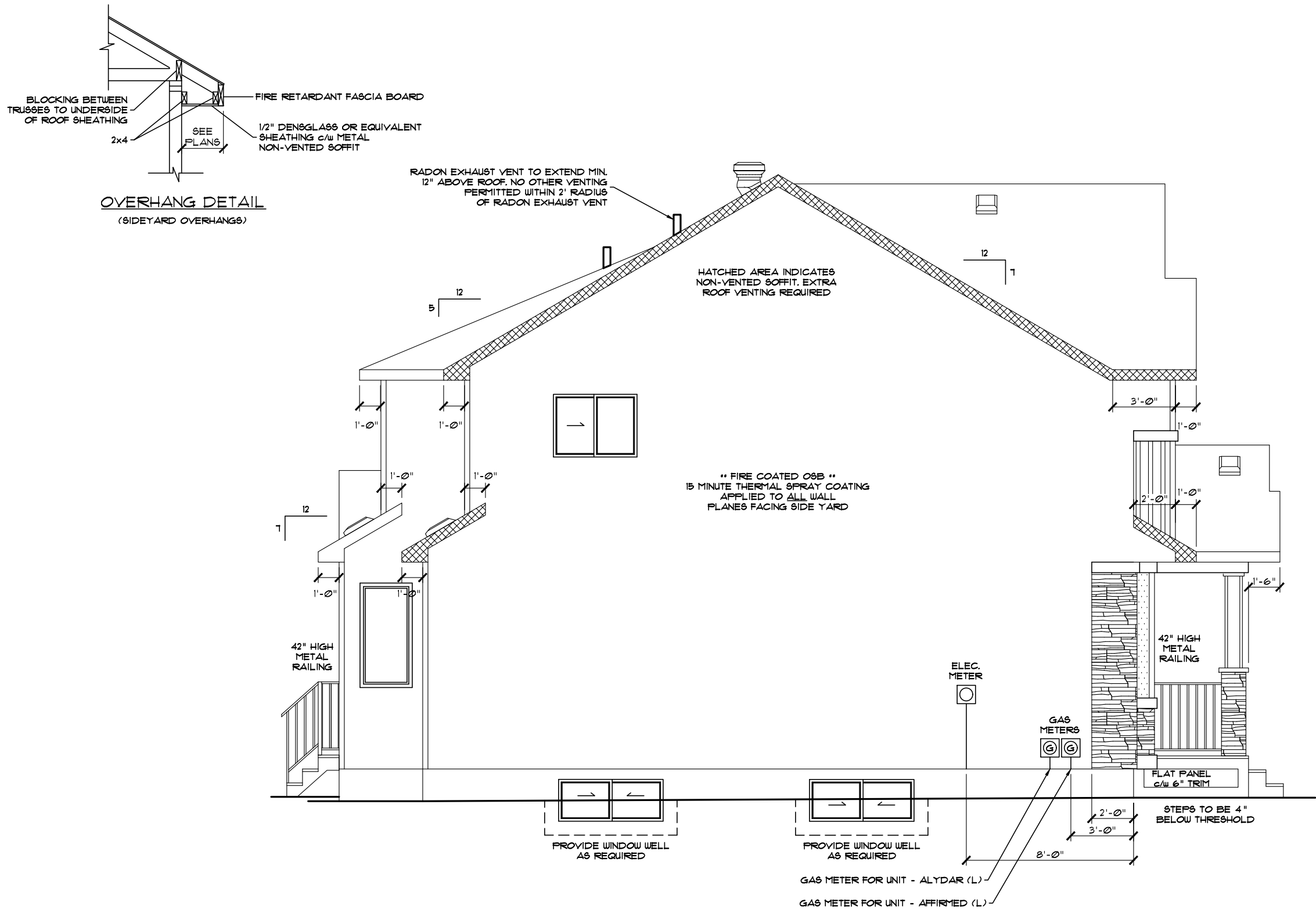
UNIT - ALYDAR (L)
JOB# 57122
5305 - 22 AVENUE SW

UNIT - AFFIRMED (L)
JOB# 57121
5303 - 22 AVENUE SW

PARTIAL REAR ELEVATION
** ALL WINDOWS TO BE LOW E **
** TRI-PANE WINDOWS **
THROUGHOUT

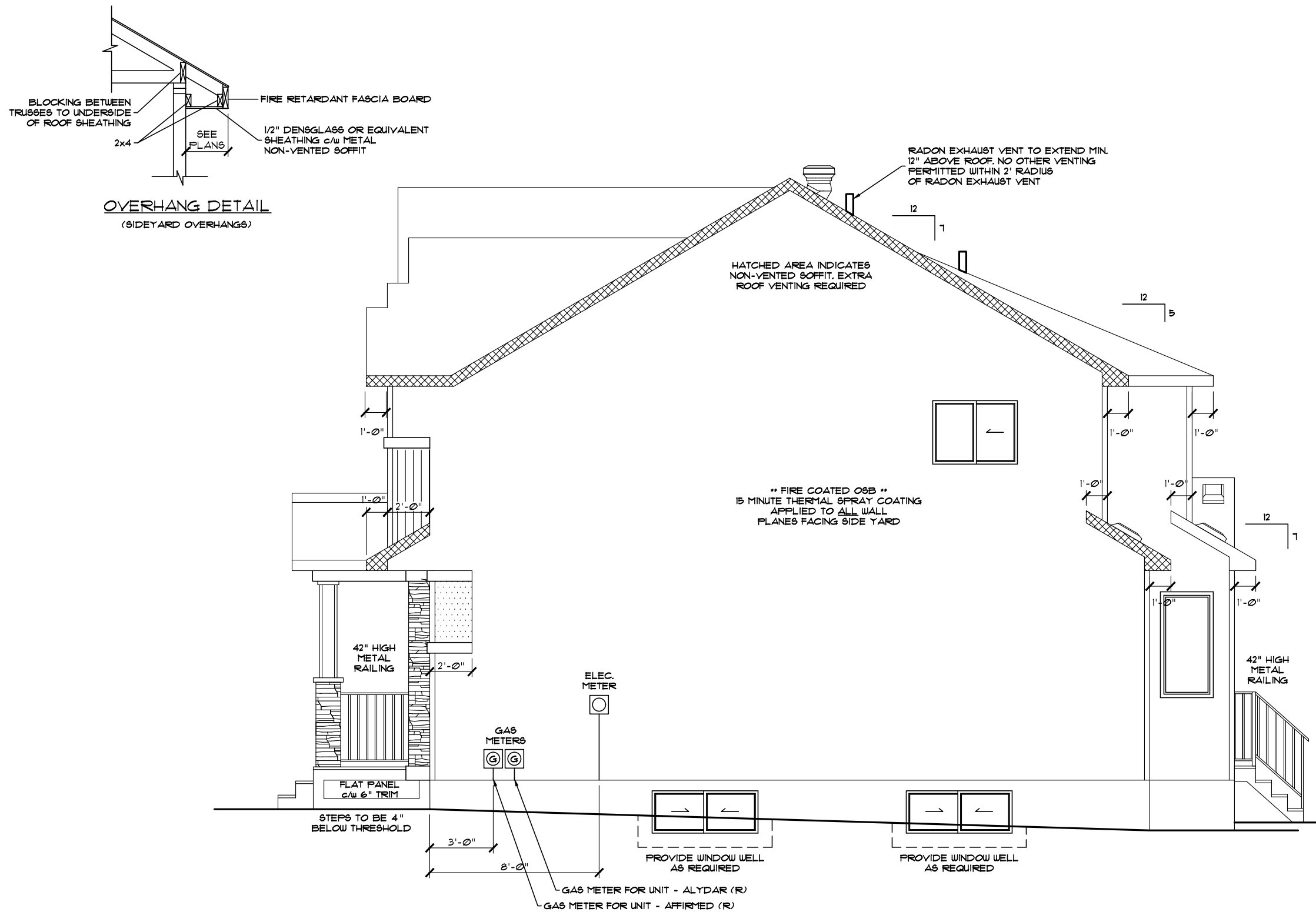
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Address: 5303, 5305, 5307 & 5309 - 22 AVENUE SW EDMONTON, AB 17, 18, 19 & 20 / 09 / 152 5734		Model: AFFIRMED-ALYDAR 4 (NR) (SHELL 4AA-N2)	
Job #: 57121, 57122, 57123 & 57124		SCALE: 3/16" = 1'-0"	Date: January 31, 2022
Drawn By: Sophat Vith	Main:		PACESETTER DESIGN SERIES
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	Total:		
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		 A QUALICO Company	
		Page 6	
		17	



LEFT ELEVATION
** ALL WINDOWS TO BE LOW E **
** TRI-PANE WINDOWS **
THROUGHOUT
(UNLESS NOTED OTHERWISE)

Address: 5303, 5305, 5307 & 5309 - 22 AVENUE SW EDMONTON, AB Job #: 57121, 57122, 57123 & 57124		Model: AFFIRMED-ALYDAR 4 (NR) (SHELL 4AA-N2) Date: January 31, 2022		Page 7	
Drawn By: Sophat Vith		PACESETTER DESIGN SERIES		Pacesetter A QUALICO Company	
Main:		649 sq.ft. UNIT - AFFIRMED (L) 633 sq.ft. UNIT - ALYDAR (R) 634 sq.ft. UNIT - ALYDAR (L) 648 sq.ft. UNIT - AFFIRMED (R)		Upper:	
Total:		661 sq.ft. UNIT - AFFIRMED (L) 633 sq.ft. UNIT - ALYDAR (R) 1310 sq.ft. UNIT - AFFIRMED (L) 1266 sq.ft. UNIT - ALYDAR (R)		Total:	
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RIGHT ELEVATION
** ALL WINDOWS TO BE LOW E **
** TRI-PANE WINDOWS **
THROUGHOUT

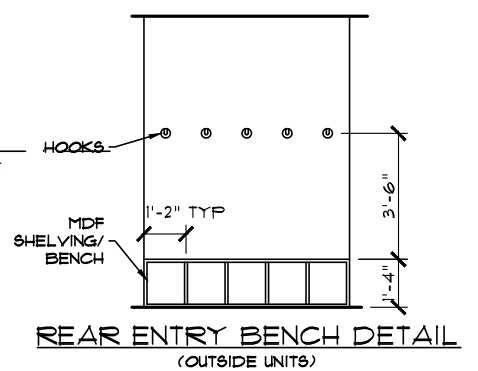
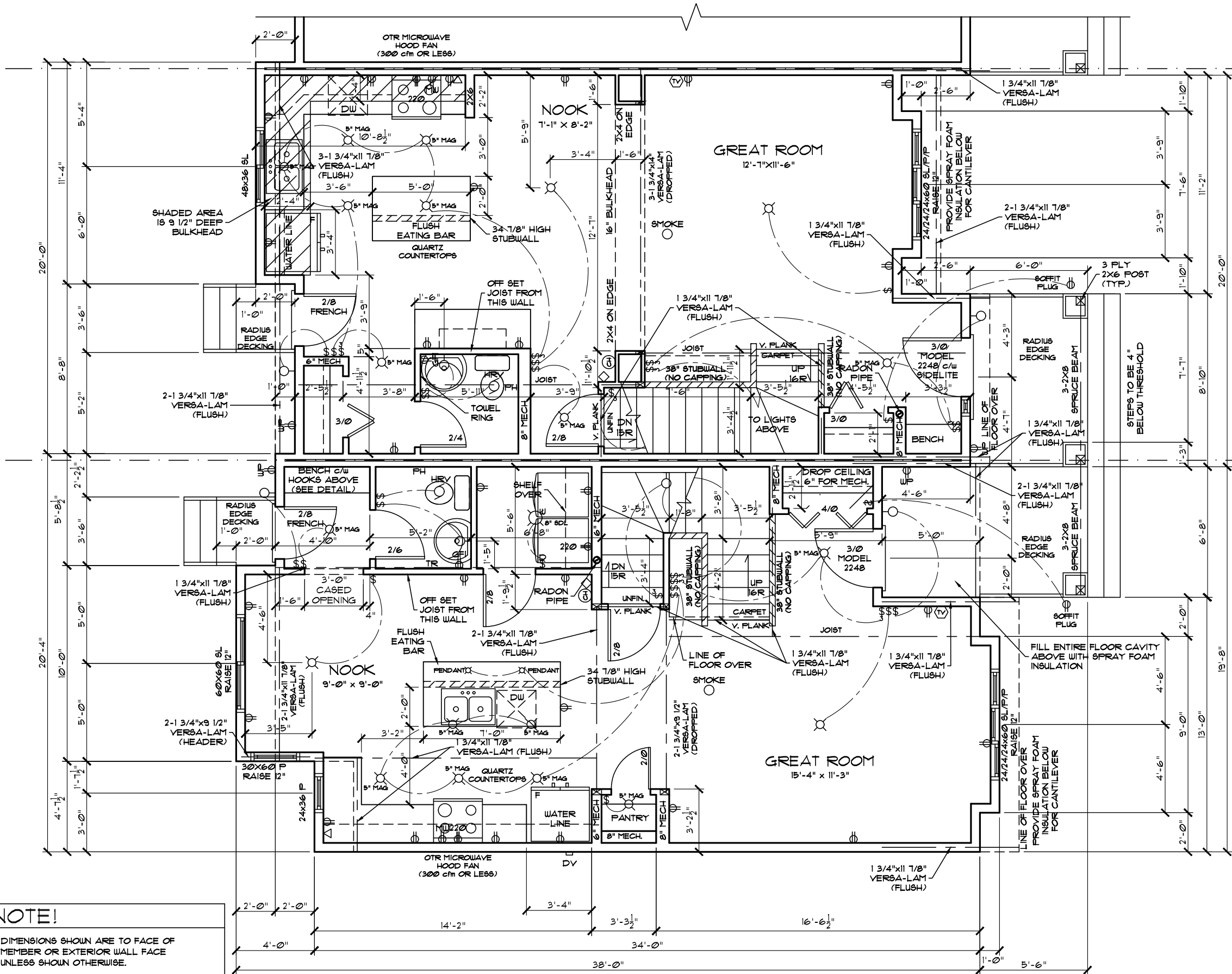
(UNLESS NOTED OTHERWISE)

Address: 5303, 5305, 5307 & 5309 - 22 AVENUE SW EDMONTON, AB 17, 18, 19 & 20 / 09 / 152 5734		Model: AFFIRMED-ALYDAR 4 (NR) (SHELL 4AA-N2)	
Job #: 57121, 57122, 57123 & 57124		SCALE: 3/16" = 1'-0"	Date: January 31, 2022
Drawn By: Sophat Vith	These blueprints are the property of Pacesetter Homes Ltd. 3203 - 93 Street, Edmonton, Alberta T6N 0B2. All rights reserved, including the right of reproduction in whole or in part, in any form, without the written permission of Pacesetter Homes Ltd.	Main:	PACESETTER DESIGN SERIES
		Upper:	 A QUALICO Company
		Total:	
		661 Sq.Ft. UNIT - AFFIRMED (L) 633 Sq.Ft. UNIT - ALYDAR (R) 633 Sq.Ft. UNIT - ALYDAR (L) 651 Sq.Ft. UNIT - AFFIRMED (R)	17
		1310 Sq.Ft. UNIT - AFFIRMED (L) 1266 Sq.Ft. UNIT - ALYDAR (R) 1267 Sq.Ft. UNIT - ALYDAR (L) 1305 Sq.Ft. UNIT - AFFIRMED (R)	

NOTE!

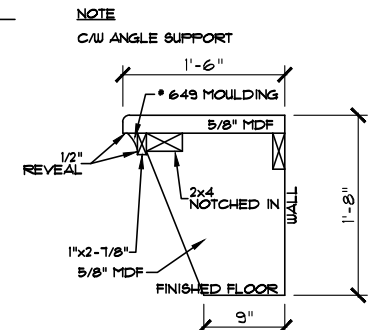
1. DIMENSIONS SHOWN ARE TO FACE OF MEMBER OR EXTERIOR WALL FACE UNLESS SHOWN OTHERWISE.

