

[illegible]



UNIT - BRISTOL (L)
JOB# 57111
5229 - 22 AVENUE SW

UNIT - CALDER (L)
JOB# 57112
5231 - 22 AVENUE SW

UNIT - CALDER (R)
JOB# 57113
5233 - 22 AVENUE SW

UNIT - BRISTOL (R)
JOB# 57114
5235 - 22 AVENUE SW

OVERALL FRONT ELEVATION
(NOT TO SCALE)

Address: 5229, 5231, 5233 & 5235 - 22 AVENUE SW EDMONTON, AB 13, 14, 15 & 16 / 9 / 152 5T34		Model: BRISTOL-CALDER 4 (CR-ILL) (SHELL 4BC-CR)	
Job #: 57111, 57112, 57113 & 57114		Date: May 24, 2022	Page
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		Upper:	
		Total:	 A QUALICO Company



UNIT - BRISTOL (R)
JOB# 57114
5235 - 22 AVENUE SW

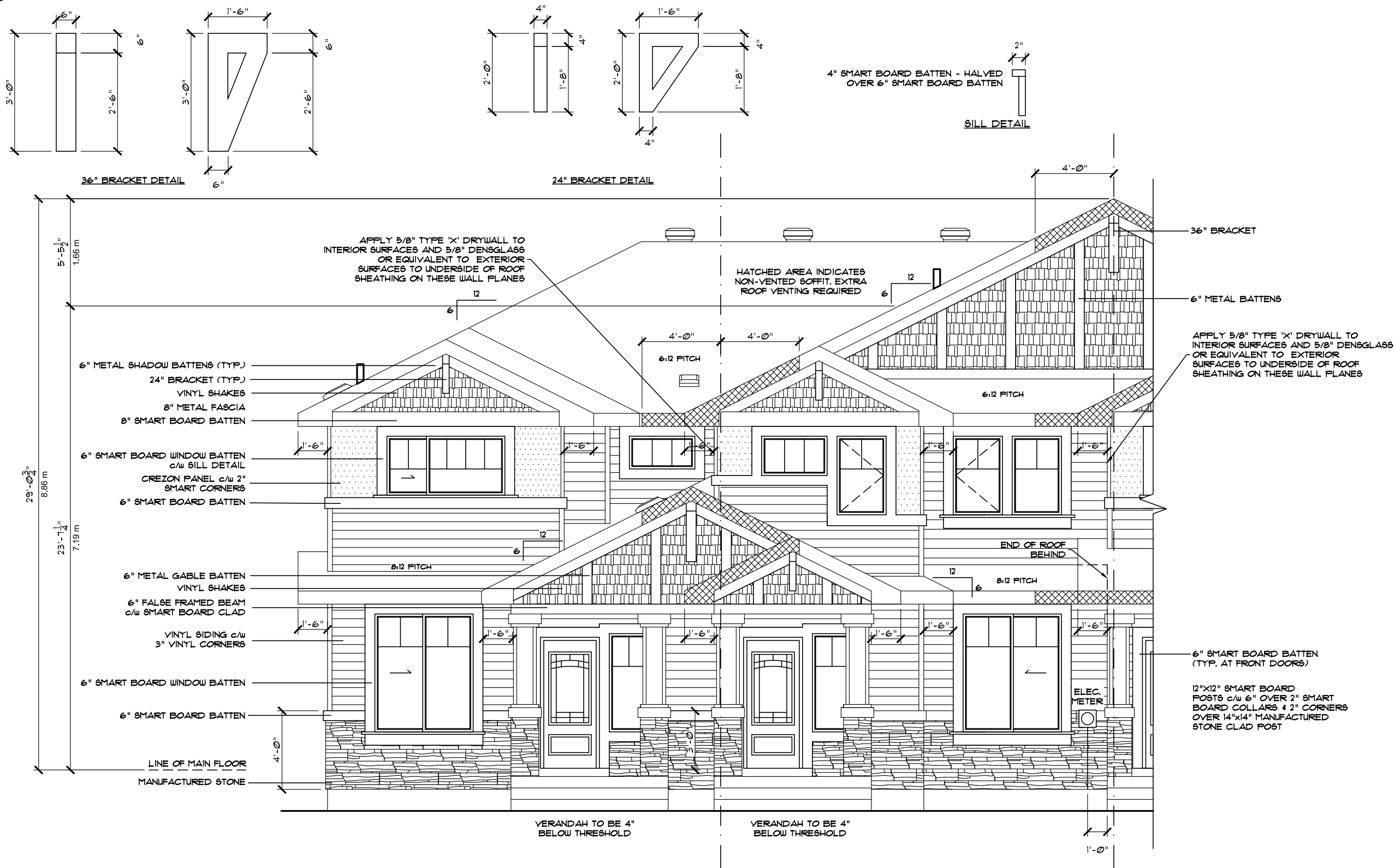
UNIT - CALDER (R)
JOB# 57113
5233 - 22 AVENUE SW

UNIT - CALDER (L)
JOB# 57112
5231 - 22 AVENUE SW

UNIT - BRISTOL (L)
JOB# 57111
5229 - 22 AVENUE SW

OVERALL REAR ELEVATION
(NOT TO SCALE)

Address: 5229, 5231, 5233 & 5235 - 22 AVENUE SW EDMONTON, AB 13, 14, 15 & 16 / 9 / 152 5734		Model: BRISTOL-CALDER 4 (CR-ILL) (SHELL 4BC-CR)	
Job #: 57111, 57112, 57113 & 57114		Date: May 24, 2022	Page
Drawn By: Sophat Vith	SCALE: 3/16" = 1'-0"		PACESETTER DESIGN SERIES  A QUALICO Company
	Main:	104 sq.ft. UNIT - BRISTOL (L) 618 sq.ft. UNIT - CALDER (R) 618 sq.ft. UNIT - CALDER (L) 104 sq.ft. UNIT - BRISTOL (R)	
	Upper:	652 sq.ft. UNIT - BRISTOL (L) 610 sq.ft. UNIT - CALDER (R) 610 sq.ft. UNIT - CALDER (L) 652 sq.ft. UNIT - BRISTOL (R)	
	Total:	1356 sq.ft. UNIT - BRISTOL (L) 1348 sq.ft. UNIT - CALDER (R) 1348 sq.ft. UNIT - CALDER (L) 1356 sq.ft. UNIT - BRISTOL (R)	
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UNIT - BRISTOL (L)
JOB# 57111
5229 - 22 AVENUE SW

UNIT - CALDER (L)
JOB# 57112
5231 - 22 AVENUE SW

PARTIAL FRONT ELEVATION

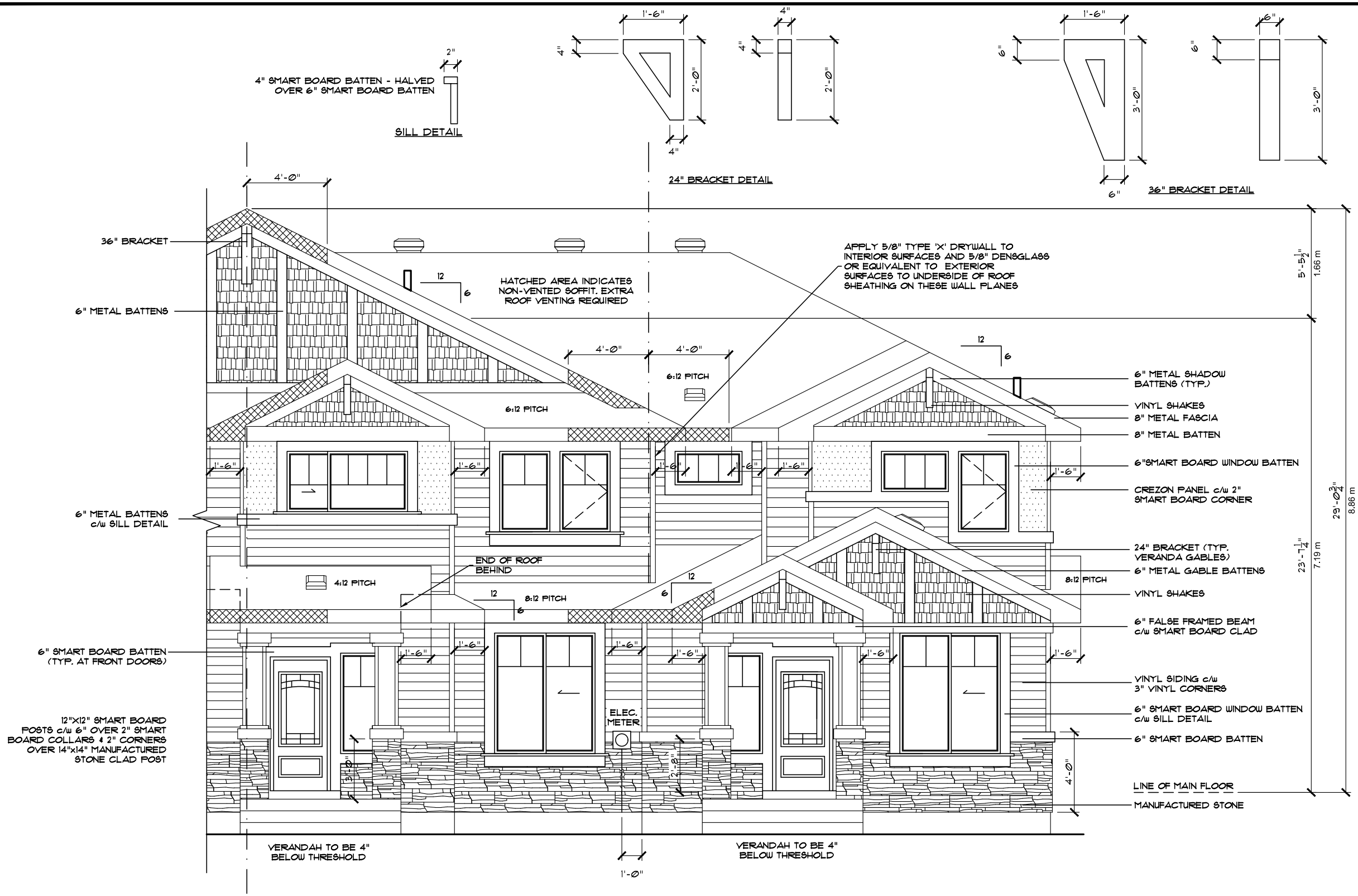
**** ALL WINDOWS TO BE LOW E ****
**** TRI-PANE WINDOWS ****
THROUGHOUT

(UNLESS NOTED OTHERWISE)

NOTE!

