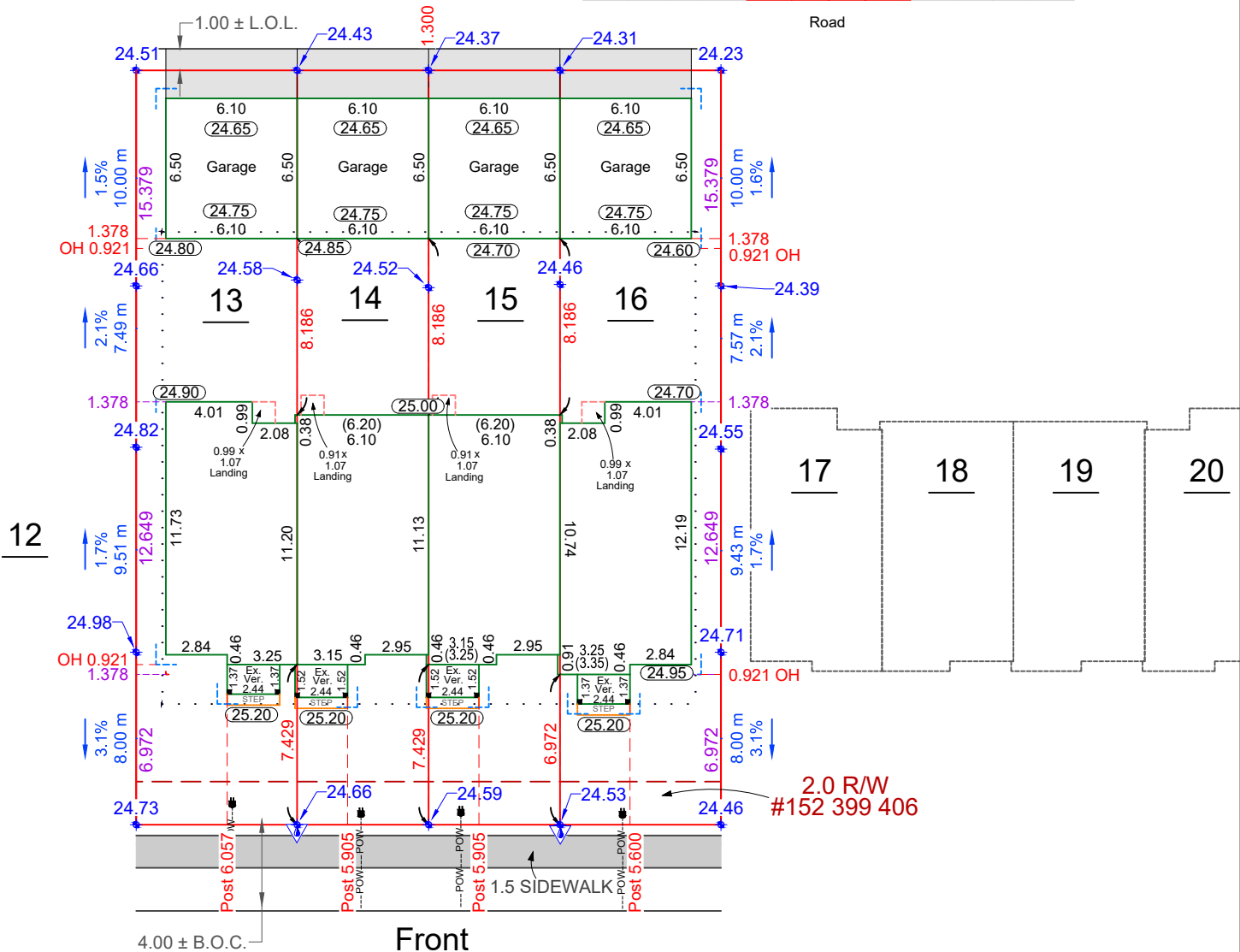
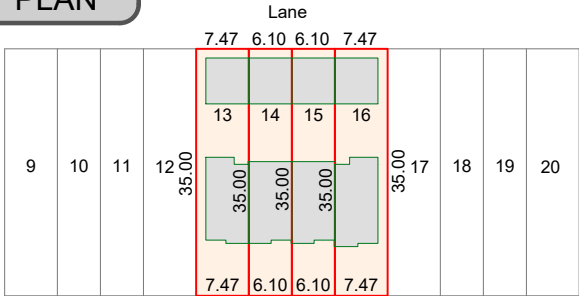


PLOT PLAN



ELEVATION DETAILS	
HOUSE TYPE:	2 STOREY
FINISHED FLOOR:	25.84
BOTTOM OF FOOTING:	22.74
BASEMENT HEIGHT:	8'6"
FINISHED GRADE AT-FRONT STEP:	25.20
3 RISE, DOWN 4"	
FINISHED GRADE AT-BACK OF HOUSE:	L-24.90, M-25.00, R-24.70
GRADE BELOW-BACK/SIDE DOOR SILL:	
GRADE BELOW-BASEMENT WINDOWS:	WELL AS REQ'D
TOP OF CONCRETE BASEMENT WALL:	25.54
GARAGE FLOOR:	24.65
SANITARY SEWER SERVICE INVERT:	13&14-21.91 15&16-21.78
FOOTING SIZE:	0.20