2. ALL BEAMS AND LINTELS ARE TO BE 2-2X10 SPRUCE UNLESS NOTED OTHERWISE.



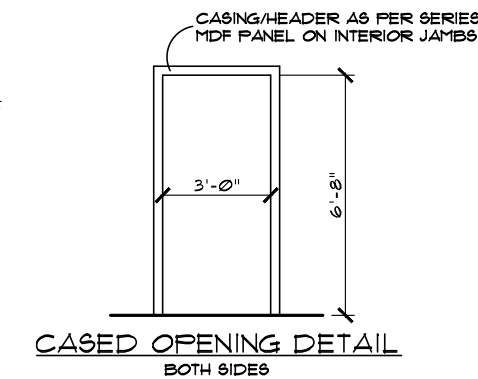
UNIT - ALYDAR (L)
JOB# 57122
5305 - 22 AVENUE SW

PARTIAL MAIN FLOOR PLAN



FRONT/REAR ENTRY BENCH DETAIL
(ALL UNITS)

UNIT - AFFIRMED (L)
JOB# 57121
5303 - 22 AVENUE SW



Address: 5303, 5305, 5307 & 5309 - 22 AVENUE SW EDMONTON, AB

Job #: 57121, 57122, 57123 & 57124

Drawn By: Sophat Vith

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Main: 649 sq.ft. UNIT - AFFIRMED (L) 633 sq.ft. UNIT - ALYDAR (R)
634 sq.ft. UNIT - ALYDAR (L) 648 sq.ft. UNIT - AFFIRMED (R)

Upper: 661 sq.ft. UNIT - AFFIRMED (L) 633 sq.ft. UNIT - ALYDAR (R)
633 sq.ft. UNIT - ALYDAR (L) 651 sq.ft. UNIT - AFFIRMED (R)

Total: 1310 sq.ft. UNIT - AFFIRMED (L) 1266 sq.ft. UNIT - ALYDAR (R)
1261 sq.ft. UNIT - ALYDAR (L) 1305 sq.ft. UNIT - AFFIRMED (R)

Date: January 31, 2022

PACESSETTER DESIGN SERIES



Page

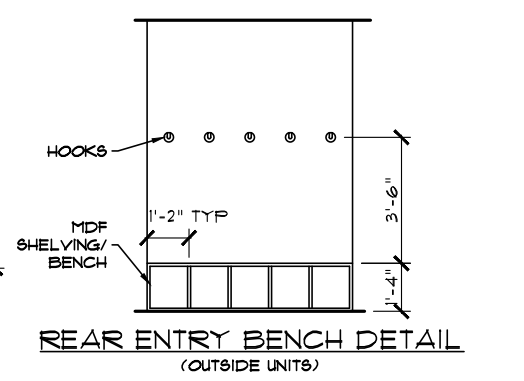
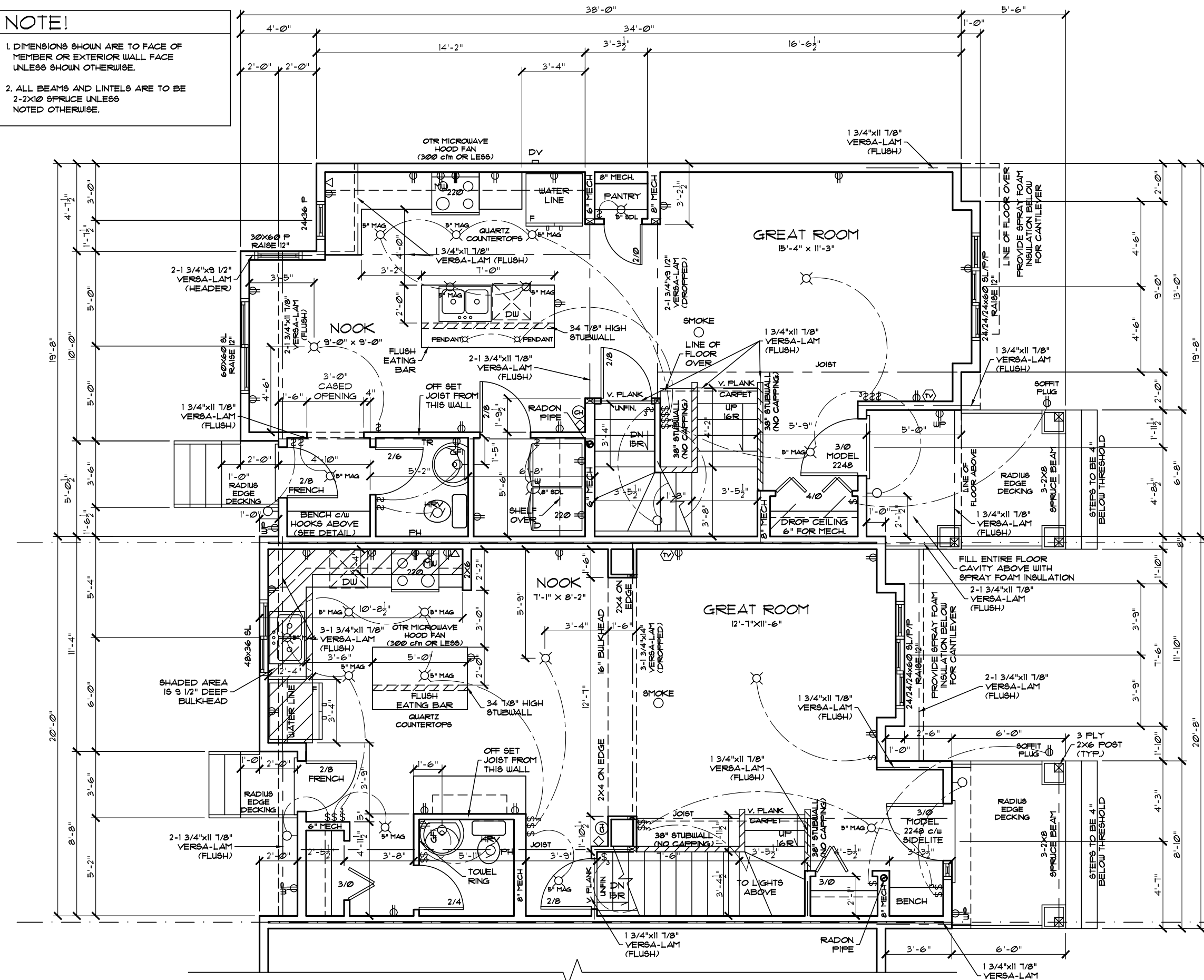
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NOTE!

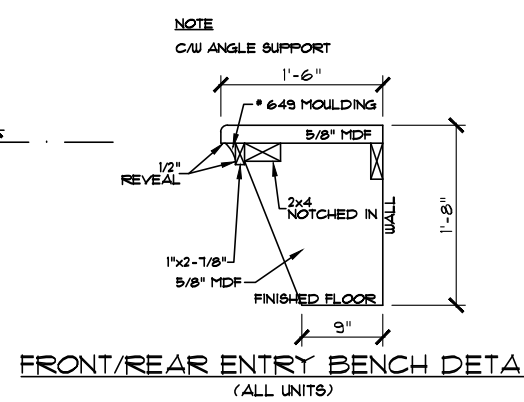
1. DIMENSIONS SHOWN ARE TO FACE OF MEMBER OR EXTERIOR WALL FACE UNLESS SHOWN OTHERWISE.

2. ALL BEAMS AND LINTELS ARE TO BE 2-2X10 SPRUCE UNLESS NOTED OTHERWISE.

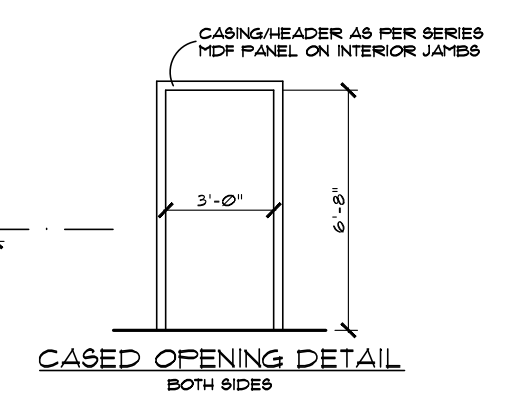


UNIT - AFFIRMED (R)
JOB# 57124
5309 - 22 AVENUE SW

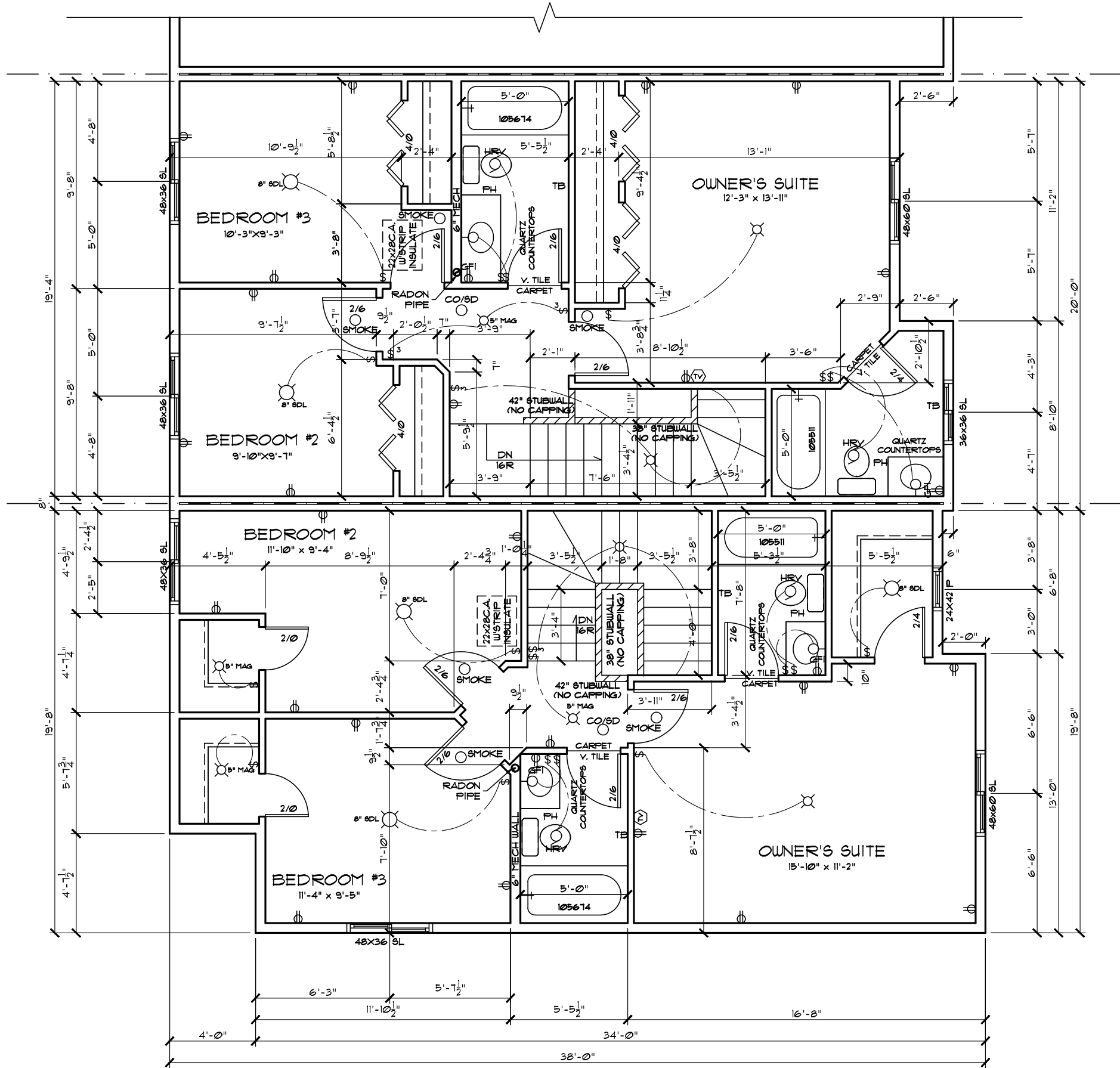
PARTIAL MAIN FLOOR PLAN



UNIT - ALYDAR (R)
JOB# 57123
5307 - 22 AVENUE SW



Model: AFFIRMED-ALYDAR 4 (NR) (SHELL 4AA-N)		Page
Date: January 31, 2022		10
PACESETTER DESIGN SERIES		 A QUALICO Company
Main:	649 sq.ft. UNIT - AFFIRMED (L) 633 sq.ft. UNIT - ALYDAR (R) 634 sq.ft. UNIT - ALYDAR (L) 648 sq.ft. UNIT - AFFIRMED (R)	
Upper:	661 sq.ft. UNIT - AFFIRMED (L) 633 sq.ft. UNIT - ALYDAR (R) 634 sq.ft. UNIT - ALYDAR (L) 651 sq.ft. UNIT - AFFIRMED (R)	
Total:	1310 sq.ft. UNIT - AFFIRMED (L) 1266 sq.ft. UNIT - ALYDAR (R) 1261 sq.ft. UNIT - ALYDAR (L) 1305 sq.ft. UNIT - AFFIRMED (R)	17
Address: 5303, 5305, 5307 & 5309 - 22 AVENUE SW EDMONTON, AB		
Job #: 57121, 57122, 57123 & 57124		
Drawn By: Sophat Vith		
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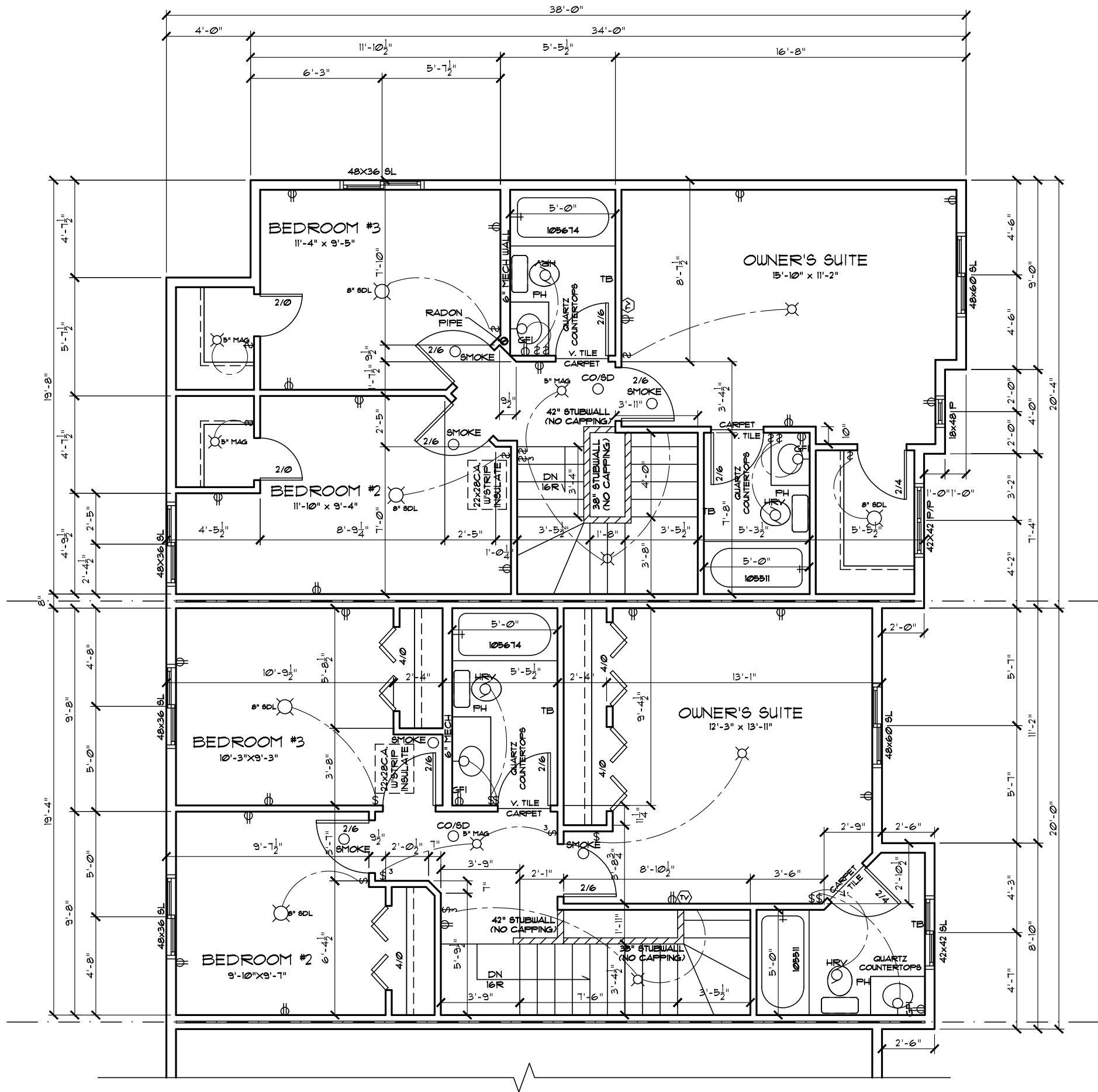
PARTIAL UPPER
FLOOR PLAN