- FLASHING IS TO BE INSTALLED AT ALL APPROPRIATE LOCATIONS ON ROOF AND ELEVATIONS. (SEE BUILDERS SPECS)
- WINDOW WELLS MAY BE REQUIRED DEPENDING ON FINAL GRADE
- ALL STAIRS TO HAVE A MINIMUM 10" RUN AND 1" NOSING

Model: BRISTOL-CALDER 4 (CR-ILL) (SHELL4BC-CR)		Page	
Address: 5229, 5231, 5233 & 5235 - 22 AVENUE SW EDMONTON, AB		Date: May 24, 2022	
Job #: 57111, 57112, 57113 & 57114		PACESETTER DESIGN SERIES	
Drawn By: Sophat Vith		 Pacesetter HOMES A QUALICO Company	
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SCALE: 3/16" = 1'-0" Main: 104 Sq.Ft. UNIT - BRISTOL (L) 618 Sq.Ft. UNIT - CALDER (R) 618 Sq.Ft. UNIT - CALDER (L) 104 Sq.Ft. UNIT - BRISTOL (R) Upper: 652 Sq.Ft. UNIT - BRISTOL (L) 610 Sq.Ft. UNIT - CALDER (R) 652 Sq.Ft. UNIT - CALDER (L) 652 Sq.Ft. UNIT - BRISTOL (R) Total: 1356 Sq.Ft. UNIT - BRISTOL (L) 1348 Sq.Ft. UNIT - CALDER (R) 1356 Sq.Ft. UNIT - CALDER (L) 1348 Sq.Ft. UNIT - BRISTOL (R)			



UNIT - CALDER (R)
JOB# 57113
5233 - 22 AVENUE SW

UNIT - BRISTOL (R)
JOB# 57114
5235 - 22 AVENUE SW

**** ALL WINDOWS TO BE LOW E ****
**** TRI-PANE WINDOWS ****
THROUGHOUT
(UNLESS NOTED OTHERWISE)

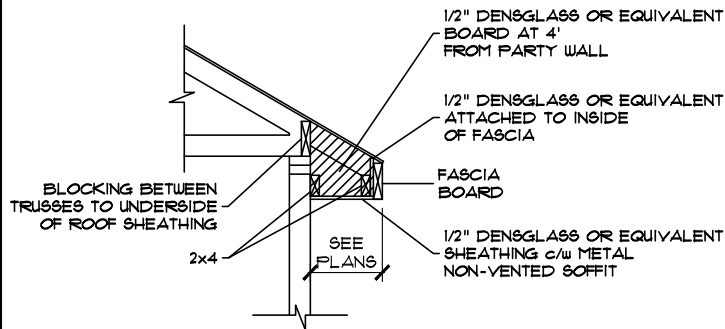
PARTIAL FRONT ELEVATION

NOTE!

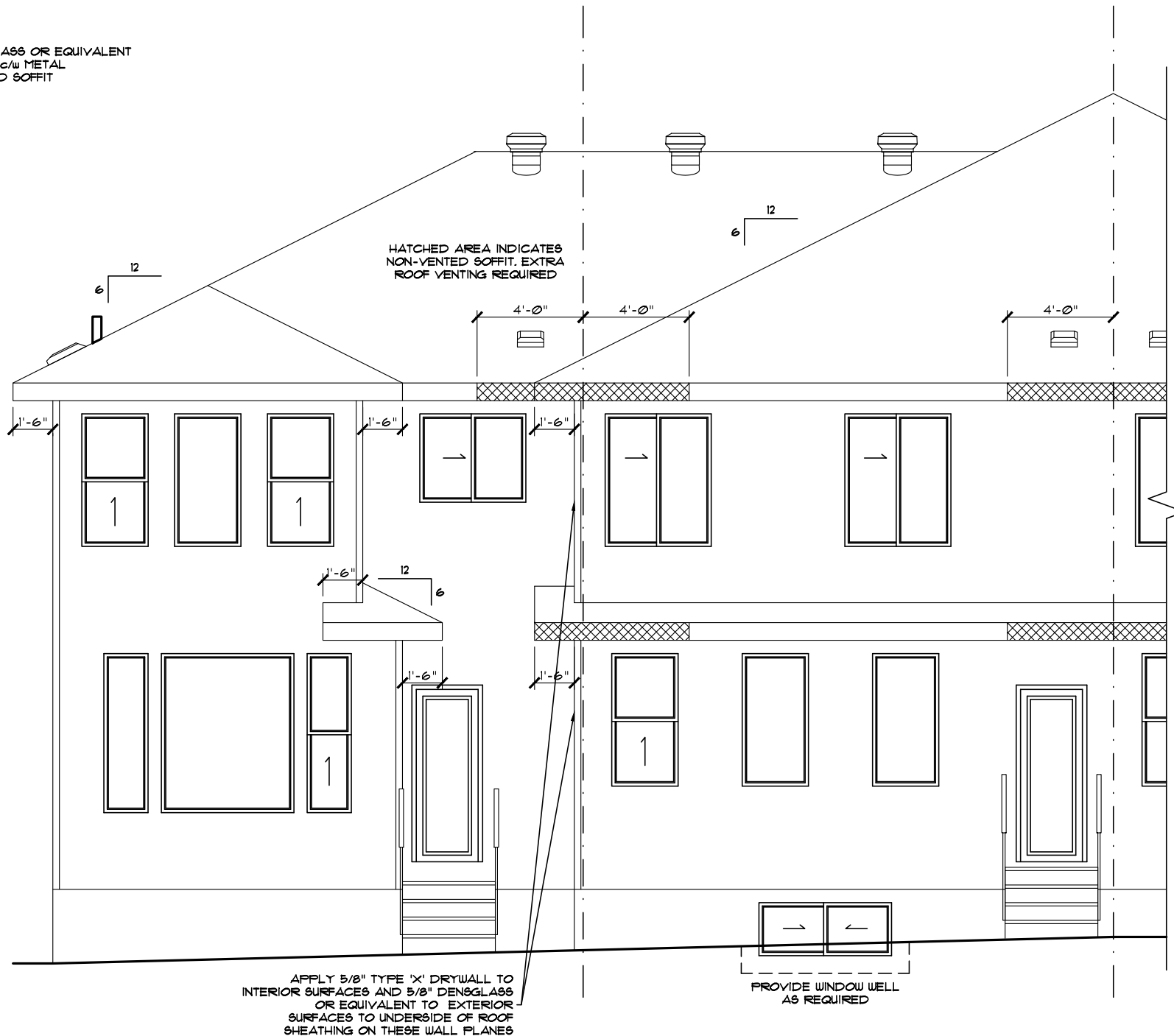
- FLASHING IS TO BE INSTALLED AT ALL APPROPRIATE LOCATIONS ON ROOF AND ELEVATIONS. (SEE BUILDERS SPECS)
- WINDOW WELLS MAY BE REQUIRED DEPENDING ON FINAL GRADE
- ALL STAIRS TO HAVE A MINIMUM 10" RUN AND 1" NOSING

Address: 5229, 5231, 5233 & 5235 - 22 AVENUE SW EDMONTON, AB 13, 14, 15 & 16 / 9 / 152 5734		Model: BRISTOL-CALDER 4 (CR-ILL) (SHELL4BC-CR)	
Job #: 57111, 57112, 57113 & 57114		SCALE: 3/16" = 1'-0"	Date: May 24, 2022
Drawn By: Sophat Vith	Main:	104 Sq.Ft. UNIT - BRISTOL (L) 618 Sq.Ft. UNIT - CALDER (R) 618 Sq.Ft. UNIT - CALDER (L) 104 Sq.Ft. UNIT - BRISTOL (R)	PACESETTER DESIGN SERIES
	Upper:	652 Sq.Ft. UNIT - BRISTOL (L) 610 Sq.Ft. UNIT - CALDER (R) 610 Sq.Ft. UNIT - CALDER (L) 652 Sq.Ft. UNIT - BRISTOL (R)	
	Total:	1348 Sq.Ft. UNIT - BRISTOL (L) 1348 Sq.Ft. UNIT - CALDER (R) 1348 Sq.Ft. UNIT - CALDER (L) 1348 Sq.Ft. UNIT - BRISTOL (R)	
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OVERHANG DETAIL
(4' ON EACH SIDE OF PARTY WALLS)