NOTES
- BUILDER/OWNER RESPONSIBLE TO ENSURE BACK FILL LEVELS MEET ALL CODES.
- ALL DIMENSIONS AND SERVICES SHOWN MUST BE CONFIRMED BY CONTRACTOR PRIOR TO EXCAVATION.
- ALL DISTANCES SHOWN ARE IN METER AND DECIMALS THEREOF.
- BUILDER / OWNER IS LIABLE FOR ANY COSTS INCURRED DUE TO AN ERROR IN THE ABOVE PLAN IF CONSTRUCTION STARTS PRIOR TO THIS PLAN BEING APPROVED BY THE LOCAL APPROVING AUTHORITY
- ALL DIMENSIONS SHOWN TO FOUNDATION WALL, FINAL EXTERIOR CLADDING MAY ALTER DIMENSIONS
- THE ELEVATION OF THIS HOUSE HAS BEEN DESIGNED SO THAT IT WILL BE IN CONFORMANCE WITH THE LOT GRADING PLAN.
RAIN WATER LEADERS REQUIRED.

DETAILS
- LOT AREA (13): 261.45 m ² (2814.2 ft ²)
- HOUSE AREA: 70.96 m ² (763.8 ft ²)
- HOUSE COVERAGE: 27.14 %
- VERANDA AREA: 3.34 m ² (36.0 ft ²)
- VERANDA COVERAGE: 1.28 %
- GARAGE AREA: 39.64 m ² (426.7 ft ²)
- GARAGE COVERAGE: 15.16 %
- TOTAL COVERAGE: 43.58 %
- DRIVEWAY AREA: 14.02 m ² (150.9 ft ²)
- LOT AREA (14): 213.50 m ² (2298.1 ft ²)
- HOUSE AREA: 73.01 m ² (785.9 ft ²)
- HOUSE COVERAGE: 34.20 %
- GARAGE AREA: 39.64 m ² (426.7 ft ²)
- GARAGE COVERAGE: 18.57 %
- TOTAL COVERAGE: 52.76 %
- DRIVEWAY AREA: 14.02 m ² (150.9 ft ²)
- LOT AREA (15): 213.50 m ² (2298.1 ft ²)
- HOUSE AREA: 73.06 m ² (786.4 ft ²)
- HOUSE COVERAGE: 34.22 %
- GARAGE AREA: 39.64 m ² (426.7 ft ²)
- GARAGE COVERAGE: 18.57 %
- TOTAL COVERAGE: 52.79 %
- DRIVEWAY AREA: 14.02 m ² (150.9 ft ²)
- LOT AREA (16): 261.45 m ² (2814.2 ft ²)
- HOUSE AREA: 73.84 m ² (794.8 ft ²)
- HOUSE COVERAGE: 28.24 %
- VERANDA AREA: 3.34 m ² (36.0 ft ²)
- VERANDA COVERAGE: 1.28 %
- GARAGE AREA: 39.64 m ² (426.7 ft ²)
- GARAGE COVERAGE: 15.16 %
- TOTAL COVERAGE: 44.68 %
- DRIVEWAY AREA: 14.02 m ² (150.9 ft ²)

LEGEND					
PROPOSED CLEAN OUT	PROPOSED HYDRANT	PROPOSED SERVICE PEDESTAL	PROPOSED BACK OF CURB	B.O.C.	DESIGN GRADE ELEVATION
PROPOSED STREET LIGHT	PROPOSED POWER SERVICE	PROPOSED FENCE LINE	PROPOSED BACK OF WALK	B.O.W.	AS-BUILT ELEVATION
PROPOSED C.C. LOCATION			PROPOSED LIP OF LANE	L.O.L.	PROPOSED ELEVATION
PROPOSED TRANSFORMER			PROPOSED UTILITY VAULT		CENTERLINE ELEVATION

LEGAL INFORMATION		
LOT	BLOCK	PLAN NUM.
13, 14, 15, 16	9	152 5734
CIVIC ADDRESS:		
5229 22 AVENUE S.W. (LOT 13)		
5231 22 AVENUE S.W. (LOT 14)		
5233 22 AVENUE S.W. (LOT 15)		
5235 22 AVENUE S.W. (LOT 16)		
LOCATION	SUBDIVISION	
EDMONTON	WALKER	

Pals Geomatics Corp.

EMAIL: PLOTPLAN@PALSGEOMATICS.COM
PHONE: 780-455-3177
FAX: 780-481-1301
10704 - 176TH STREET NW
EDMONTON, ALBERTA T5S 1G7

Edmonton Region Member

DWG DETAILS			
Rev. No.	Date:	Drafted By:	Description
PP	7/29/21	JGRAY	
BUILDER/OWNER: PACESETTER HOMES			
MODEL: BRISTOL/CALDER/CALDER/BRISTOL			
JOB NUM.: 57111/12/13/14			
LOT ZONING: RF5		SCALE: 1:300	