UNIT - ALYDAR (L)
JOB# 57122
5305 - 22 AVENUE SW

UNIT - AFFIRMED (L)
JOB# 57121
5303 - 22 AVENUE SW

LEGEND			
	CEILING LIGHT		WALL LIGHT
	ELEC. PLUG		SMOKE DETECTOR
	220V PLUG		SD/CO DETECTOR
	USB PAIRED PLUG		VAC. ROUGH IN
	TELEPHONE		BATHROOM FAN
	TV/CAT5E		CHIME
	THERMOSTAT		SINGLE SWITCH
	3 WAY SWITCH		OTTO SWITCH
	WEEPING TILE		ELEC. WIRING
	TEE		SPEAKER
	GAS METER		
ELECTRICAL LOCATIONS SUBJECT TO CHANGE AS REQUIRED BY CODE			

Address: 5303, 5305, 5307 & 5309 - 22 AVENUE SW EDMONTON, AB		Model: AFFIRMED-ALYDAR 4 (NR) (SHELL 4AA-N0)	
Job #: 57121, 57122, 57123 & 57124		Date: January 31, 2022	
Drawn By: Sophat Vith	Main:	SCALE: 3/16" = 1'-0"	
	Upper:	PACESETTER DESIGN SERIES	
	Total:	Page 11	
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PARTIAL UPPER FLOOR PLAN

UNIT - AFFIRMED (R)
JOB# 57124
5309 - 22 AVENUE SW

UNIT - ALYDAR (R)
JOB# 57123
5307 - 22 AVENUE SW

LEGEND

CEILING LIGHT

ELEC. PLUG

220V PLUG

USB PAIRED PLUG

TELEPHONE

TV/CAT5E

THERMOSTAT

3 WAY SWITCH

WEEPING TILE

TEE

GAS METER

WALL LIGHT

SMOKE DETECTOR

SD/CO DETECTOR

VAC. ROUGH IN

BATHROOM FAN

CHIME

SINGLE SWITCH

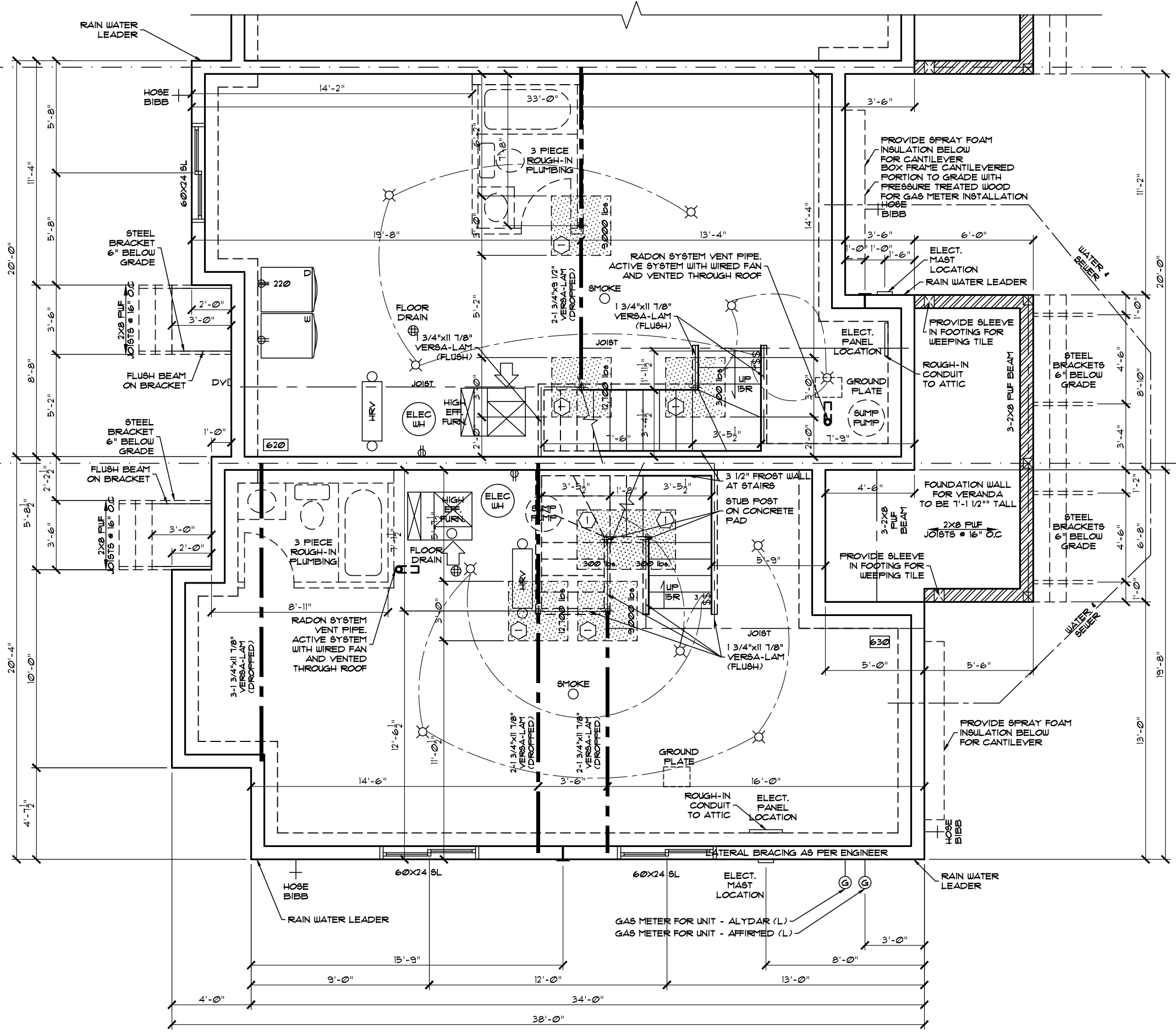
OTTO SWITCH

ELEC. WIRING

SPEAKER

ELECTRICAL LOCATIONS SUBJECT TO CHANGE AS REQUIRED BY CODE

Address: 5303, 5305, 5307 & 5309 - 22 AVENUE SW EDMONTON, AB 17, 18, 19 & 20 / 09 / 152 5134		Model: AFFIRMED-ALYDAR 4 (NR) (SHELL 44A-N)	
Job #: 57121, 57122, 57123 & 57124		SCALE: 3/16" = 1'-0"	Date: January 31, 2022
Drawn By: Sophat Vith	Main:		PACESETTER DESIGN SERIES
	Upper:		
	Total:		 A QUALICO Company
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		12	17



	MAXIMUM CAPACITY # 8'S" EXT.	CONC. PAD DIMENSIONS (l x w x d)	AMOUNT & SIZE OF REBAR
1	16,875 LBS	36"x36"x10"	5-10 M
2	20,810 LBS	40"x40"x10"	6-10 M
3	28,160 LBS	46"x46"x10"	6-10 M
4	37,120 LBS	54"x54"x11"	8-10 M

REBAR TO BE EQUALLY SPACED
ALONG LENGTH & WIDTH OF PAD

PAD LEGEND
(BASED ON WESURE COLUMNS)

UNIT - ALYDAR (L)
JOB# 57122
5305 - 22 AVENUE SW

PARTIAL
FOUNDATION
PLAN

UNIT - AFFIRMED (L)
JOB# 57121
5303 - 22 AVENUE SW

**** ALL FROST WALLS TO BE ****
8" THICK INCLUDING AIR GAP
(UNLESS NOTED OTHERWISE)

Model: AFFIRMED-ALYDAR 4 (NR) (SHELL 4AA-N)

Address: 5303, 5305, 5307 & 5309 - 22 AVENUE SW EDMONTON, AB
17, 18, 19 & 20 / 09 / 152 5734

Page 13

Date: January 31, 2022

PACESSETTER DESIGN SERIES

Drawn By: Sophat Vith

UNIT - ALYDAR (L)
JOB# 57122
5305 - 22 AVENUE SW

UNIT - AFFIRMED (L)
JOB# 57121
5303 - 22 AVENUE SW

Main: 649 sq.ft. UNIT - AFFIRMED (L) 633 sq.ft. UNIT - ALYDAR (R)
634 sq.ft. UNIT - ALYDAR (L) 648 sq.ft. UNIT - AFFIRMED (R)

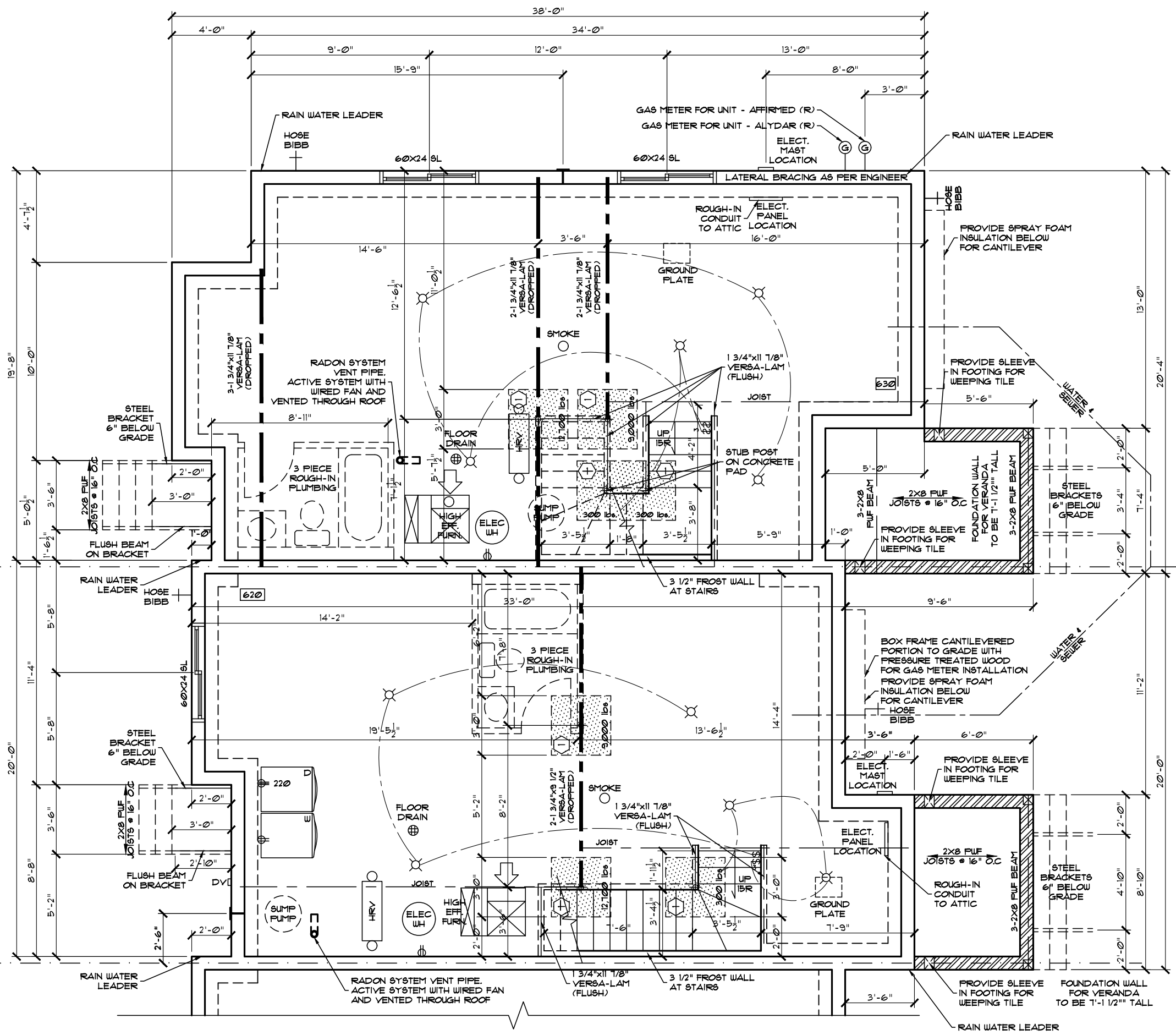
Upper: 661 sq.ft. UNIT - AFFIRMED (L) 633 sq.ft. UNIT - ALYDAR (R)
651 sq.ft. UNIT - ALYDAR (L) 651 sq.ft. UNIT - AFFIRMED (R)

Total: 1310 sq.ft. UNIT - AFFIRMED (L) 1266 sq.ft. UNIT - ALYDAR (R)
1261 sq.ft. UNIT - ALYDAR (L) 1305 sq.ft. UNIT - AFFIRMED (R)

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	MAXIMUM CAPACITY # 8'S EXT.	CONC. PAD DIMENSIONS (l x w x d)	AMOUNT & SIZE OF REBAR
1	16,875 LBS	36"x36"x10"	5-10 M
2	20,810 LBS	40"x40"x10"	6-10 M
3	28,160 LBS	46"x46"x10"	6-10 M
4	37,120 LBS	54"x54"x11"	8-10 M

REBAR TO BE EQUALLY SPACED
ALONG LENGTH & WIDTH OF PAD

PAD LEGEND
(BASED ON WESURE COLUMNS)

UNIT - AFFIRMED (R)
JOB# 57124
5309 - 22 AVENUE SW

PARTIAL
FOUNDATION
PLAN

UNIT - ALYDAR (R)
JOB# 57123
5307 - 22 AVENUE SW

**** ALL FROST WALLS TO BE ****
8" THICK INCLUDING AIR GAP
(UNLESS NOTED OTHERWISE)

Address: 5303, 5305, 5307 & 5309 - 22 AVENUE SW EDMONTON, AB
5307, 18, 19 & 20 / 09 / 152 5734

Model: AFFIRMED-ALYDAR 4 (NR) (SHELL 44A-N)

Job #: 57121, 57122, 57123 & 57124

Date: January 31, 2022

Drawn By: Sophat Vith

PACESETTER DESIGN SERIES

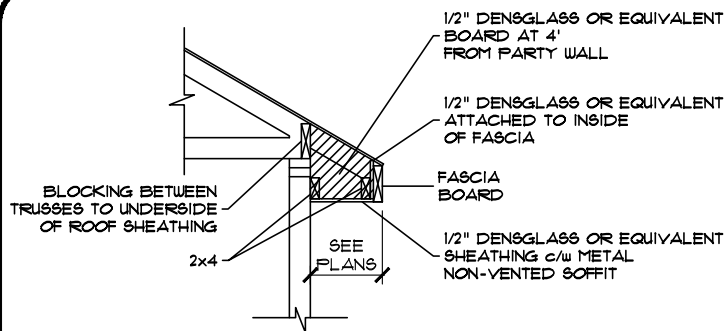
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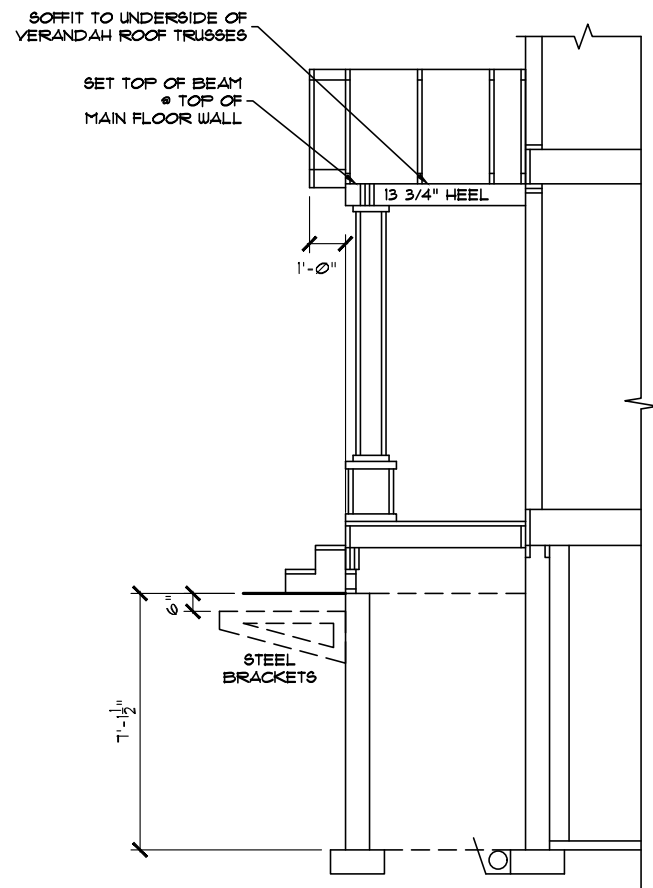
HOUSES