UNIT - BRISTOL (R)
JOB# 57114
5235 - 22 AVENUE SW

UNIT - CALDER (R)
JOB# 57113
5233 - 22 AVENUE SW

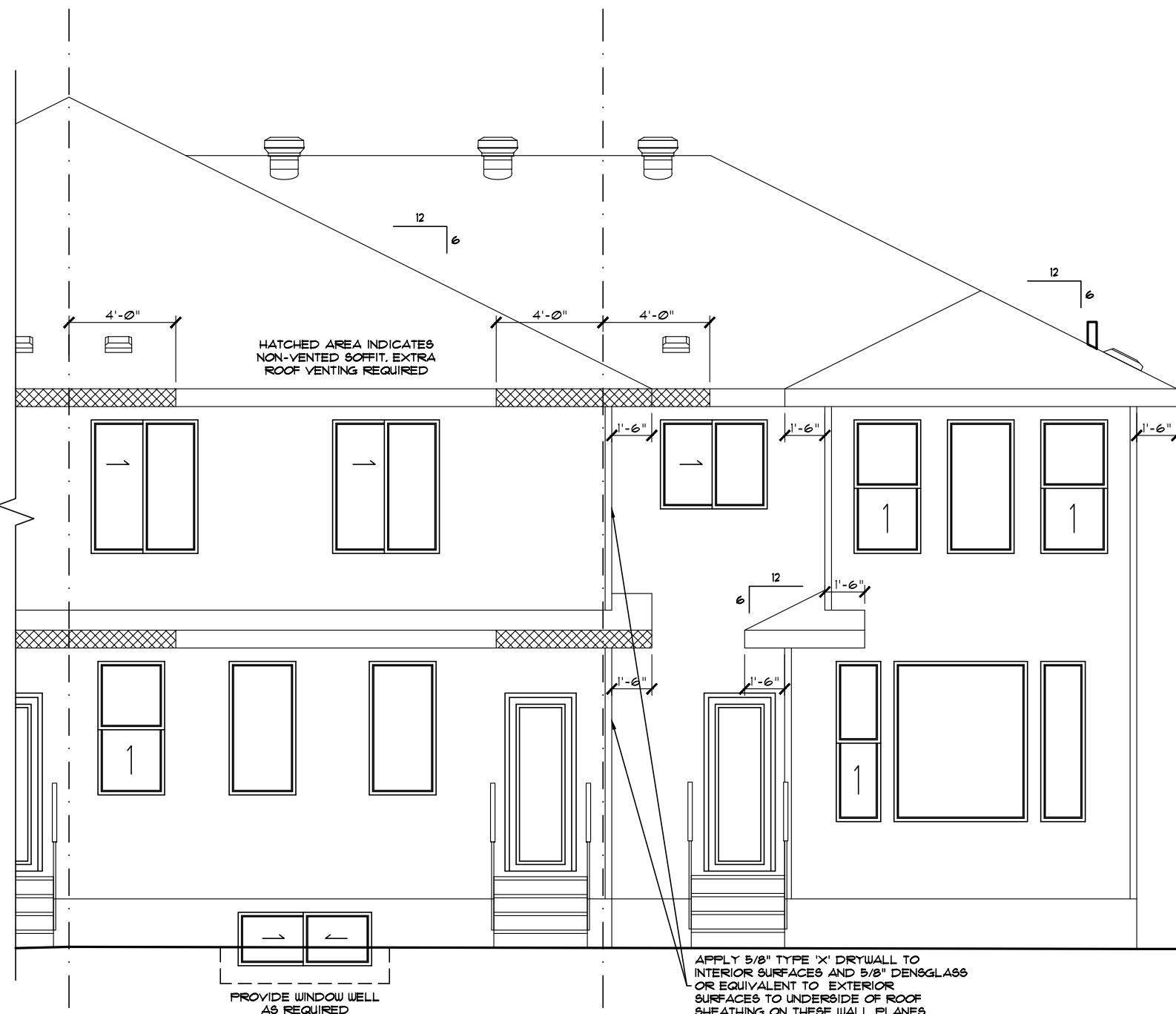
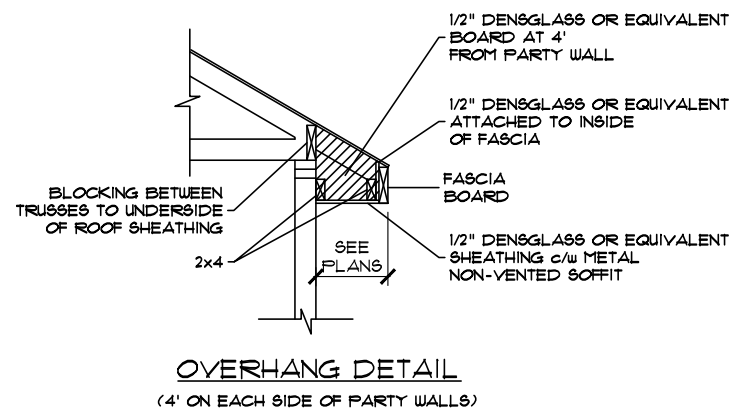
PARTIAL REAR ELEVATION

**** ALL WINDOWS TO BE LOW E ****
**** TRI-PANE WINDOWS ****
THROUGHOUT

(UNLESS NOTED OTHERWISE)

Address: 5229, 5231, 5233 & 5235 - 22 AVENUE SW EDMONTON, AB 13, 14, 15 & 16 / 9 / 152 5734		Model: BRISTOL-CALDER 4 (CR-ILL) (SHELL4BC-CR)	
Job #: 57111, 57112, 57113 & 57114		SCALE: 3/16" = 1'-0"	Date: May 24, 2022
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		Upper:	
		Total:	
		PACESSETTER HOMES	
		5	
		11	





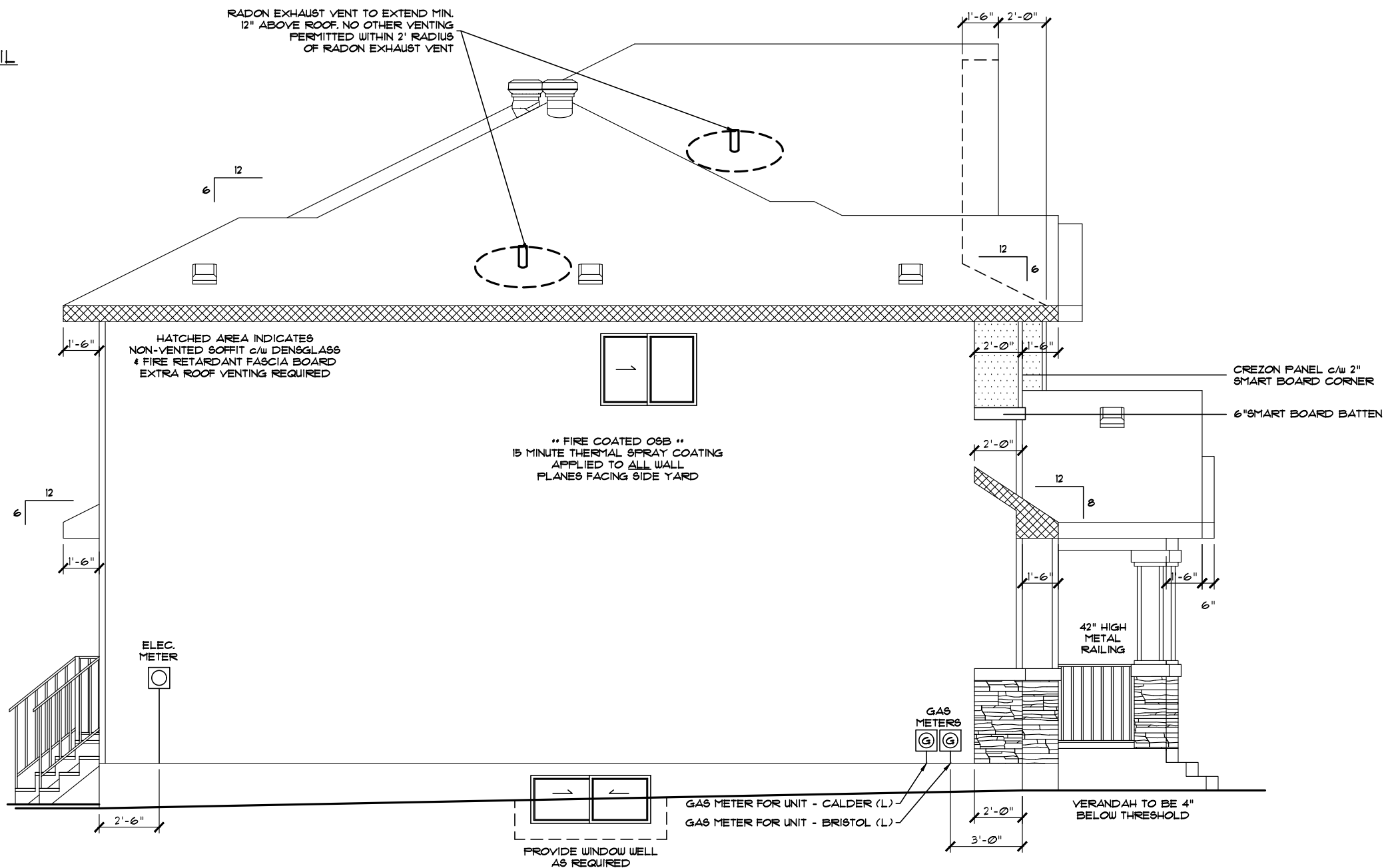
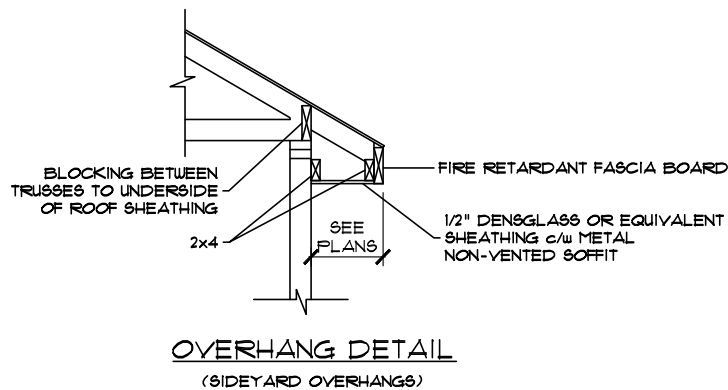
UNIT - CALDER (L)
JOB# 57112
5231 - 22 AVENUE SW

UNIT - BRISTOL (L)
JOB# 57111
5229 - 22 AVENUE SW

**** ALL WINDOWS TO BE LOW E
** TRI-PANE WINDOWS **
THROUGHOUT**
(UNLESS NOTED OTHERWISE)

PARTIAL REAR ELEVATION

Address: 5229, 5231, 5233 & 5235 - 22 AVENUE SW EDMONTON, AB 13, 14, 15 & 16 / 9 / 152 5734		Model: BRISTOL-CALDER 4 (CR-ILL) (SHELL 4BC-CR)	
Job #: 57111, 57112, 57113 & 57114		Date: May 24, 2022	Page 6
Drawn By: Sophat Vith	SCALE: 3/16" = 1'-0"		PACESETTER DESIGN SERIES  A QUALICO Company
	Main:	104 Sq.Ft. UNIT - BRISTOL (L) 678 Sq.Ft. UNIT - CALDER (R) 678 Sq.Ft. UNIT - CALDER (L) 104 Sq.Ft. UNIT - BRISTOL (R)	
	Upper:	652 Sq.Ft. UNIT - BRISTOL (L) 670 Sq.Ft. UNIT - CALDER (R) 670 Sq.Ft. UNIT - CALDER (L) 652 Sq.Ft. UNIT - BRISTOL (R)	
Total:		1348 Sq.Ft. UNIT - BRISTOL (L) 1348 Sq.Ft. UNIT - CALDER (R) 1348 Sq.Ft. UNIT - CALDER (L) 1348 Sq.Ft. UNIT - BRISTOL (R)	
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**** ALL WINDOWS TO BE LOW E ****