A QUALICO Company

17



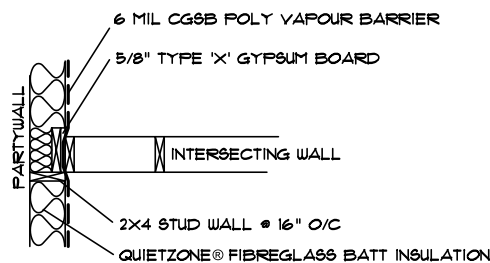
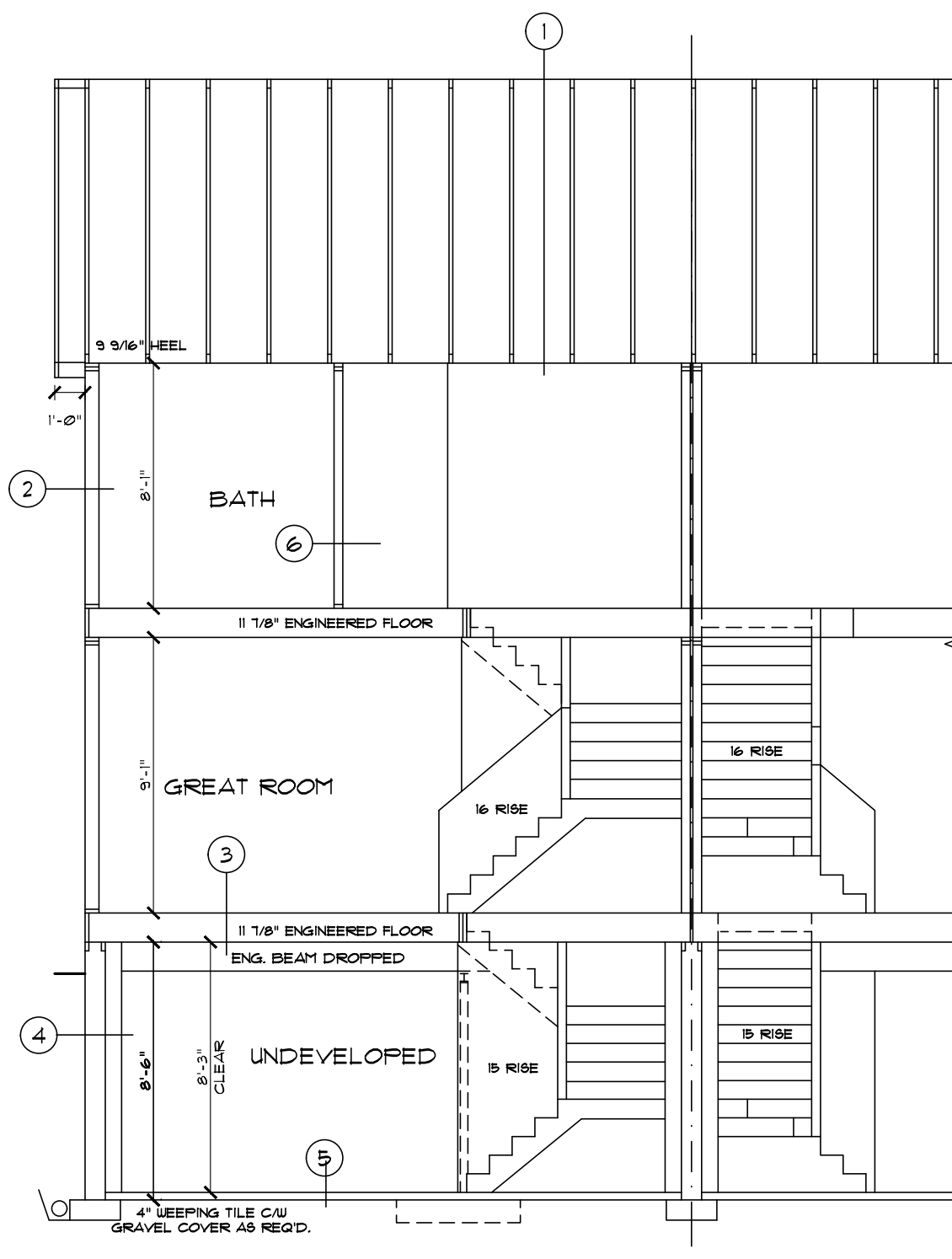
OVERHANG DETAIL
(4' ON EACH SIDE OF PARTY WALLS)



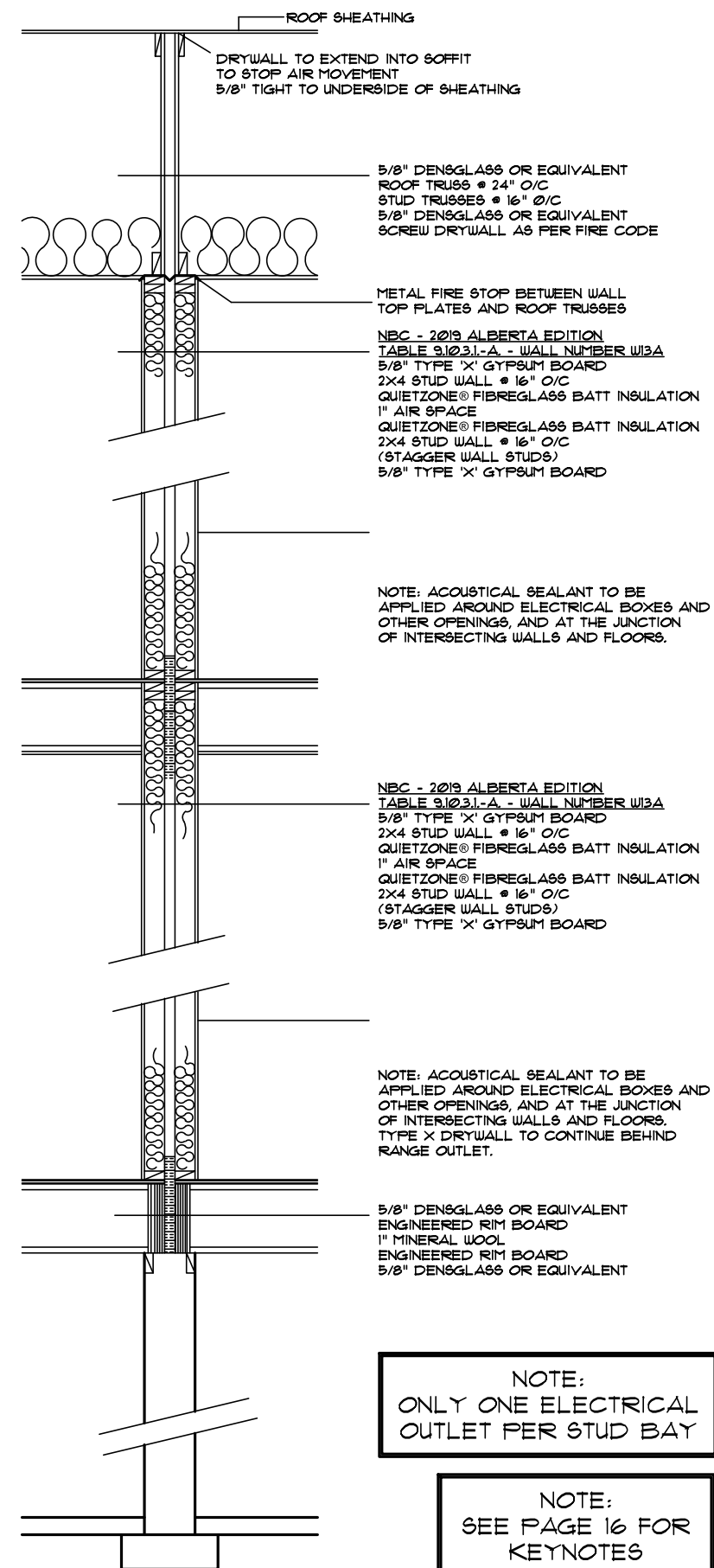
PARTIAL BUILDING SECTION

NOTES

- TRADES ARE RESPONSIBLE FOR CHECKING ALL DIMENSIONS & NOTES AND REPORTING ANY DISCREPANCIES TO THE DESIGNER PRIOR TO CONSTRUCTION.
- ALL LOADBEARING LINTELS TO BE 2-2x10 #2 SPRUCE UNLESS NOTED OTHERWISE
 - FINAL EXTERIOR GRADES MAY VARY
 - WINDOW AND DOOR SIZES SHOWN ARE APPROXIMATE ONLY. EXACT ROUGH OPENINGS TO BE SUPPLIED BY MANUFACTURER PRIOR TO CONSTRUCTION.
 - MECHANICAL LAYOUT AND SPECS. SUPPLIED BY OTHERS.
 - ROOF SHALL BE VENTED WITH AN UNOBSTRUCTED VENT AREA OF NOT LESS THAN 1/300 OF THE CEILING AREA.
 - ALL EXTERIOR WALLS WHERE MONO TRUSSES ARE ATTACHED SHALL BE SEALED & PAPERED BEFORE INSTALLING TRUSSES
 - THE AREAS REQUIRING VENTILATION WITHIN THE ROOF SPACE OR ATTIC SHALL CONFORM TO NBC - 2019 ALBERTA EDITION 9.19.1.
 - ATTIC ACCESS TO BE WEATHERSTRIPPED & INSULATED AS PER NBC - 2019 ALBERTA EDITION 9.19.2.1.
 - STEP FOOTING FOR WALKOUTS SHALL BE MAX. RISE 24" & MINIMUM HORIZONTAL DISTANCE OF 24" AS PER NBC - 2019 ALBERTA EDITION 9.15.8.3.
 - COMBUSTION AIR SHALL BE PROVIDED FOR FIREPLACE AS PER NBC - 2019 ALBERTA EDITION 9.22.1.4.
 - SMOKE ALARMS TO CONFORM TO NBC - 2019 ALBERTA EDITION 9.10.19.
 - IF WEeping TILE IS REQUIRED SLAB ON GROUND SHALL BE DAMPROOFED AS PER NBC - 2019 ALBERTA EDITION 9.13.4.
 - EXACT LOCATION OF MECHANICAL, ELECTRICAL, AND PLUMBING EQUIPMENT SUBJECT TO CHANGE DUE TO SITE CONDITIONS.
 - GARAGE ENTRY STAIRS MAY VARY IN NUMBER OF RISERS AND LOCATION DUE TO SITE CONDITIONS
 - ELEVATIONS, FLOOR LAYOUT AND ROOM DIMENSIONS ARE SUBJECT TO CHANGE DUE TO SITE CONDITIONS
 - DRIVEWAYS, SIDEWALKS, AND PARKING PADS SUBJECT TO CHANGE DUE TO SITE CONDITIONS



INTERSECTING WALL @
PARTY WALL DETAIL



NOTE:
ONLY ONE ELECTRICAL
OUTLET PER STUD BAY

NOTE:
SEE PAGE 16 FOR
KEYNOTES

Model: AFFIRMED-ALYDAR 4 (NR) (SHELL 4AA-N2)		Page	15	17
Date: January 31, 2022		PACESSETTER DESIGN SERIES		
SCALE: 3/16" = 1'-0"		Pacesetter HOMES A QUALICO Company		
Address: 5303, 5305, 5307 & 5309 - 22 AVENUE SW EDMONTON, AB		Main:	649 sq.ft. UNIT - AFFIRMED (L) 633 sq.ft. UNIT - ALYDAR (R) 634 sq.ft. UNIT - ALYDAR (L) 648 sq.ft. UNIT - AFFIRMED (R)	Upper: 661 sq.ft. UNIT - AFFIRMED (L) 633 sq.ft. UNIT - ALYDAR (R) 1310 sq.ft. UNIT - AFFIRMED (L) 1266 sq.ft. UNIT - ALYDAR (R)
Job #: 57121, 57122, 57123 & 57124		Total:	1310 sq.ft. UNIT - AFFIRMED (L) 1266 sq.ft. UNIT - ALYDAR (R)	1261 sq.ft. UNIT - AFFIRMED (L) 1305 sq.ft. UNIT - ALYDAR (R)
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PACESETTER DESIGN SERIES
(EFFECTIVE THERMAL RESISTANCE OF ASSEMBLIES)

1 ROOF ASSEMBLIES

UPPER FLOOR ROOF (6.30 RSI)
ASPHALT SHINGLES
3/8" O.S.B. SHEATHING c/w 'H'CLIPS
ENGINEERED WOOD TRUSSES #24" o/c
R-40 LOOSE FILL INSULATION
6 mil CGSB POLY VAPOR BARRIER
1/2" C.D. DRYWALL

UPPER FLOOR VAULTED CEILING (4.06 RSI)
IF REQUIRED AS PER PLANS
ASPHALT SHINGLES
3/8" O.S.B. SHEATHING c/w 'H'CLIPS
ENGINEERED WOOD TRUSSES #24" o/c
R-40 BATT INSULATION
6 mil CGSB POLY VAPOR BARRIER
1/2" C.D. DRYWALL

2 EXTERIOR WALL ASSEMBLIES

STANDARD EXTERIOR WALL (2.11 RSI)
INCLUDES EXTERIOR WALLS OF ATTACHED GARAGE, IF APPLICABLE
EXTERIOR CLADDING AS PER PLAN
BUILDING PAPER (AS REQ'D)
3/8" O.S.B. SHEATHING
2X6 STUDS # 24" o/c
R-20 BATT INSULATION
6 mil CGSB POLY VAPOR BARRIER
1/2" DRYWALL

EXTERIOR TALL WALL (2.63 RSI)
IF REQUIRED AS PER PLANS
EXTERIOR CLADDING AS PER PLAN
BUILDING PAPER (AS REQ'D)
3/8" O.S.B. SHEATHING (1/2" DENSGLASS OR EQUIVALENT FOR ZIL)
2X6 STUDS AS PER ENGINEER'S DETAIL
R-20 BATT INSULATION
6 mil CGSB POLY VAPOR BARRIER
1/2" DRYWALL

ATTACHED GARAGE/HOUSE WALL (2.85 RSI)
IF REQUIRED AS PER PLANS
1/2" DRYWALL (FIRE TAPED)
3/8" O.S.B. SHEATHING
2X6 STUDS # 24" o/c
R-20 BATT INSULATION
6 mil CGSB POLY VAPOR BARRIER
1/2" DRYWALL

EXTERIOR CANTILEVERED WALL (2.78 RSI)
WITHIN 12m SIDE YARD SETBACK
IF REQUIRED AS PER PLANS
EXTERIOR CLADDING AS PER PLAN
BUILDING PAPER (AS REQ'D)
5/8" DENSGLASS OR EQUIVALENT
2X6 STUDS AT 24" o/c
R-20 BATT INSULATION
6 mil CGSB POLY VAPOR BARRIER
1/2" DRYWALL

EXTERIOR ZERO LOT LINE WALL (2.69 RSI)
WITHIN 12m SIDE YARD SETBACK
IF REQUIRED AS PER PLANS
EXTERIOR CLADDING AS PER PLAN
BUILDING PAPER (AS REQ'D)
1/2" DENSGLASS OR EQUIVALENT
2X6 STUDS AT 16" o/c
R-20 BATT INSULATION
6 mil CGSB POLY VAPOR BARRIER
5/8" TYPE 'X' DRYWALL

EXTERIOR PARTY WALL JOGS (3.51 RSI)
IF REQUIRED AS PER PLANS
EXTERIOR CLADDING AS PER PLAN
BUILDING PAPER (AS REQ'D)
5/8" DENSGLASS OR EQUIVALENT
2X4 STUDS AT 16" o/c
R-12 BATT INSULATION
1" AIR SPACE
2X4 STUDS AT 16" o/c
R-12 BATT INSULATION
6 mil CGSB POLY VAPOR BARRIER
5/8" TYPE 'X' DRYWALL

3 FLOOR ASSEMBLIES

INTERIOR FLOOR (N/A RSI)
FLOOR FINISH AS SPECIFIED
3/8" U-LAY IN LINO AREAS
23/32" T4G OSG SUBFLOOR GLUED AND SCREWED
ENGINEERED WOOD JOISTS AS PER MANUFACTURER

FLOOR OVER UNHEATED SPACE (6.61 RSI)
FLOOR FINISH AS SPECIFIED
3/8" U-LAY IN LINO AREAS
23/32" T4G OSG SUBFLOOR GLUED AND SCREWED
6 mil CGSB POLY VAPOR BARRIER
ENGINEERED WOOD JOISTS AS PER MANUFACTURER
R-40 1/2lb OPEN-CELL SPRAY FOAM INSULATION
1/2" DRYWALL

CANTILEVERED MAIN FLOOR (5.18 RSI)
IF REQUIRED AS PER PLANS
FLOOR FINISH AS SPECIFIED
3/8" U-LAY IN LINO AREAS
23/32" T4G OSG SUBFLOOR GLUED AND SCREWED
6 mil CGSB POLY VAPOR BARRIER
ENGINEERED WOOD JOISTS AS PER MANUFACTURER
R-28 2lb CLOSED-CELL SPRAY FOAM INSULATION
3/8" OSG SHEATHING
NON-VENTED METAL SOFFIT

CANTILEVERED UPPER FLOOR (6.19 RSI)
IF REQUIRED AS PER PLANS
FLOOR FINISH AS SPECIFIED
3/8" U-LAY IN LINO AREAS
23/32" T4G OSG SUBFLOOR GLUED AND SCREWED
6 mil CGSB POLY VAPOR BARRIER
ENGINEERED WOOD JOISTS AS PER MANUFACTURER
R-40 2lb CLOSED-CELL SPRAY FOAM INSULATION
3/8" OSG SHEATHING
NON-VENTED METAL SOFFIT

4 BASEMENT WALL ASSEMBLIES

FOUNDATION W/ FROST WALL (2.23 RSI)
UNLESS NOTED OTHERWISE ON PLANS
FARGING ABOVE GRADE
DAMP-PROOFING ON EXTERIOR OF FOUNDATION WALLS (TO COMPLY WITH NBC - 2019 ALBERTA EDITION 9.13.2.3.(2XaX111))
8" CONC FOUNDATION WALL C/W 2 ROWS OF 2-#10 BARS
STUDS #24" o/c
R-20 BATT INSULATION
6 mil CGSB POLY VAPOR BARRIER
1/2" DRYWALL (FINISHED AREAS)
18"X 8" CONCRETE STRIP FOOTING OR AS REQUIRED BY ENGINEER'S REPORT
TELEPOST PAD FOOTINGS AS PER PLAN
WINDOWS OVER 48 INCHES IN LENGTH TO BE BRACED AS PER ENGINEER'S DETAIL
OPEN TO BELOW AREA WALLS WILL BE REINFORCED AS PER ENGINEER'S DETAIL

5 BASEMENT FLOOR ASSEMBLY (0.19 RSI)

CUPOLUX CONCRETE FORMS USED AS A BASE BELOW THE BASEMENT CONCRETE SLAB.
REFER TO ENGINEER DETAILS
ACTIVE SUB SLAB DEPRESSURIZATION SYSTEM FOR RADON GAS EXTRACTION
3" CONCRETE SLAB - ALL SEAMS & PENETRATIONS TO BE SEALED WITH FLEXIBLE SEALANT AS PER NBC - 2019 ALBERTA EDITION - 9.29.3.3.(5)

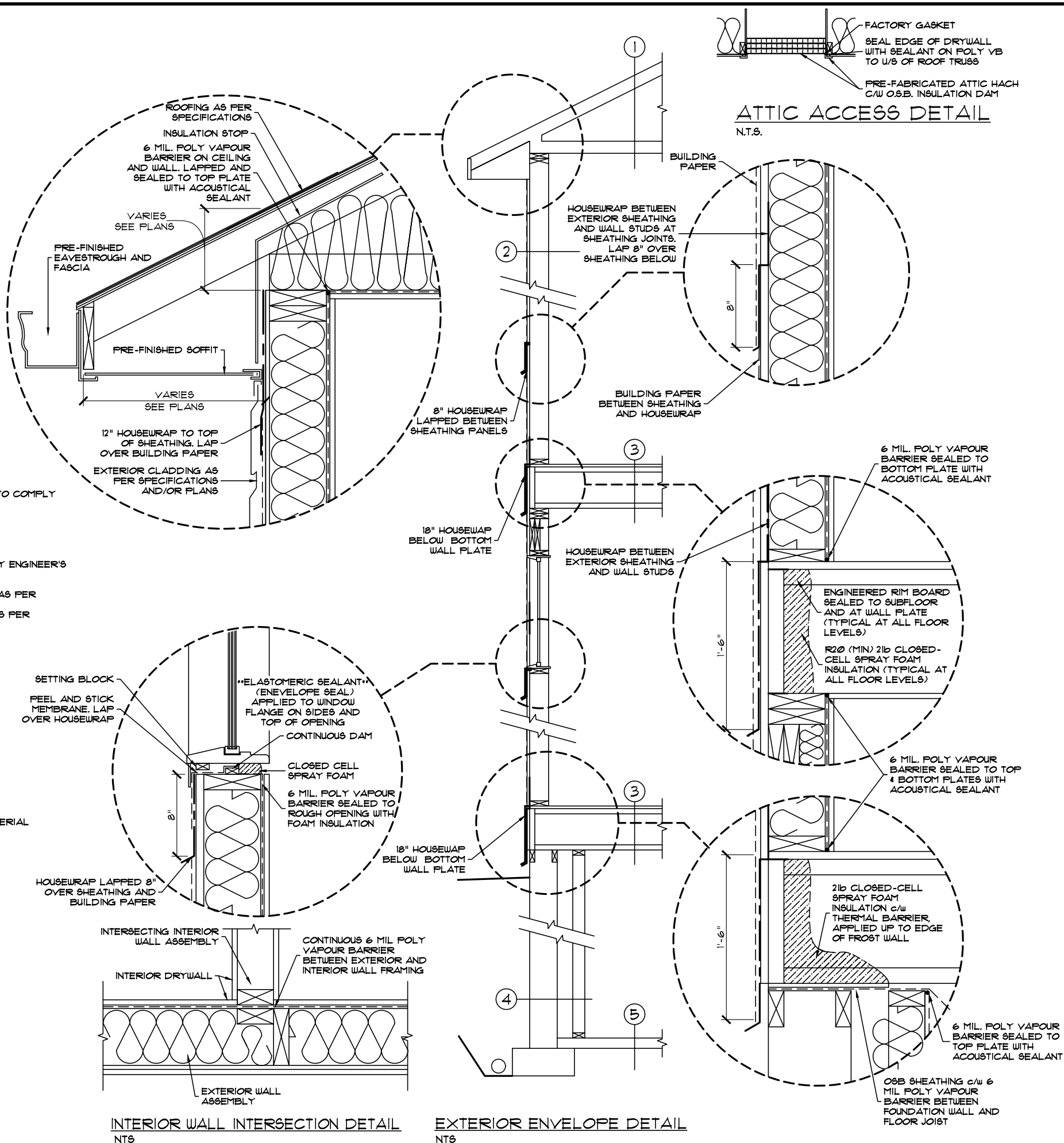
6 INTERIOR WALL ASSEMBLIES (N/A RSI)

1/2" DRYWALL
2X4" STUDS # 24" O.C. (OR DEEPER STUD IF REQUIRED ON PLANS)
1/2" DRYWALL

1 RSI VALUE EXCLUDES FINISHED CLADDING
2 RSI VALUE EXCLUDES INTERIOR FINISHED FLOOR MATERIAL

** ALL WINDOWS/DOORS TO BE AS PER U-VALUES BELOW OR LESS **			
TYPE / OPERATION	GLAZING**	SERIES	U-VALUE (W/m²K)
PICTURE	H82 / H85 W/ ARGON	6500	1.14
SLIDER	H82 / H85 W/ ARGON	6500	1.31
SINGLE HUNG	H82 / H85 W/ ARGON	6500	1.31
CASEMENT	H82 / H85 W/ ARGON	9100	1.19
AWNING	H82 / H85 W/ ARGON	9100	1.19
BASEMENT SLIDER	H82 W/ ARGON	5600	1.31
EXTERIOR DOOR w/ GLAZING	H81 W/ ARGON	--	1.36
EXTERIOR PATIO/GARDEN DOOR	H81 W/ ARGON	--	1.48
EXTERIOR DOOR w/o GLAZING	--	--	0.85

**H81 GLAZING=DUAL PANE (CLEAR / LOW-E)
H82 GLAZING=TRIPLE PANE (CLEAR/CLEAR/LOW-E)
H85 GLAZING=TRIPLE PANE (CLEAR/CLEAR/SUNSTOP)



INTERIOR WALL INTERSECTION DETAIL
NTS

EXTERIOR ENVELOPE DETAIL
NTS

Address: 5303, 5305, 5307 & 5309 - 22 AVENUE SW EDMONTON, AB

Job #: 57121, 57122, 57123 & 57124

Drawn By: Sophat Vith

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SCALE: 3/16" = 1'-0"

Main:	649 sq.ft. UNIT - AFFIRMED (L) 633 sq.ft. UNIT - ALYDAR (R)
Upper:	661 sq.ft. UNIT - AFFIRMED (L) 633 sq.ft. UNIT - ALYDAR (R)
Total:	1310 sq.ft. UNIT - AFFIRMED (L) 1266 sq.ft. UNIT - ALYDAR (R)

Model: AFFIRMED-ALYDAR 4 (NR) (SHELL 44A-N)

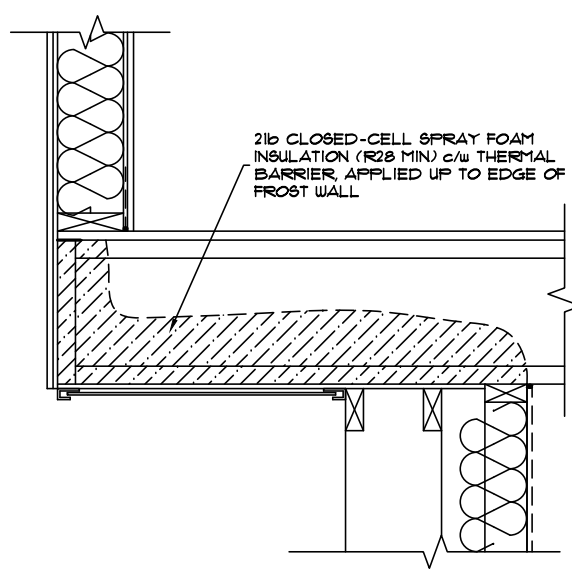
Date: January 31, 2022

PACESETTER DESIGN SERIES

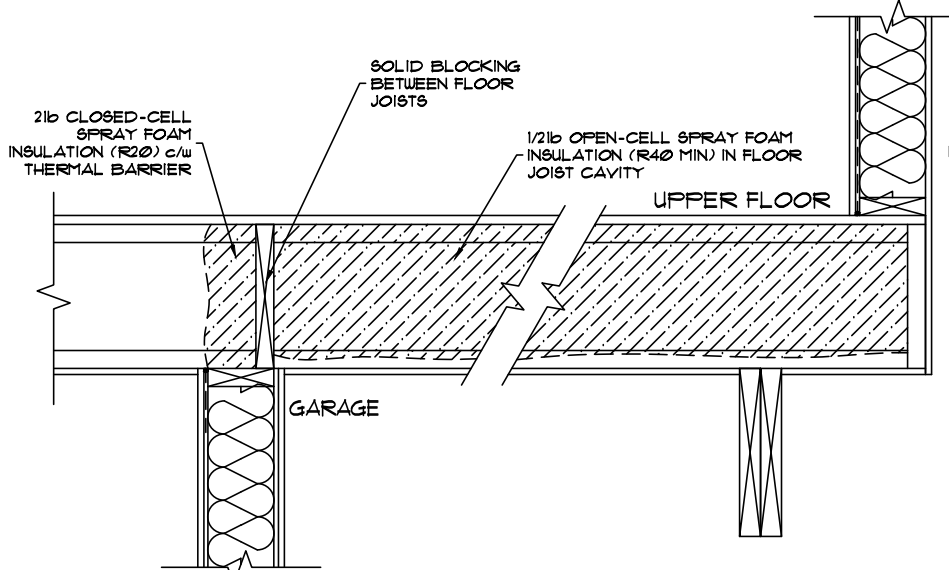


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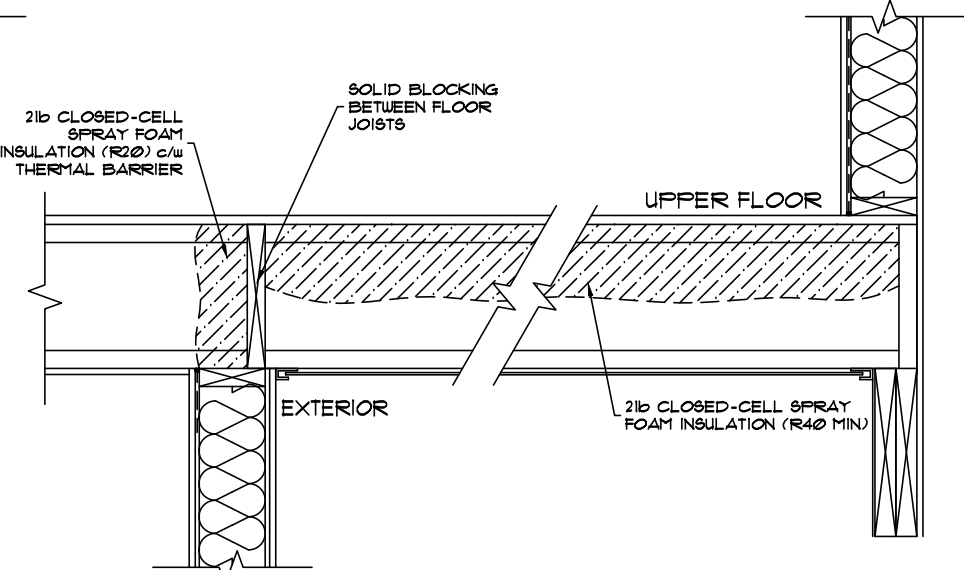
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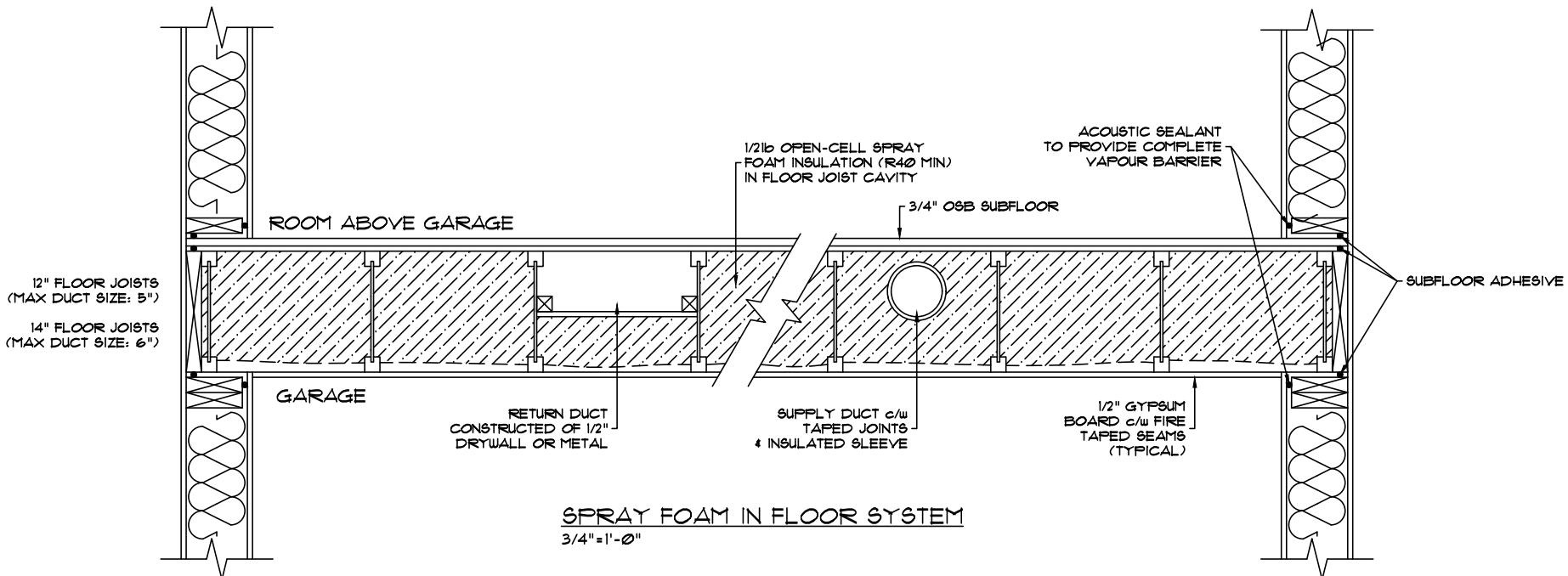
MAIN FLOOR CANTILEVER DETAIL - 3FT OR LESS
3/4"=1'-0"