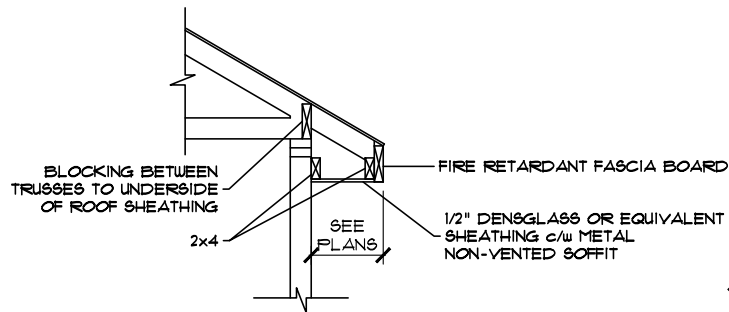
**** TRI-PANE WINDOWS ****

THROUGHOUT

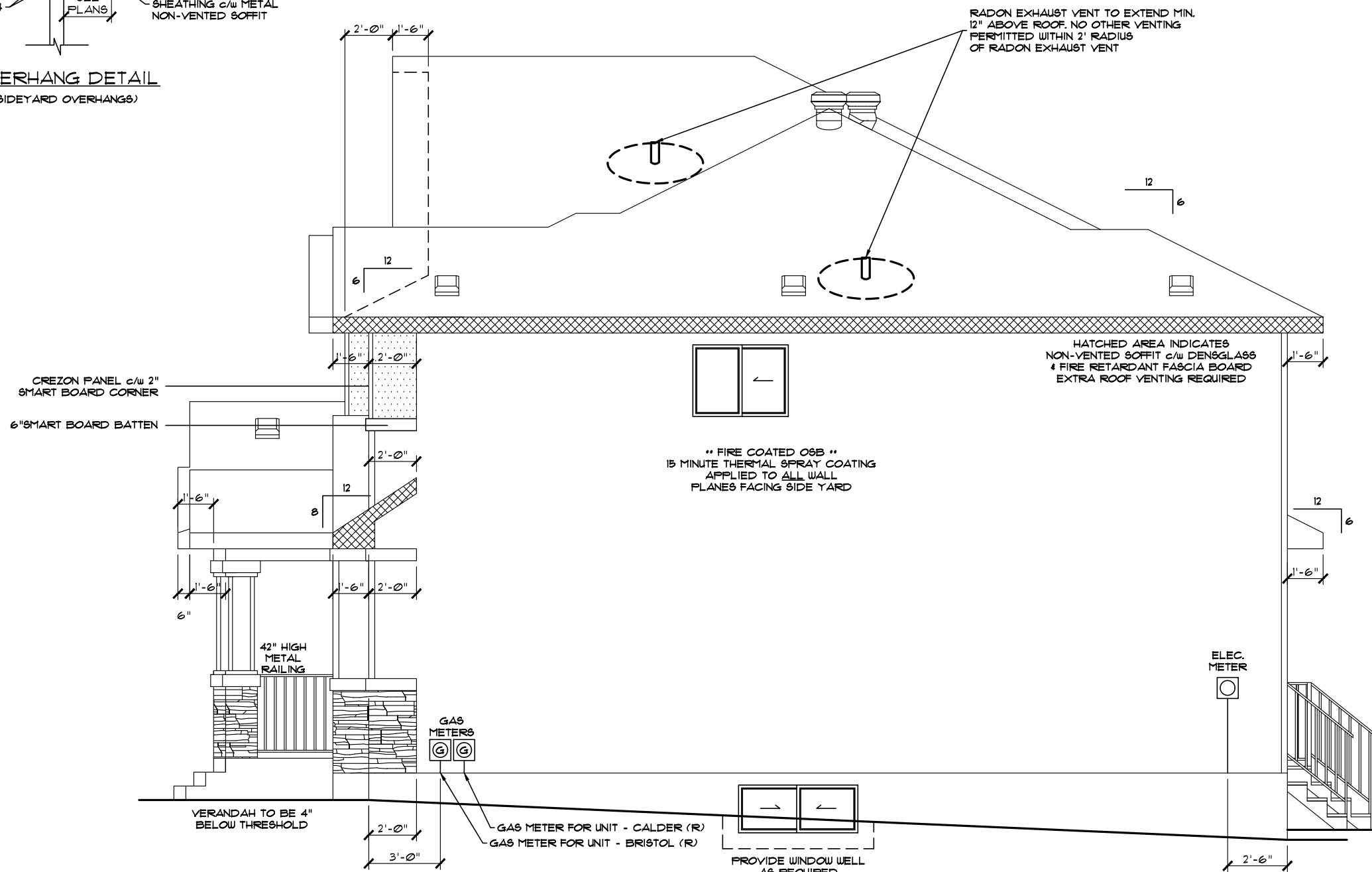
(UNLESS NOTED OTHERWISE)

LEFT ELEVATION

Address: 5229, 5231, 5233 & 5235 - 22 AVENUE SW EDMONTON, AB		Model: BRISTOL-CALDER 4 (CR-ILL) (SHELL4BC-CR)
Job #: 57111, 57112, 57113 & 57114		Date: May 24, 2022
Drawn By: Sophat Vith	SCALE: 3/16" = 1'-0"	
	Main:	104 Sq.Ft. UNIT - BRISTOL (L) 678 Sq.Ft. UNIT - CALDER (R) 678 Sq.Ft. UNIT - CALDER (L) 104 Sq.Ft. UNIT - BRISTOL (R)
	Upper:	652 Sq.Ft. UNIT - BRISTOL (L) 670 Sq.Ft. UNIT - CALDER (R) 670 Sq.Ft. UNIT - CALDER (L) 652 Sq.Ft. UNIT - BRISTOL (R)
Total:		1348 Sq.Ft. UNIT - BRISTOL (L) 1348 Sq.Ft. UNIT - CALDER (R) 1348 Sq.Ft. UNIT - CALDER (L) 1348 Sq.Ft. UNIT - BRISTOL (R)
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Pacesetter HOMES A QUALICO Company		Page 7
		17



OVERHANG DETAIL
(SIDEYARD OVERHANGS)



**** ALL WINDOWS TO BE LOW E ****
**** TRI-PANE WINDOWS ****
THROUGHOUT
(UNLESS NOTED OTHERWISE)

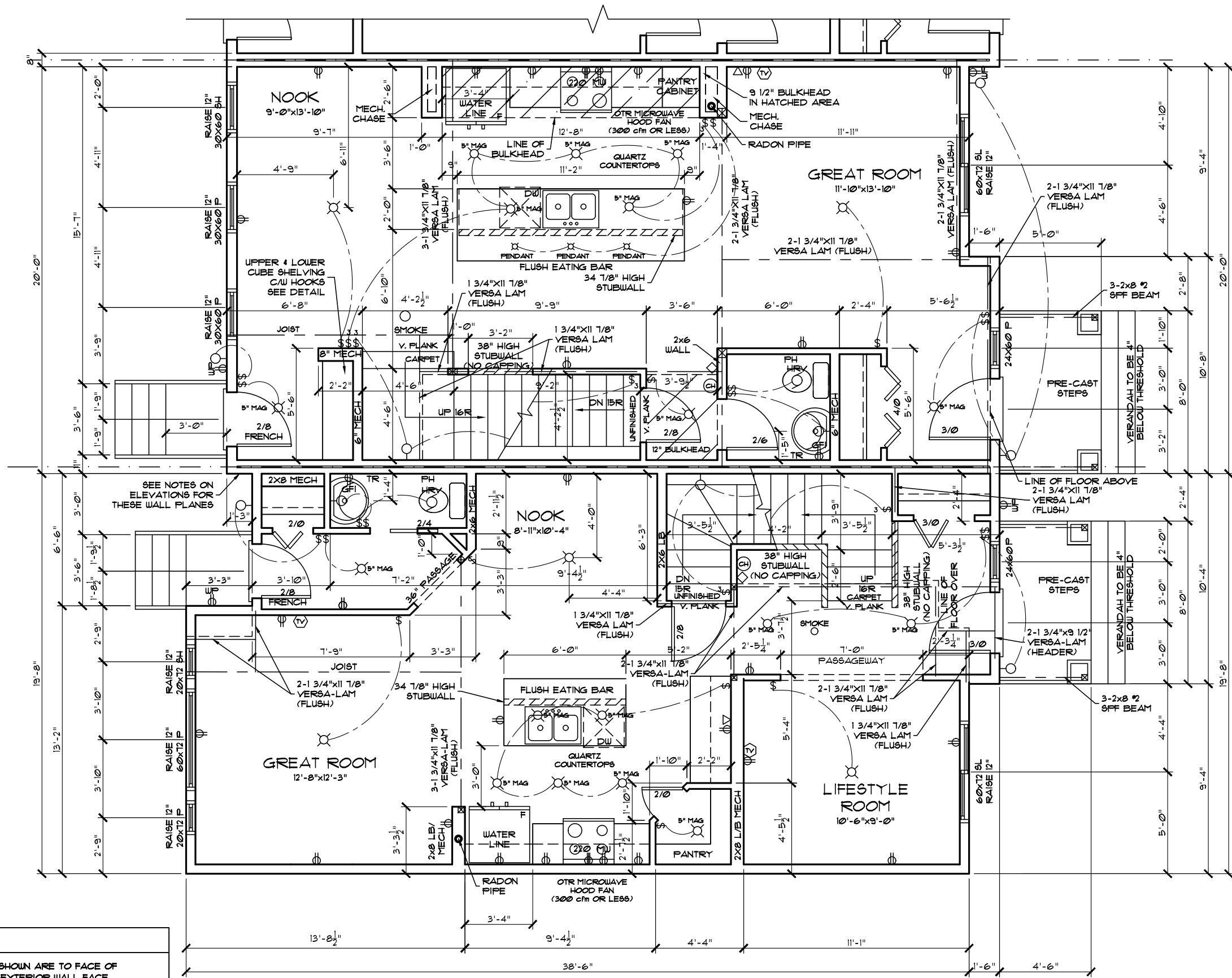
RIGHT ELEVATION

Address: 5229, 5231, 5233 & 5235 - 22 AVENUE SW EDMONTON, AB 13, 14, 15 & 16 / 9 / 152 5T34		Model: BRISTOL-CALDER 4 (CR-ILL) (SHELL4BC-CR)	
Job #: 5T111, 5T112, 5T113 & 5T114		Date: May 24, 2022	Page 8
Drawn By: Sophat Vith	SCALE: 3/16" = 1'-0"		PACESETTER DESIGN SERIES
	Main:	104 sq.ft. UNIT - BRISTOL (L) 618 sq.ft. UNIT - CALDER (R) 618 sq.ft. UNIT - CALDER (L) 104 sq.ft. UNIT - BRISTOL (R)	
	Upper:	652 sq.ft. UNIT - BRISTOL (L) 610 sq.ft. UNIT - CALDER (R) 610 sq.ft. UNIT - CALDER (L) 652 sq.ft. UNIT - BRISTOL (R)	
Total:		1348 sq.ft. UNIT - BRISTOL (L) 1348 sq.ft. UNIT - CALDER (R) 1348 sq.ft. UNIT - CALDER (L) 1348 sq.ft. UNIT - BRISTOL (R)	17
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NOTE!