FLOOR ABOVE UNHEATED SPACE DETAIL
3/4"=1'-0"



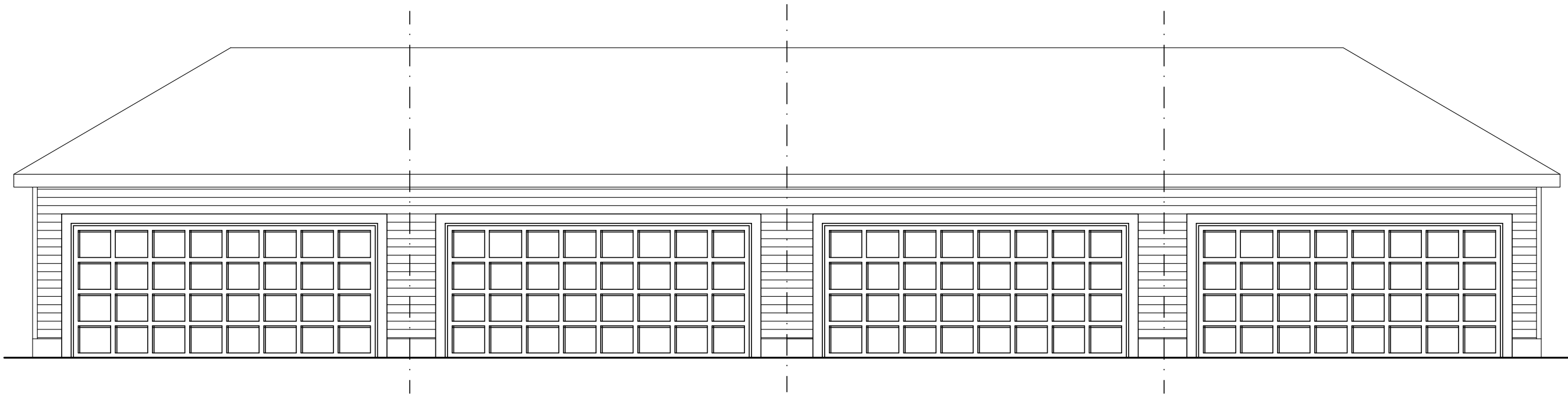
LARGE EXTERIOR OVERHANG DETAIL
3/4"=1'-0"



SPRAY FOAM IN FLOOR SYSTEM
3/4"=1'-0"

Address: 5303, 5305, 5307 & 5309 - 22 AVENUE SW EDMONTON, AB 17, 18, 19 & 20 / 09 / 152 5734		Model: AFFIRMED-ALYDAR 4 (NR) (SHELL 4AA-N0)	
Job #: 57121, 57122, 57123 & 57124		Date: January 31, 2022	Page 17
Drawn By: Sophat Vith		PACESETTER DESIGN SERIES	
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		Upper:	661 Sq.Ft. UNIT - AFFIRMED (L) 633 Sq.Ft. UNIT - ALYDAR (R) 1310 Sq.Ft. UNIT - ALYDAR (L) 651 Sq.Ft. UNIT - AFFIRMED (R)
		Total:	1310 Sq.Ft. UNIT - AFFIRMED (L) 1266 Sq.Ft. UNIT - ALYDAR (R) 1261 Sq.Ft. UNIT - ALYDAR (L) 1305 Sq.Ft. UNIT - AFFIRMED (R)





UNIT - AFFIRMED (R)
JOB# 57124
5309 - 22 AVENUE SW

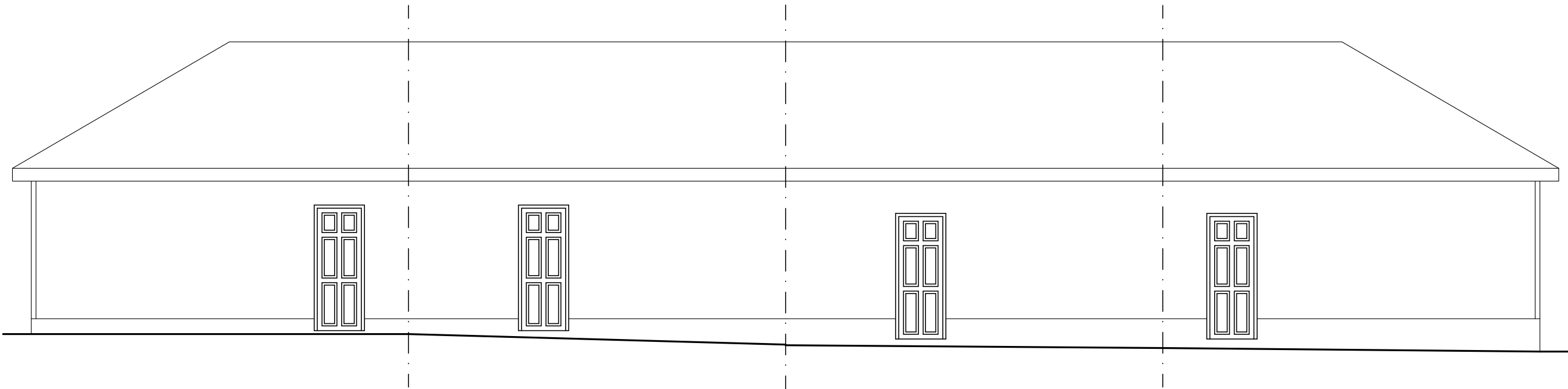
UNIT - ALYDAR (R)
JOB# 57123
5307 - 22 AVENUE SW

UNIT - ALYDAR (L)
JOB# 57122
5305 - 22 AVENUE SW

UNIT - AFFIRMED (L)
JOB# 57121
5303 - 22 AVENUE SW

OVERALL GARAGE FRONT ELEVATION
(NOT TO SCALE)

Address: 5303, 5305, 5307 & 5309 - 22 AVENUE SW EDMONTON, AB 17, 18, 19 & 20 / 09 / 152 5734		Model: AFFIRMED-ALYDAR 4 (NR) (SHELL 4AA-N2)	
Job #: 57121, 57122, 57123 & 57124		Date: January 31, 2022	Page 1
Drawn By: Sophat Vith	Main:		PACESETTER DESIGN SERIES  A QUALICO Company
	Upper:		
	Total:		
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UNIT - AFFIRMED (L)
JOB# 57121
5303 - 22 AVENUE SW

UNIT - ALYDAR (L)
JOB# 57122
5305 - 22 AVENUE SW

UNIT - ALYDAR (R)
JOB# 57123
5307 - 22 AVENUE SW

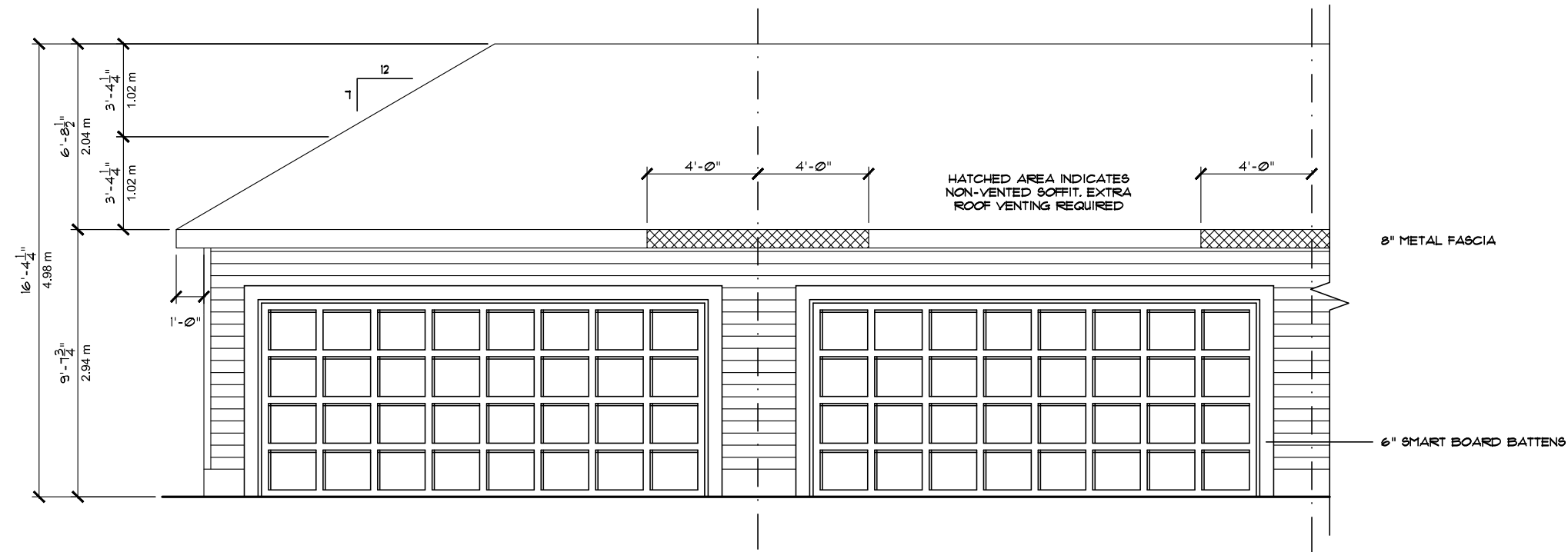
UNIT - AFFIRMED (R)
JOB# 57124
5309 - 22 AVENUE SW

OVERALL GARAGE REAR ELEVATION
(NOT TO SCALE)

Address: 5303, 5305, 5307 & 5309 - 22 AVENUE SW EDMONTON, AB 17, 18, 19 & 20 / 09 / 152 5734		Model: AFFIRMED-ALYDAR 4 (NR) (SHELL 4AA-N2)	
Job #: 57121, 57122, 57123 & 57124		Date: January 31, 2022	Page
Drawn By: Sophat Vith	Main:		PACESETTER DESIGN SERIES  A QUALICO Company
	Upper:		
	Total:		
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		661 Sq.Ft. UNIT - AFFIRMED (L) 633 Sq.Ft. UNIT - ALYDAR (R) 633 Sq.Ft. UNIT - ALYDAR (L) 651 Sq.Ft. UNIT - AFFIRMED (R)	10
		1310 Sq.Ft. UNIT - AFFIRMED (L) 1266 Sq.Ft. UNIT - ALYDAR (R) 1267 Sq.Ft. UNIT - ALYDAR (L) 1305 Sq.Ft. UNIT - AFFIRMED (R)	

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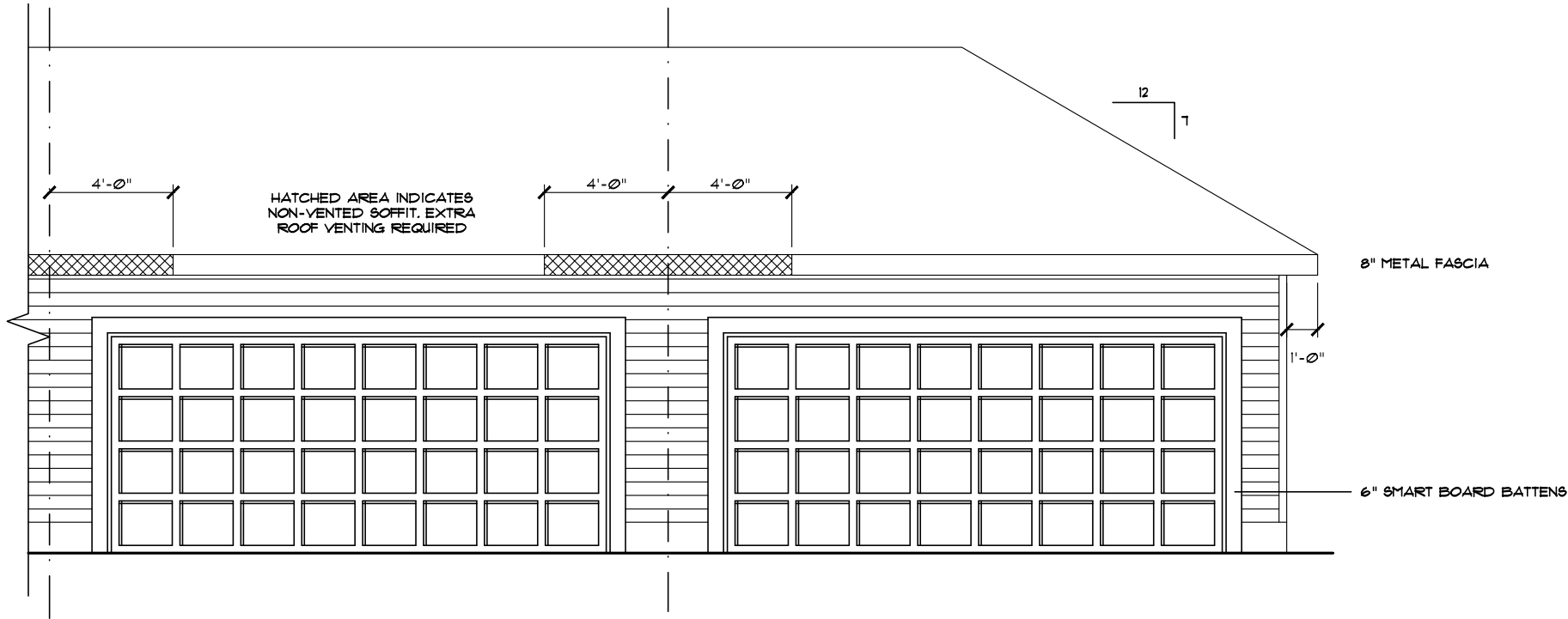
1. FLASHING IS TO BE INSTALLED AT ALL APPROPRIATE LOCATIONS ON ROOF AND ELEVATIONS (SEE BUILDERS SPECS).



UNIT - ALYDAR (R)
JOB# 57123
5307 - 22 AVENUE SW

PARTIAL GARAGE FRONT ELEVATION

Address: 5303, 5305, 5307 & 5309 - 22 AVENUE SW EDMONTON, AB 17, 18, 19 & 20 / 09 / 152 5734		Model: AFFIRMED-ALTDAR 4 (NR) (SHELL 4AA-N2)	
Job #: 57121, 57122, 57123 & 57124		Date: January 31, 2022	
Drawn By: Sophat Vith		Page 3	
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Main:			
Upper:		649 Sq.Ft. UNIT - AFFIRMED (L) 633 Sq.Ft. UNIT - ALTDAR (R) 634 Sq.Ft. UNIT - ALTDAR (L) 648 Sq.Ft. UNIT - AFFIRMED (R)	
Total:		661 Sq.Ft. UNIT - AFFIRMED (L) 633 Sq.Ft. UNIT - ALTDAR (R) 633 Sq.Ft. UNIT - ALTDAR (L) 651 Sq.Ft. UNIT - AFFIRMED (R) 1300 Sq.Ft. UNIT - AFFIRMED (L) 1266 Sq.Ft. UNIT - ALTDAR (R) 1267 Sq.Ft. UNIT - ALTDAR (L) 1305 Sq.Ft. UNIT - AFFIRMED (R)	