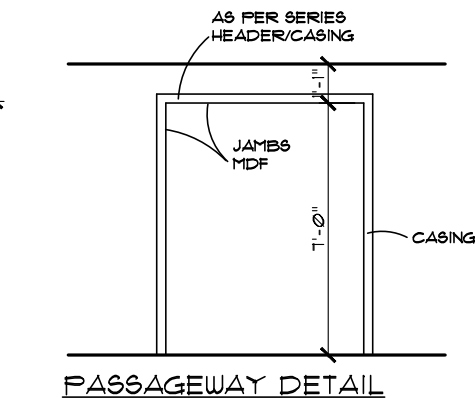
1. DIMENSIONS SHOWN ARE TO FACE OF MEMBER OR EXTERIOR WALL FACE UNLESS SHOWN OTHERWISE.

2. ALL BEAMS AND LINTELS ARE TO BE 2-2X10 SPRUCE UNLESS NOTED OTHERWISE.



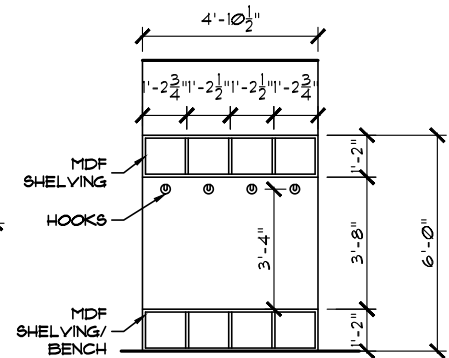
PARTIAL MAIN FLOOR PLAN

UNIT - BRISTOL (L)
JOB# 57111
5229 - 22 AVENUE SW



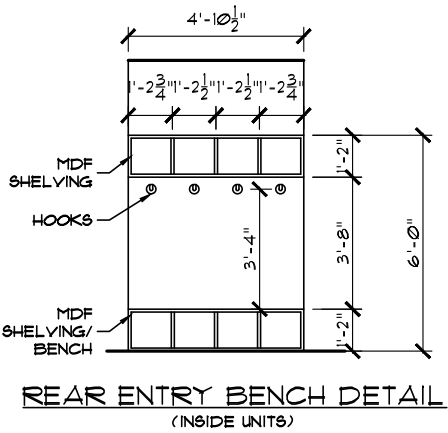
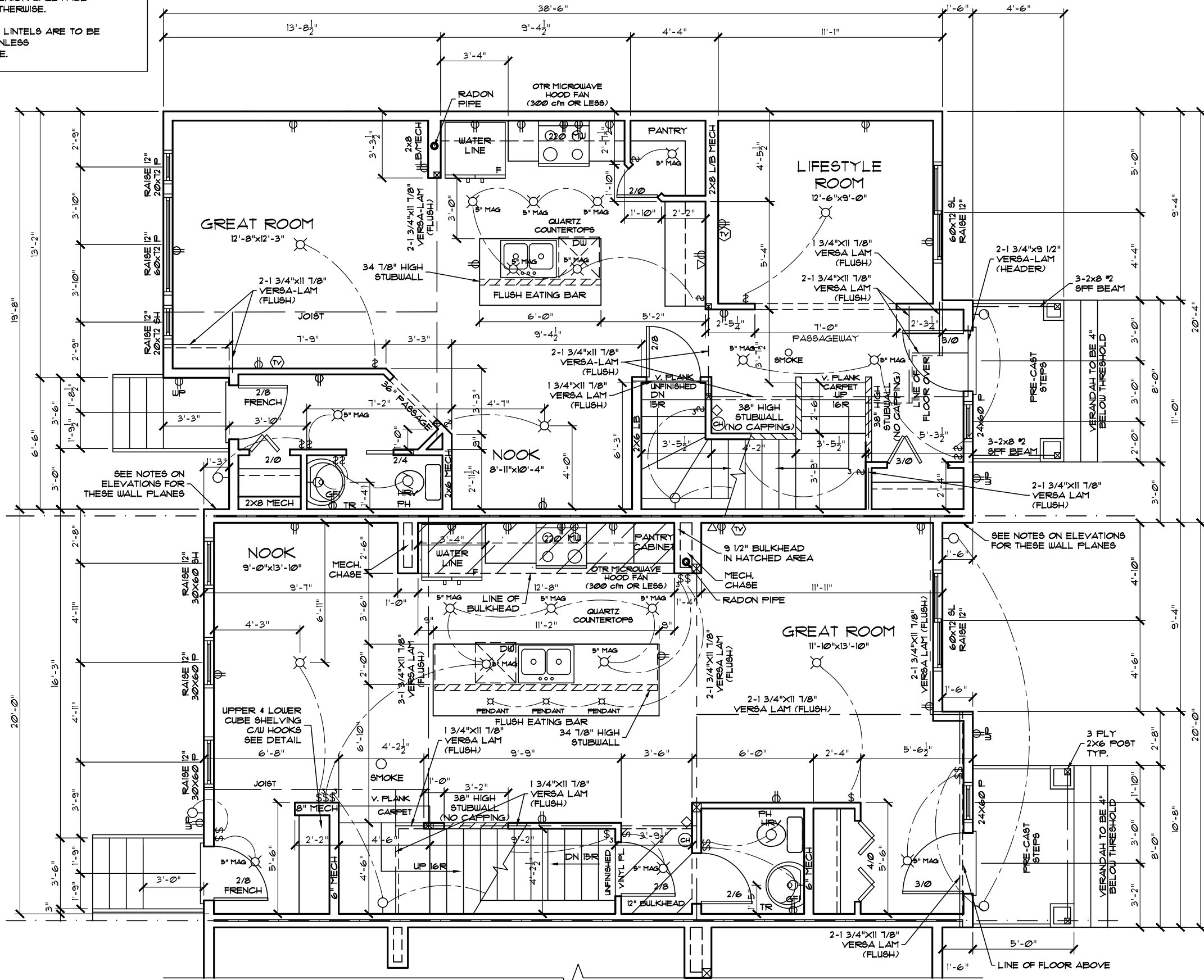
REAR ENTRY BENCH DETAIL (INSIDE UNITS)

UNIT - CALDER (L)
JOB# 57112
5231 - 22 AVENUE SW



Model: BRISTOL-CALDER 4 (CR-ILL) (SHELL4BC-CR)	Page	9	17
Address: 5229, 5231, 5233 & 5235 - 22 AVENUE SW EDMONTON, AB	Date: May 24, 2022	PACESETTER DESIGN SERIES	
Job #: 57111, 57112, 57113 & 57114	SCALE: 3/16" = 1'-0"	Main:	104 Sq.Ft. UNIT - BRISTOL (L) 618 Sq.Ft. UNIT - CALDER (R) 618 Sq.Ft. UNIT - CALDER (L) 104 Sq.Ft. UNIT - BRISTOL (R)
Drawn By: Sophat Vith		Upper:	652 Sq.Ft. UNIT - BRISTOL (L) 610 Sq.Ft. UNIT - CALDER (R) 652 Sq.Ft. UNIT - CALDER (L) 652 Sq.Ft. UNIT - BRISTOL (R)
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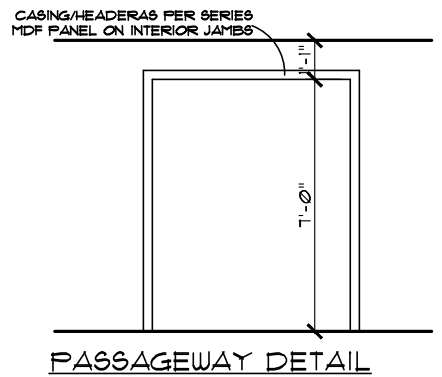
- NOTE!
1. DIMENSIONS SHOWN ARE TO FACE OF MEMBER OR EXTERIOR WALL FACE UNLESS SHOWN OTHERWISE.
2. ALL BEAMS AND LINTELS ARE TO BE 2-2X10 SPRUCE UNLESS NOTED OTHERWISE.



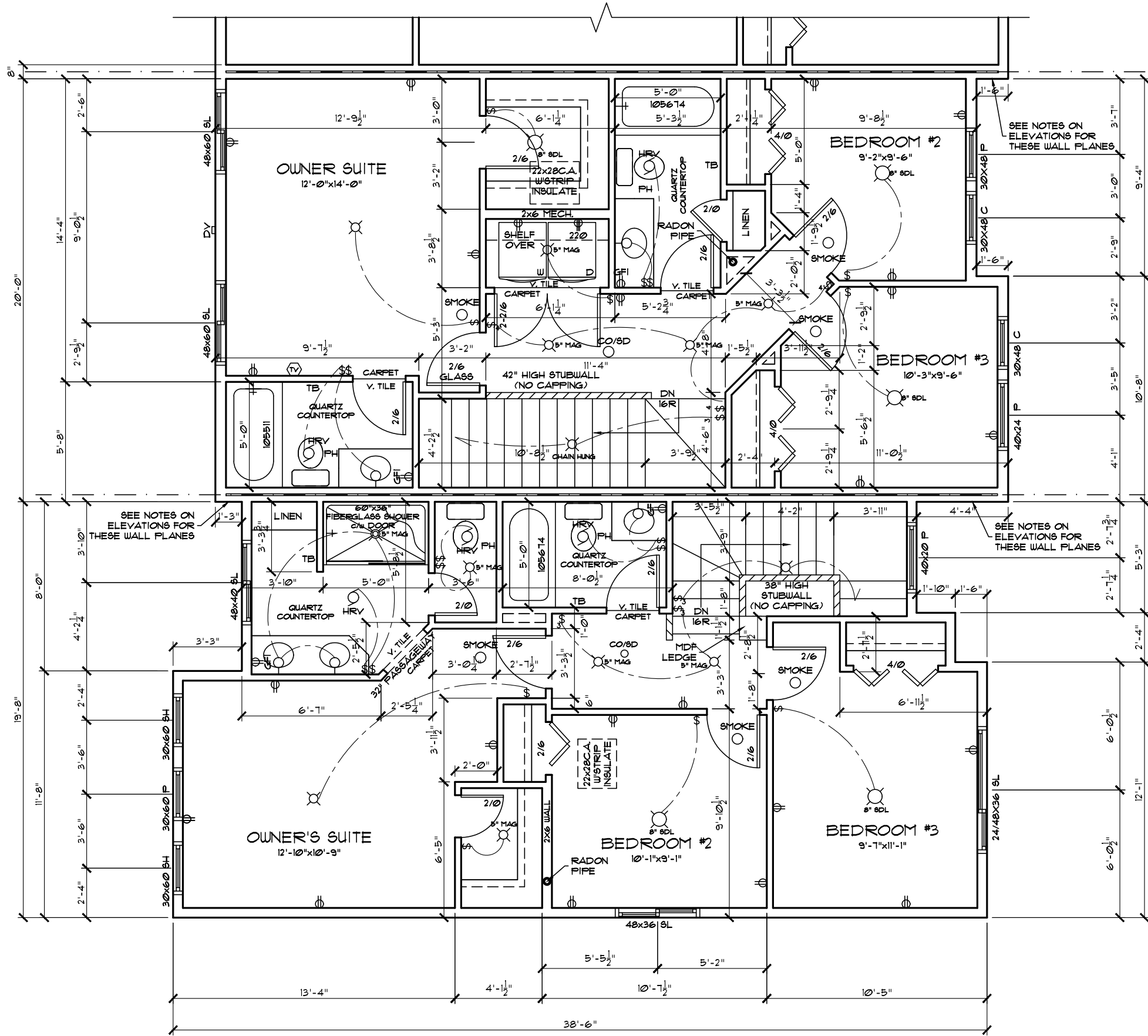
PARTIAL MAIN FLOOR PLAN

UNIT - BRISTOL (R)
JOB# 57114
5235 - 22 AVENUE SW

UNIT - CALDER (R)
JOB# 57113
5233 - 22 AVENUE SW



Model: BRISTOL-CALDER 4 (CR-ILL) (SHELL4BC-CR)		Page
Address: 5229, 5231, 5233 & 5235 - 22 AVENUE SW EDMONTON, AB		10
Job #: 57111, 57112, 57113 & 57114		17
Date: May 24, 2022		
Scale: 3/16" = 1'-0"		
Main: 104 sq.ft. UNIT - BRISTOL (L) 618 sq.ft. UNIT - CALDER (R) 618 sq.ft. UNIT - CALDER (L) 104 sq.ft. UNIT - BRISTOL (R)		PACESETTER DESIGN SERIES
Upper: 652 sq.ft. UNIT - BRISTOL (L) 610 sq.ft. UNIT - CALDER (R) 652 sq.ft. UNIT - CALDER (L) 652 sq.ft. UNIT - BRISTOL (R)		
Total: 1356 sq.ft. UNIT - BRISTOL (L) 1348 sq.ft. UNIT - CALDER (R) 1348 sq.ft. UNIT - CALDER (L) 1356 sq.ft. UNIT - BRISTOL (R)		
Drawn By: Sophat Vith		
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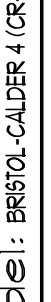


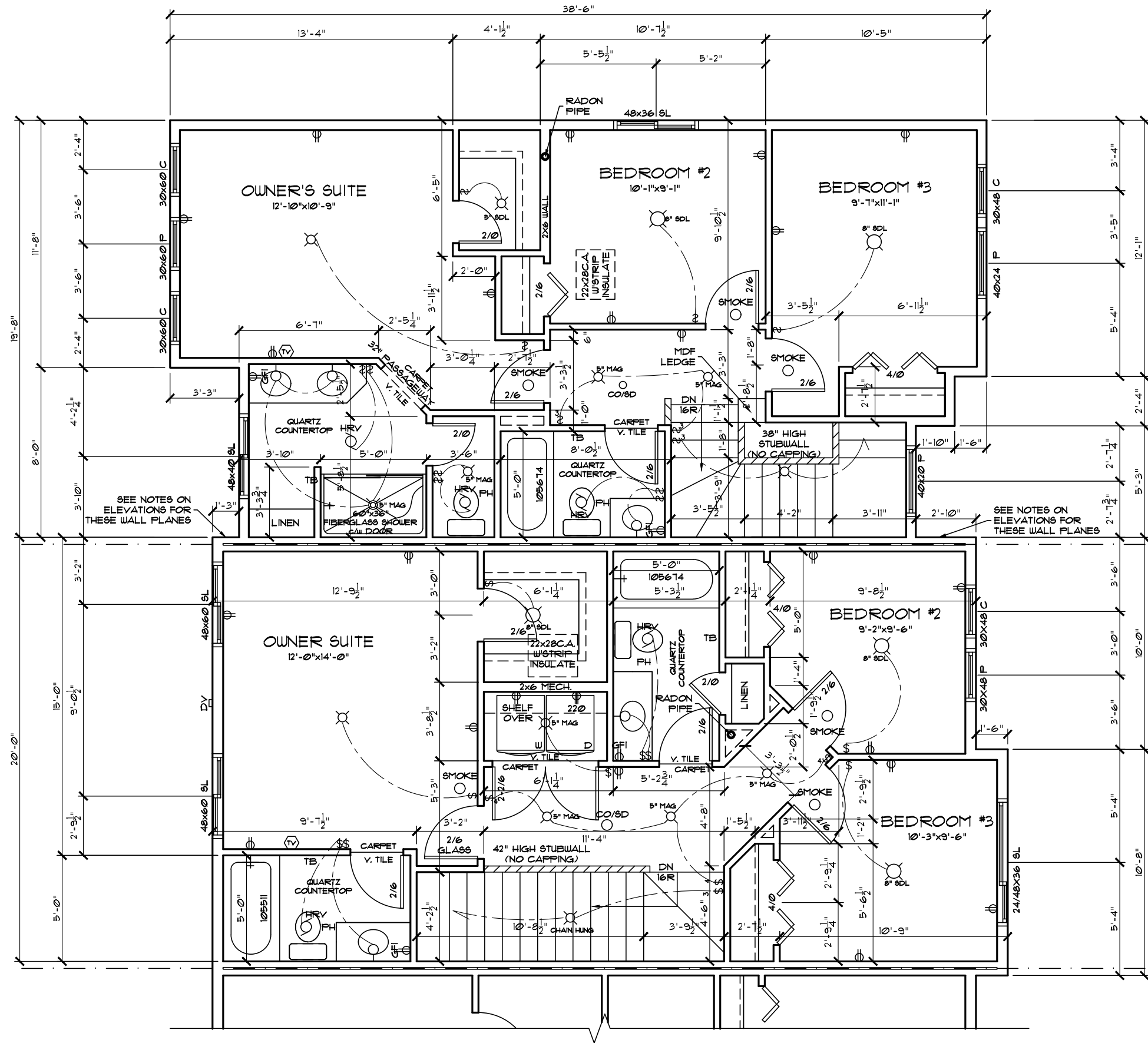
PARTIAL UPPER FLOOR PLAN

UNIT - CALDER (L)
JOB# 57112
5231 - 22 AVENUE SW

UNIT - BRISTOL (L)
JOB# 57111
5229 - 22 AVENUE SW

LEGEND			
	CEILING LIGHT		WALL LIGHT
	ELEC. PLUG		SMOKE DETECTOR
	220V PLUG		SD/CO DETECTOR
	USB PAIRED PLUG		VAC. ROUGH IN
	TELEPHONE		BATHROOM FAN
	TV/CAT5E		CHIME
	THERMOSTAT		SINGLE SWITCH
	3 WAY SWITCH		OTTO SWITCH
	WEEPING TILE		ELEC. WIRING
	TEE		SPEAKER
	GAS METER		
ELECTRICAL LOCATIONS SUBJECT TO CHANGE AS REQUIRED BY CODE			

Address: 5229, 5231, 5233 & 5235 - 22 AVENUE SW EDMONTON, AB 13, 14, 15 & 16 / 9 / 152 5734		Model: BRISTOL-CALDER 4 (CR-ILL) (SHELL 4BC-CR)	
Job #: 57111, 57112, 57113 & 57114		Date: May 24, 2022	Page 11
Drawn By: Sophat Vith	Main:		PACESETTER DESIGN SERIES
	Upper:		
	Total:		 A QUALICO Company
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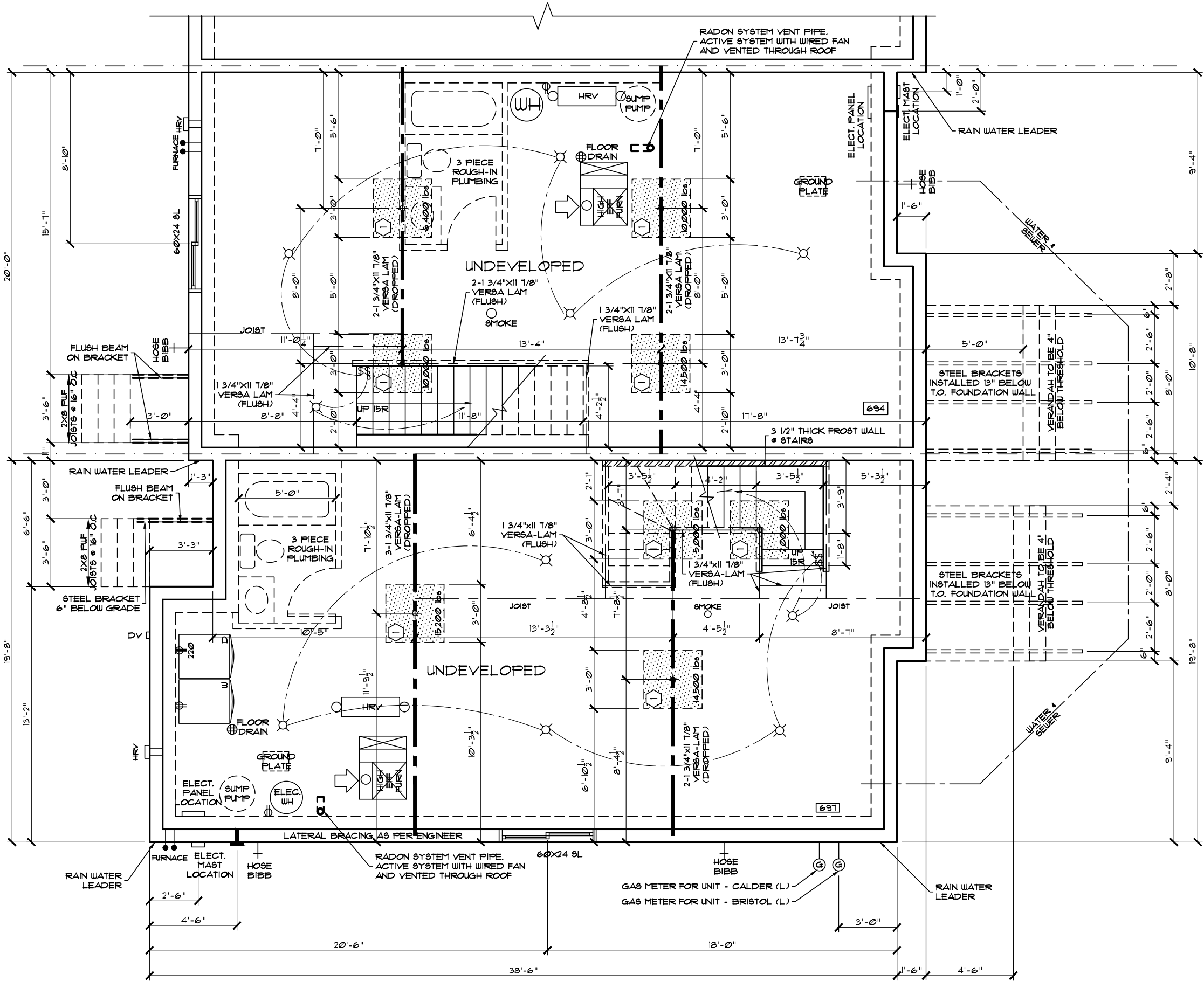
PARTIAL UPPER FLOOR PLAN