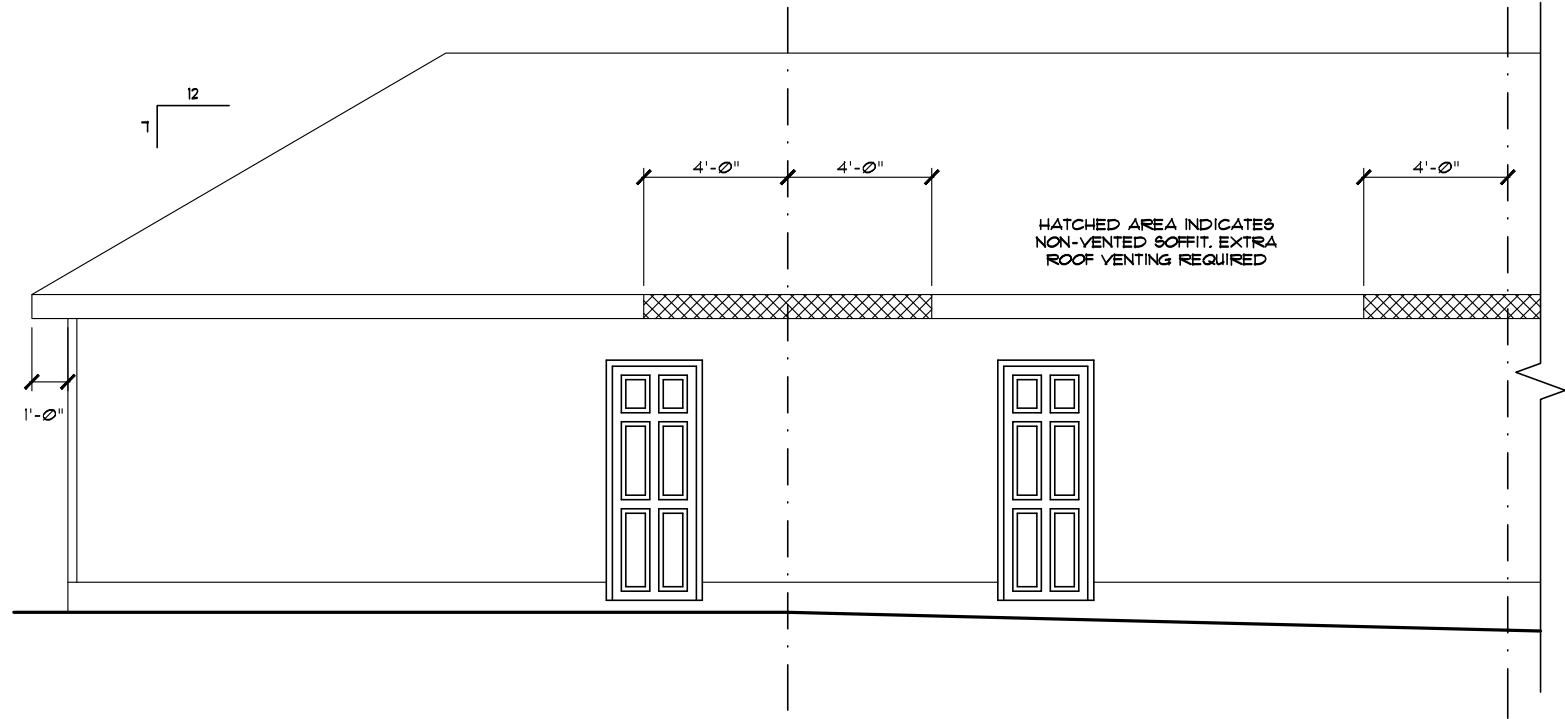


UNIT - ALYDAR (L)
JOB# 57122
5305 - 22 AVENUE SW

UNIT - AFFIRMED (L)
JOB# 57121
5303 - 22 AVENUE SW

PARTIAL GARAGE FRONT ELEVATION

Address: 5303, 5305, 5307 & 5309 - 22 AVENUE SW EDMONTON, AB 17, 18, 19 & 20 / 09 / 152 5734		Model: AFFIRMED-ALYDAR 4 (NR) (SHELL 4AA-N2)	
Job #: 57121, 57122, 57123 & 57124		Date: January 31, 2022	Page
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		Upper:	
		Total:	 A QUALICO Company

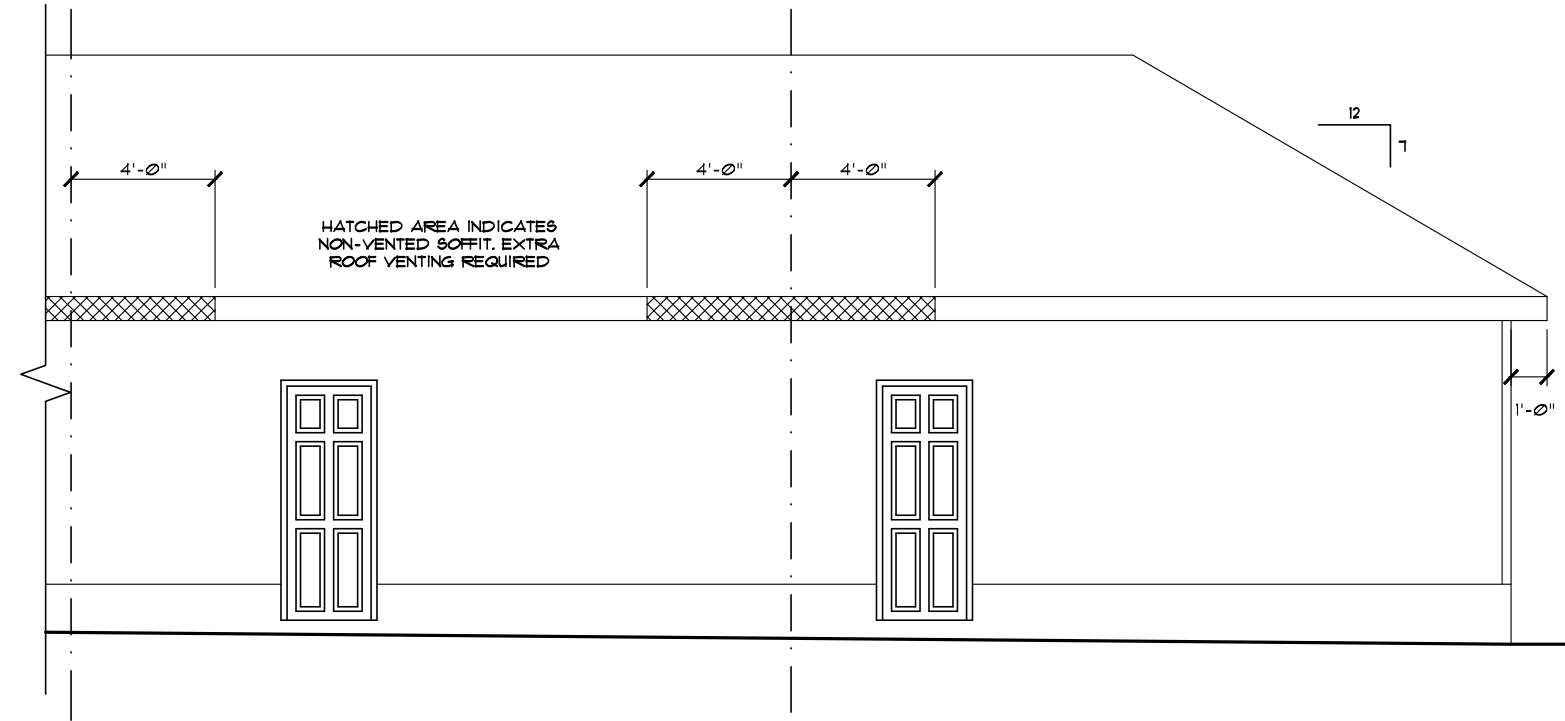


UNIT - AFFIRMED (L)
JOB# 57121
5303 - 22 AVENUE SW

UNIT - ALYDAR (L)
JOB# 57122
5305 - 22 AVENUE SW

PARTIAL GARAGE REAR ELEVATION

Address: 5303, 5305, 5307 & 5309 - 22 AVENUE SW EDMONTON, AB 17, 18, 19 & 20 / 09 / 152 5734		Model: AFFIRMED-ALYDAR 4 (NR) (SHELL 4AA-N2)	
Job #: 57121, 57122, 57123 & 57124		Date: January 31, 2022	Page
Drawn By: Sophat Vith	Main:		PACESETTER DESIGN SERIES
	Upper:		
	Total:		
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		649 Sq.Ft. UNIT - AFFIRMED (L) 633 Sq.Ft. UNIT - ALYDAR (R) 634 Sq.Ft. UNIT - ALYDAR (L) 648 Sq.Ft. UNIT - AFFIRMED (R)	5
		661 Sq.Ft. UNIT - AFFIRMED (L) 633 Sq.Ft. UNIT - ALYDAR (R) 633 Sq.Ft. UNIT - ALYDAR (L) 651 Sq.Ft. UNIT - AFFIRMED (R)	 A QUALICO Company
		1310 Sq.Ft. UNIT - AFFIRMED (L) 1266 Sq.Ft. UNIT - ALYDAR (R) 1267 Sq.Ft. UNIT - ALYDAR (L) 1305 Sq.Ft. UNIT - AFFIRMED (R)	

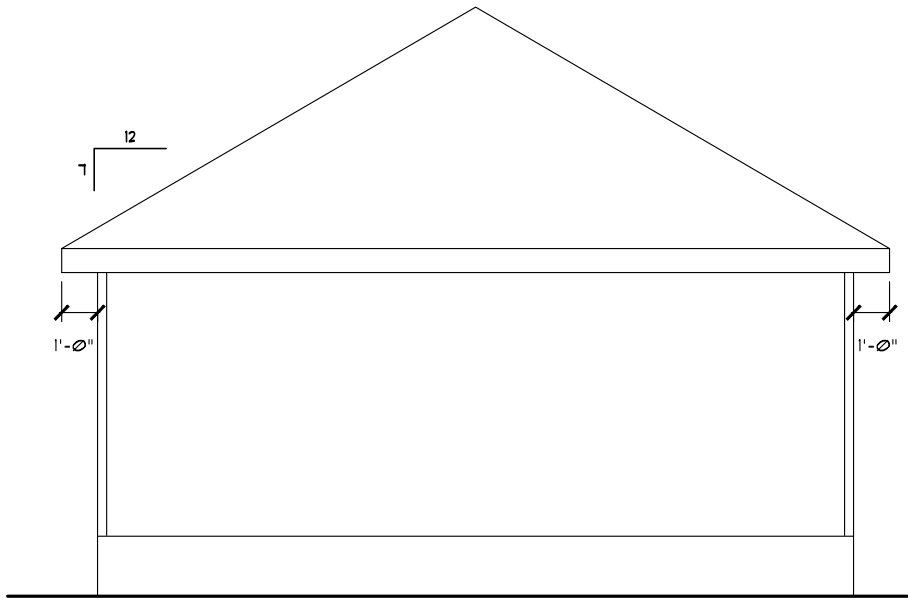


UNIT - ALYDAR (R)
JOB# 57123
5307 - 22 AVENUE SW

UNIT - AFFIRMED (R)
JOB# 57124
5309 - 22 AVENUE SW

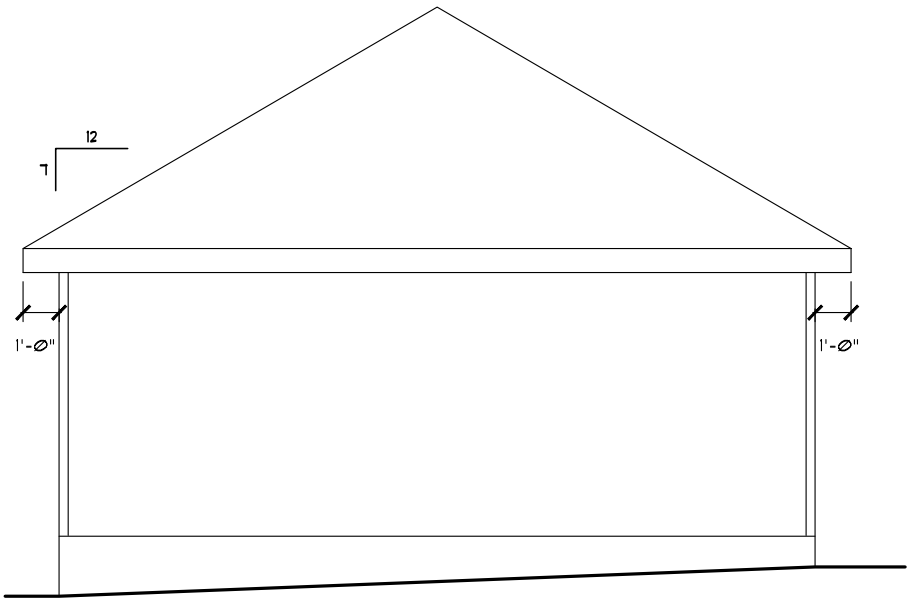
PARTIAL GARAGE REAR ELEVATION

Address: 5303, 5305, 5307 & 5309 - 22 AVENUE SW EDMONTON, AB 17, 18, 19 & 20 / 09 / 152 5734		Model: AFFIRMED-ALYDAR 4 (NR) (SHELL 4AA-N2)	
Job #: 57121, 57122, 57123 & 57124		SCALE: 3/16" = 1'-0"	Date: January 31, 2022
Drawn By: Sophat Vith	Main:	649 sq.ft. UNIT - AFFIRMED (L) 633 sq.ft. UNIT - ALYDAR (R) 634 sq.ft. UNIT - ALYDAR (L) 648 sq.ft. UNIT - AFFIRMED (R)	PACESETTER DESIGN SERIES
	Upper:	661 sq.ft. UNIT - AFFIRMED (L) 633 sq.ft. UNIT - ALYDAR (R) 633 sq.ft. UNIT - ALYDAR (L) 657 sq.ft. UNIT - AFFIRMED (R)	
	Total:	1310 sq.ft. UNIT - AFFIRMED (L) 1266 sq.ft. UNIT - ALYDAR (R) 1267 sq.ft. UNIT - ALYDAR (L) 1305 sq.ft. UNIT - AFFIRMED (R)	 A QUALICO Company
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			Page 6
			10



LEFT ELEVATION
(GARAGE)

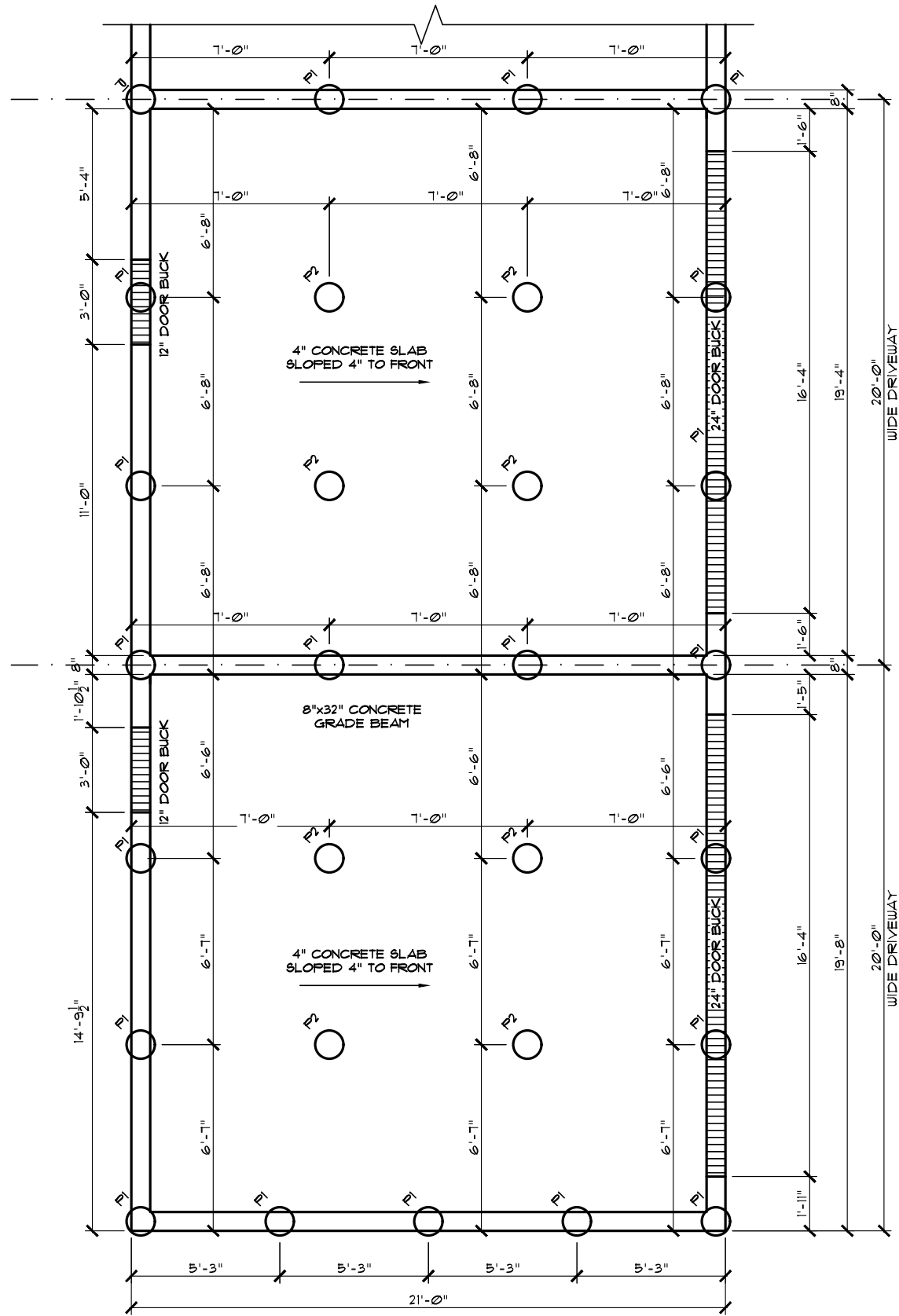
UNIT - AFFIRMED (R)
JOB# 57124
5309 - 22 AVENUE SW



RIGHT ELEVATION
(GARAGE)

UNIT - AFFIRMED (L)
JOB# 57121
5303 - 22 AVENUE SW

Address: 5303, 5305, 5307 & 5309 - 22 AVENUE SW EDMONTON, AB 17, 18, 19 & 20 / 09 / 152 5734		Model: AFFIRMED-ALYDAR 4 (NR) (SHELL 4AA-N2)	
Job #: 57121, 57122, 57123 & 57124		Date: January 31, 2022	Page
Drawn By: Sophat Vith	Main:		PACESETTER DESIGN SERIES
	Upper:		
	Total:		
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SCALE: 3/16" = 1'-0"		Pacesetter HOMES A QUALICO Company	
		10	



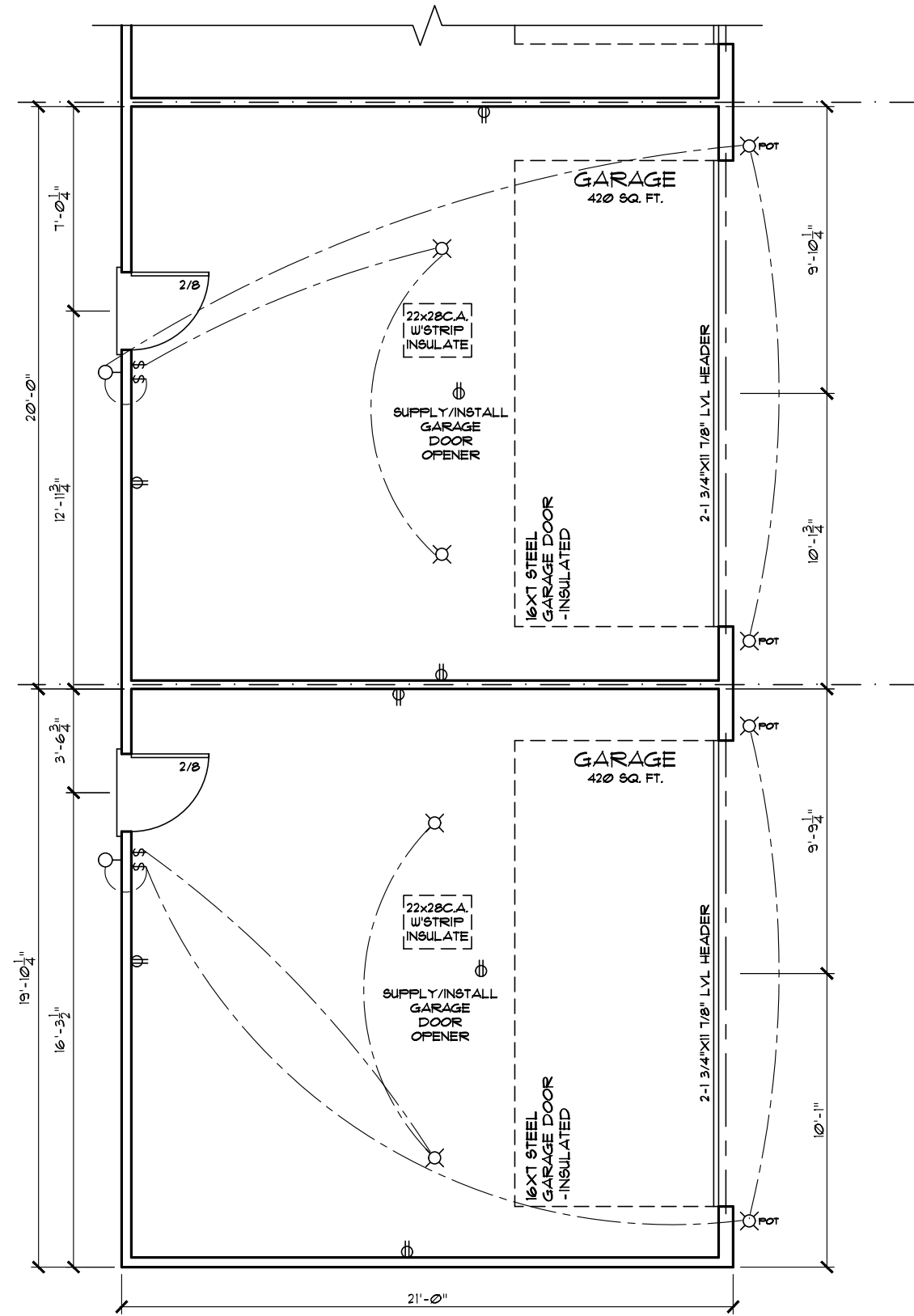
PARTIAL GARAGE
FOUNDATION PLAN

PILE LEGEND			
	DIAM.	PILE DEPTH	AMOUNT & SIZE OF REBAR
P1	12"	12'-0"	2-15 M
P2	12"	12'-0"	2-10 M
P3	12"	15'-0"	2-15 M

UNIT - AFFIRMED (R)
JOB# 57124
5309 - 22 AVENUE SW

NOTE!
1. DIMENSIONS SHOWN ARE TO FACE OF MEMBER OR EXTERIOR WALL FACE UNLESS SHOWN OTHERWISE.

UNIT - ALYDAR (R)
JOB# 57123
5307 - 22 AVENUE SW



PARTIAL GARAGE
FLOOR PLAN

Address: 5303, 5305, 5307 & 5309 - 22 AVENUE SW EDMONTON, AB		Model: AFFIRMED-ALYDAR 4 (NR) (SHELL 4AA-N)	
Job #: 57121, 57122, 57123 & 57124		Date: January 31, 2022	Page 8
Drawn By: Sophat Vith	Main:	PACESETTER DESIGN SERIES	
	Upper:	PACESETTER HOMES A QUALICO Company	
	Total:	10	



1. DIMENSIONS SHOWN ARE TO FACE OF MEMBER OR EXTERIOR WALL FACE UNLESS SHOWN OTHERWISE.

UNIT - ALYDAR (L)
JOB# 57122
5305 - 22 AVENUE SW

	DIAM.	FILE DEPTH	AMOUNT & SIZE OF REBAR
Ⓐ	12" $\varnothing$	12'- $\varnothing$ "	2-15 M
Ⓑ	12" $\varnothing$	12'- $\varnothing$ "	2-10 M
Ⓒ	12" $\varnothing$	15'- $\varnothing$ "	2-15 M



Model: AFFIRMED-ALYDAR 4 (NR) (SHELL 4AA-N2)

SCALE: 3/16" = 1'-0"

Date: January 31, 2022

Main:

Upper:	661 Sq.Ft. UNIT - AFFIRMED (L) 633 Sq.Ft. UNIT - ALYDAR (R)
	633 Sq.Ft. UNIT - ALYDAR (L) 651 Sq.Ft. UNIT - AFFIRMED (R)
Total:	1310 Sq.Ft. UNIT - AFFIRMED (L) 1266 Sq.Ft. UNIT - ALYDAR (R)
	1267 Sq.Ft. UNIT - ALYDAR (L) 1305 Sq.Ft. UNIT - AFFIRMED (R)



Pacesetter HOMES
A QUALICO® Company

- 1

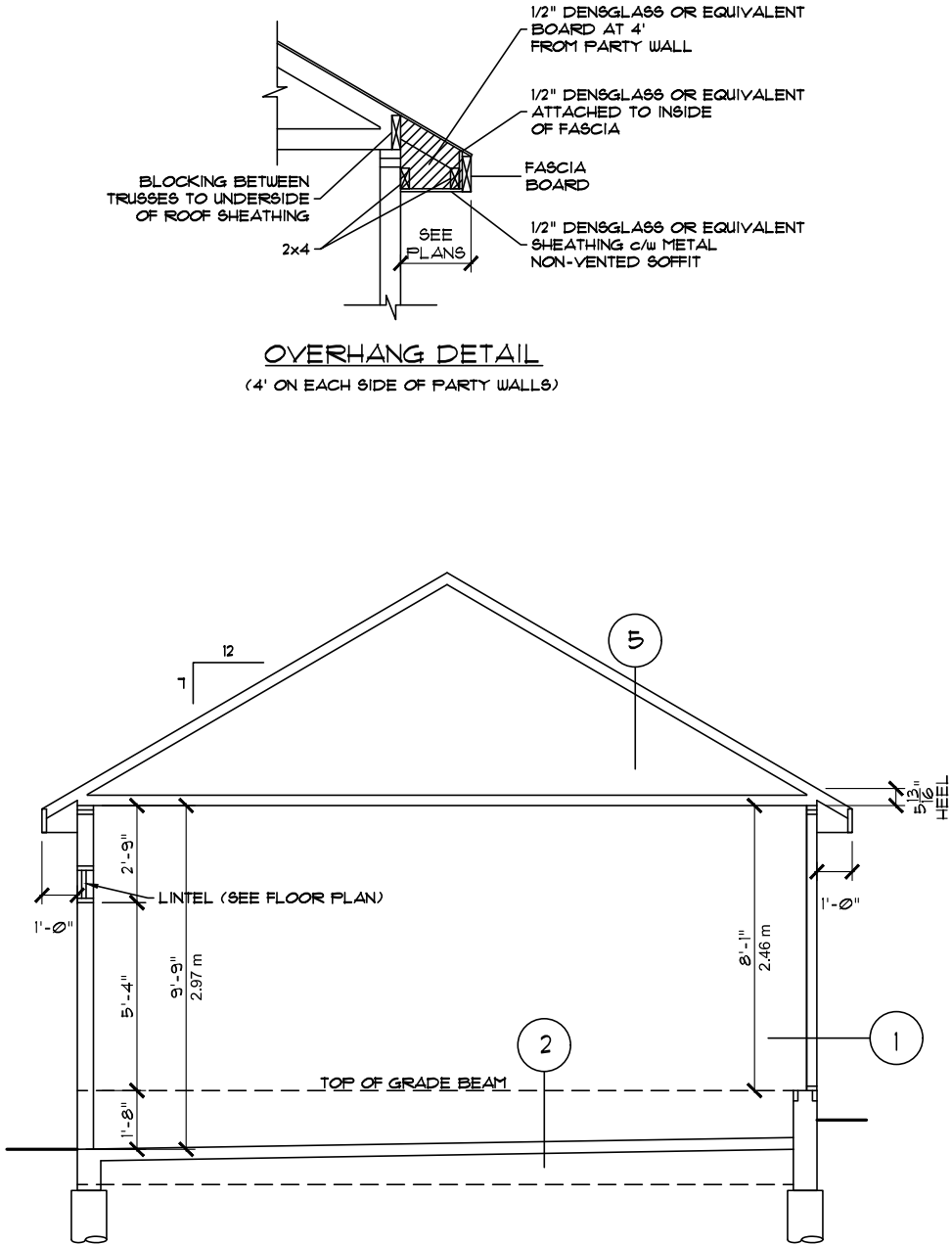
EXTERIOR WALL
VINYL SIDING W/PRE-FINISHED METAL BATTENS
BUILDING PAPER (AS REQ'D)
3/8" OSB SHEATHING
2 X 4 STUDS @ 16" O.C.
BATT INSULATION(OPTIONAL)
6 MIL POLY V.B.
1/2 DRYWALL (OPTIONAL)
- 2

4" CONCRETE SLAB ON GRADE
10M REBARS @ 24" O.C. EACH WAY
6" SAND FILL
- 3

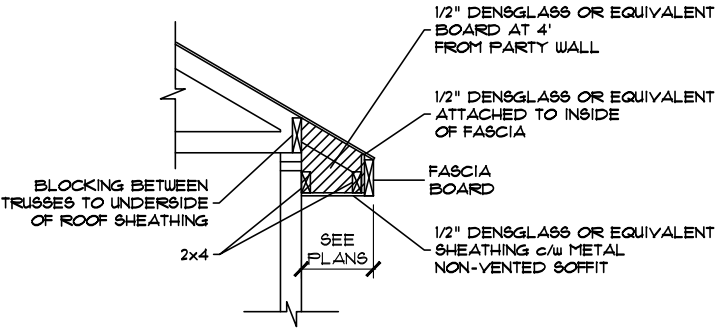
FIRE WALL
5/8" TYPE "X" GYP. B'D.
2x4 STUDS @ 16"O.C.
BATT INSULATION
5/8" TYPE "X" GYP. B'D.
(10 HOUR FIRE RATING)
- 4

ATTIC SEPARATION
5/8" TYPE "X" GYP. B'D.
ENGIN. TRUSS
5/8" TYPE "X" GYP. B'D.
(10 HOUR FIRE RATING)
- 5

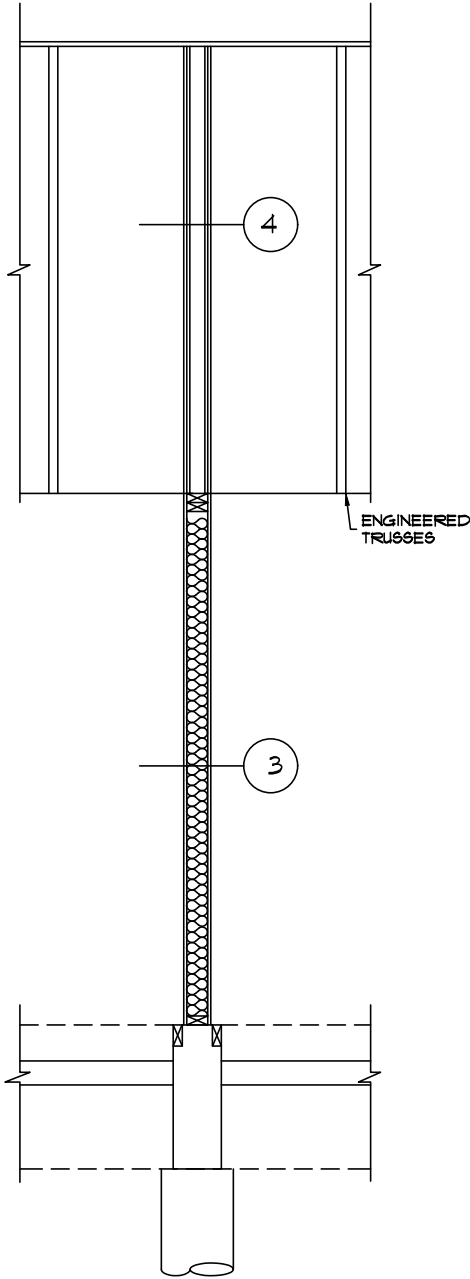
ROOF CONSTRUCTION
ASPHALT SHINGLES
3/8" O.S.B. SHEATHING c/w 'H'CLIPS
ENGINEERED WOOD TRUSSES @24" o/c



GARAGE SECTION



OVERHANG DETAIL
(4' ON EACH SIDE OF PARTY WALLS)



GARAGE PARTY
WALL DETAIL

Address: 5303, 5305, 5307 & 5309 - 22 AVENUE SW EDMONTON, AB		Model: AFFIRMED-ALYDAR 4 (NR) (SHELL 4AA-N)	
Job #: 57121, 57122, 57123 & 57124		Date: January 31, 2022	Page 10
Drawn By: Sophat Vith	SCALE: 3/16" = 1'-0"		PACESETTER DESIGN SERIES
	Main:	649 Sq.ft. UNIT - AFFIRMED (L) 633 Sq.ft. UNIT - ALYDAR (R) 634 Sq.ft. UNIT - ALYDAR (L) 648 Sq.ft. UNIT - AFFIRMED (R)	 A QUALICO Company
	Upper:	661 Sq.ft. UNIT - AFFIRMED (L) 633 Sq.ft. UNIT - ALYDAR (R) 633 Sq.ft. UNIT - ALYDAR (L) 651 Sq.ft. UNIT - AFFIRMED (R)	
Total:		1310 Sq.ft. UNIT - AFFIRMED (L) 1266 Sq.ft. UNIT - ALYDAR (R) 1267 Sq.ft. UNIT - ALYDAR (L) 1305 Sq.ft. UNIT - AFFIRMED (R)	
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