UNIT - BRISTOL (R)
JOB# 57114
5235 - 22 AVENUE SW

UNIT - CALDER (R)
JOB# 57113
5233 - 22 AVENUE SW

LEGEND			
	CEILING LIGHT		WALL LIGHT
	ELEC. PLUG		SMOKE DETECTOR
	220V PLUG		SD/CO DETECTOR
	USB PAIRED PLUG		VAC. ROUGH IN
	TELEPHONE		BATHROOM FAN
	TV/CAT5E		CHIME
	THERMOSTAT		SINGLE SWITCH
	3 WAY SWITCH		OTTO SWITCH
	WEEPING TILE		ELEC. WIRING
	TEE		SPEAKER
	GAS METER		
ELECTRICAL LOCATIONS SUBJECT TO CHANGE AS REQUIRED BY CODE			

Address: 5229, 5231, 5233 & 5235 - 22 AVENUE SW EDMONTON, AB 13, 14, 15 & 16 / 9 / 152 5T34		Model: BRISTOL-CALDER 4 (CR-ILL) (SHELL 4BC-CR)	
Job #: 57111, 57112, 57113 & 57114		Date: May 24, 2022	Page 12
Drawn By: Sophat Vith	Main:		PACESETTER DESIGN SERIES
	Upper:		
	Total:		
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		 A QUALICO Company	



UNIT - CALDER (L)
JOB# 57112
5231 - 22 AVENUE SW

UNIT - BRISTOL (L)
JOB# 57114
5229 - 22 AVENUE SW

**PARTIAL
FOUNDATION
PLAN**

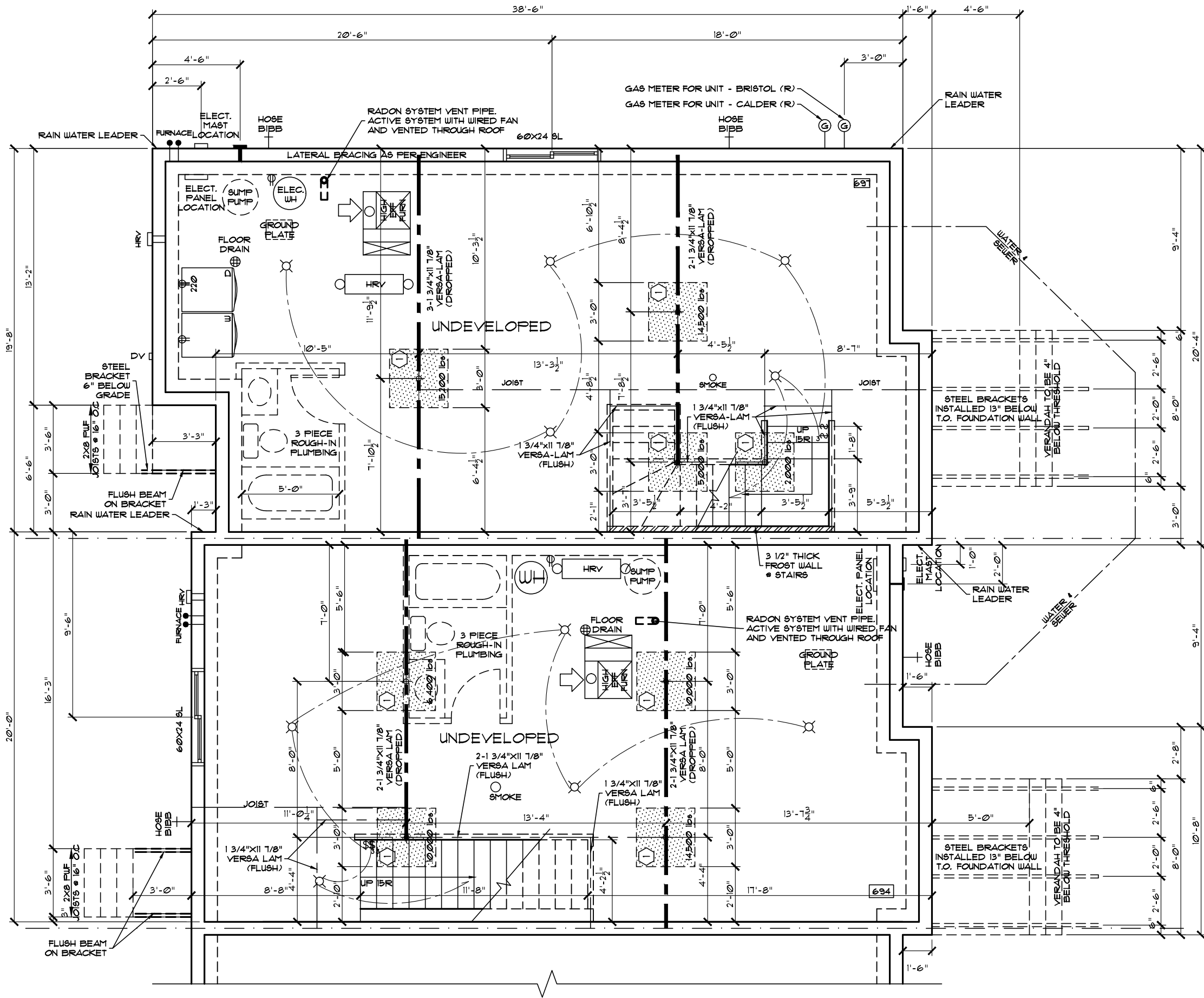
**** ALL FROST WALLS TO BE **
8" THICK INCLUDING AIR GAP**

(UNLESS NOTED OTHERWISE)

	MAXIMUM CAPACITY # 8"5" EXT.	CONC. PAD DIMENSIONS (l x w x d)	AMOUNT & SIZE OF REBAR
1	16,875 LBS	36"x36"x10"	5-10 M
2	20,810 LBS	40"x40"x10"	6-10 M
3	28,160 LBS	46"x46"x10"	6-10 M
4	37,120 LBS	54"x54"x11"	8-10 M

REBAR TO BE EQUALLY SPACED
ALONG LENGTH & WIDTH OF PAD

PAD LEGEND
(BASED ON WESURE COLUMNS)



UNIT - BRISTOL (R)
JOB# 57114
5235 - 22 AVENUE SW

PARTIAL
FOUNDATION
PLAN

UNIT - CALDER (R)
JOB# 57113
5233 - 22 AVENUE SW

	MAXIMUM CAPACITY • 8"5" EXT.	CONC. PAD DIMENSIONS (l x w x d)	AMOUNT & SIZE OF REBAR
1	16,875 LBS	36"x36"x10"	5-10 M
2	20,810 LBS	40"x40"x10"	6-10 M
3	28,160 LBS	46"x46"x10"	6-10 M
4	37,120 LBS	54"x54"x11"	8-10 M

REBAR TO BE EQUALLY SPACED
ALONG LENGTH & WIDTH OF PAD

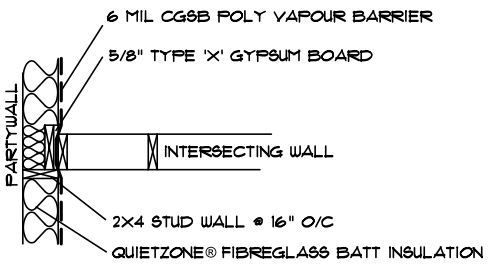
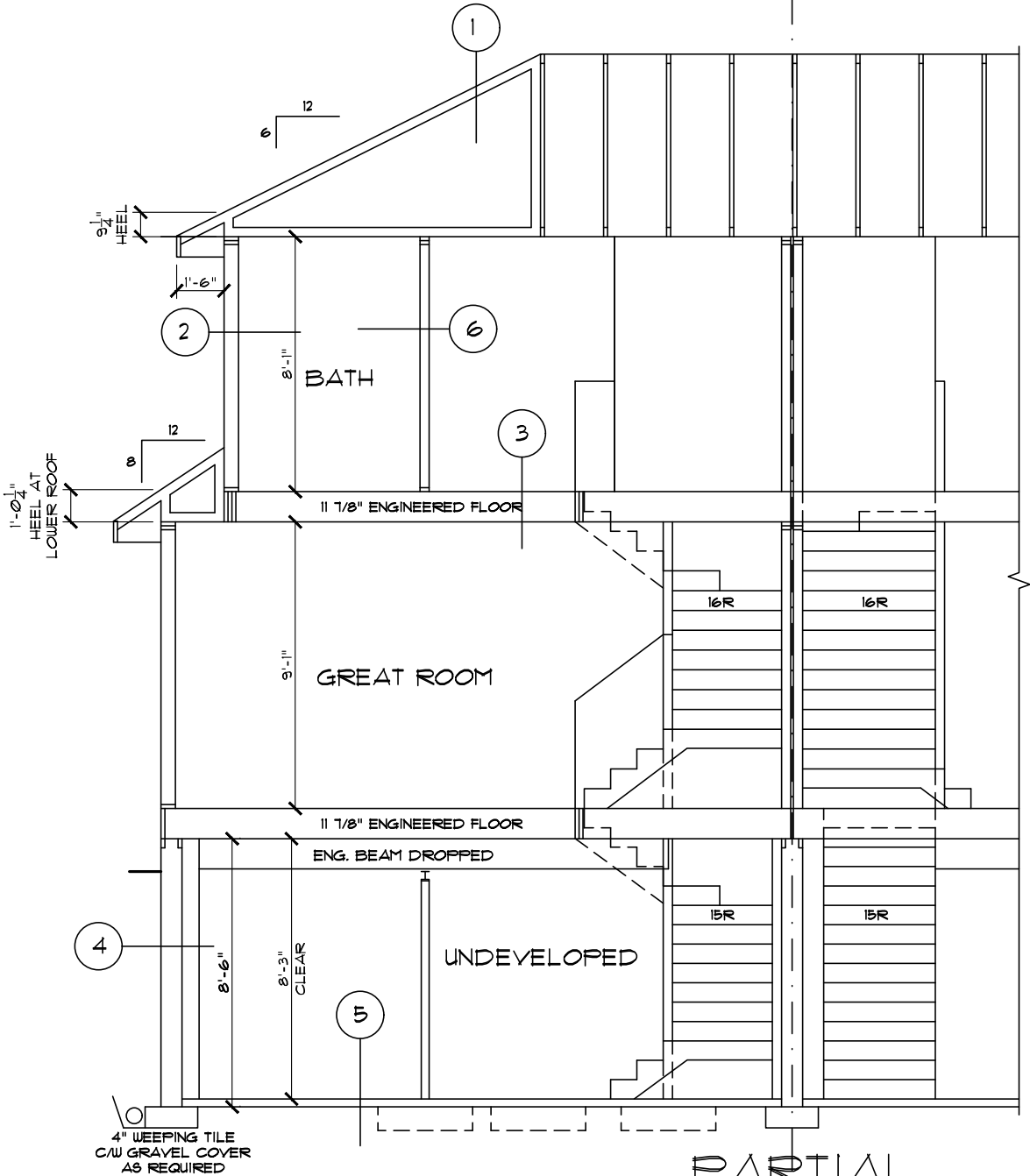
PAD LEGEND
(BASED ON WEISURE COLUMNS)

**** ALL FROST WALLS TO BE ****
8" THICK INCLUDING AIR GAP

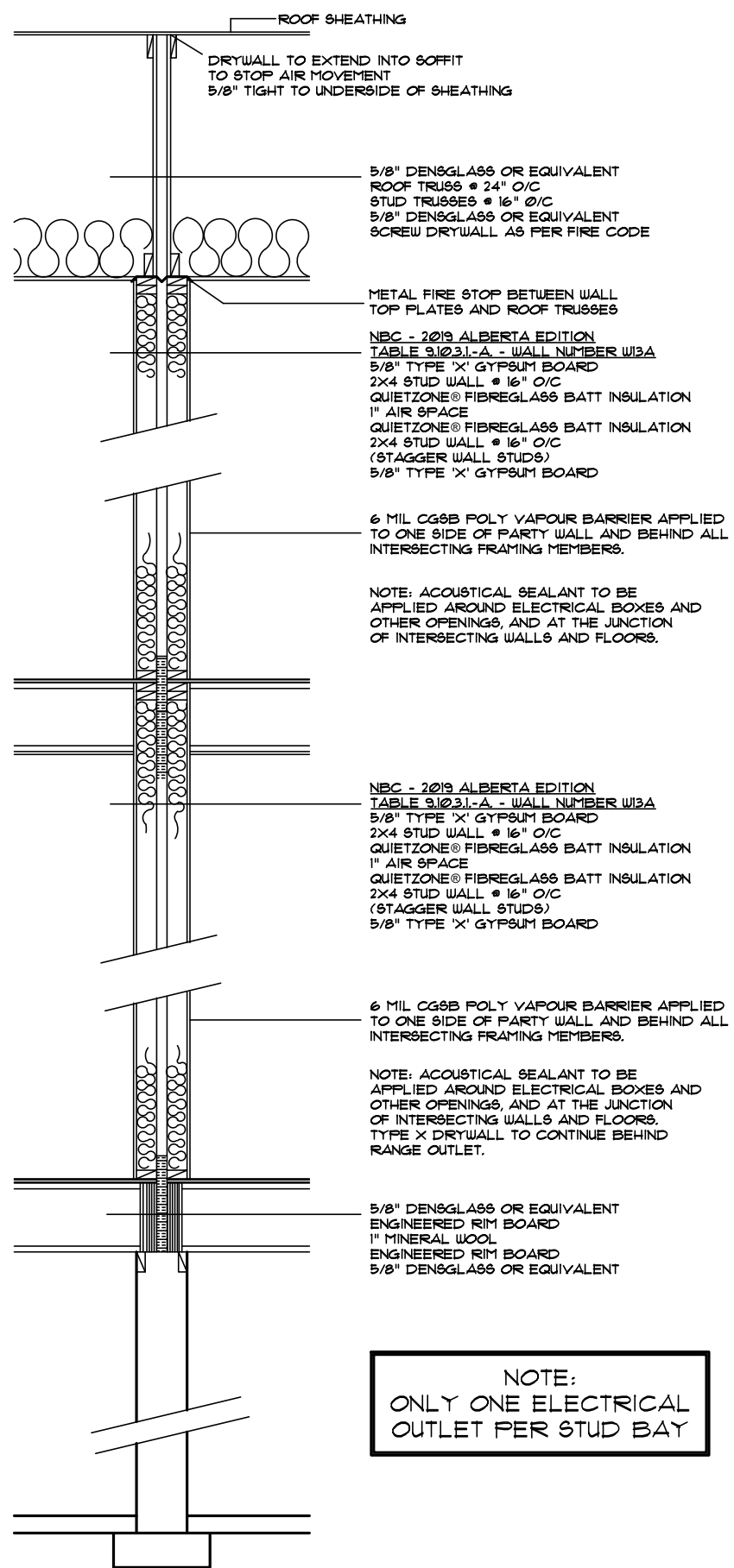
(UNLESS NOTED OTHERWISE)

Address: 5229, 5231, 5233 & 5235 - 22 AVENUE SW EDMONTON, AB 13, 14, 15 & 16 / 9 / 152 5734	Model: BRISTOL-CALDER 4 (CR-ILL) (SHELL4BC-CR)	
	Date: May 24, 2022	Page 14
Job #: 57111, 57112, 57113 & 57114	PACESETTER DESIGN SERIES	
	 Pacesetter HOMES A QUALICO Company	
Drawn By: Sophat Vith	Main:	104 Sq.Ft. UNIT - BRISTOL (L) 618 Sq.Ft. UNIT - CALDER (R) 618 Sq.Ft. UNIT - CALDER (L) 104 Sq.Ft. UNIT - BRISTOL (R)
	Upper:	652 Sq.Ft. UNIT - BRISTOL (L) 610 Sq.Ft. UNIT - CALDER (R) 1356 Sq.Ft. UNIT - CALDER (L) 652 Sq.Ft. UNIT - BRISTOL (R)
	Total:	1356 Sq.Ft. UNIT - BRISTOL (L) 1348 Sq.Ft. UNIT - CALDER (R) 1348 Sq.Ft. UNIT - CALDER (L) 1356 Sq.Ft. UNIT - BRISTOL (R)
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** REFER TO PAGE 16 FOR KEYNOTES **

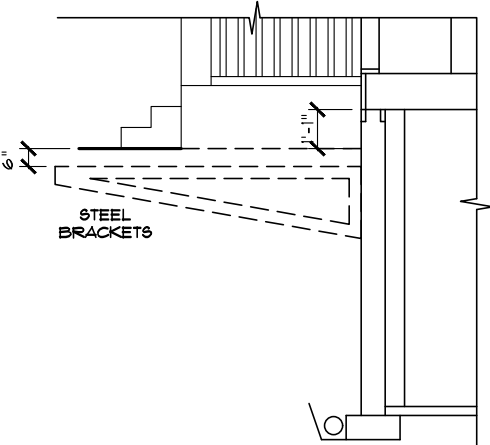


INTERSECTING WALL @ PARTY WALL DETAIL



NOTE:
ONLY ONE ELECTRICAL
OUTLET PER STUD BAY

PARTY WALL DETAIL



- NOTES
- TRADES ARE RESPONSIBLE FOR CHECKING ALL DIMENSIONS & NOTES AND REPORTING ANY DISCREPANCIES TO THE DESIGNER PRIOR TO CONSTRUCTION.
 - ALL LOADBEARING LINTELS TO BE 2-2x10 #2 SPRUCE UNLESS NOTED OTHERWISE
 - FINAL EXTERIOR GRADES MAY VARY
 - WINDOW AND DOOR SIZES SHOWN ARE APPROXIMATE ONLY. EXACT ROUGH OPENINGS TO BE SUPPLIED BY MANUFACTURER PRIOR TO CONSTRUCTION.
 - MECHANICAL LAYOUT AND SPECS. SUPPLIED BY OTHERS.
 - ROOF SHALL BE VENTED WITH AN UNOBSTRUCTED VENT AREA OF NOT LESS THAN 1/300 OF THE CEILING AREA.
 - ALL EXTERIOR WALLS WHERE MONO TRUSSES ARE ATTACHED SHALL BE SEALED & PAPERED BEFORE INSTALLING TRUSSES
 - THE AREAS REQUIRING VENTILATION WITHIN THE ROOF SPACE OR ATTIC SHALL CONFORM TO NBC - 2019 ALERTA EDITION 9.19.1.
 - ATTIC ACCESS TO BE WEATHERSTRIPPED & INSULATED AS PER NBC - 2019 ALERTA EDITION 9.19.2.1.
 - STEP FOOTING FOR WALKOUTS SHALL BE MAX. RISE 24" & MINIMUM HORIZONTAL DISTANCE OF 24" AS PER NBC - 2019 ALERTA EDITION 9.15.8.3.
 - COMBUSTION AIR SHALL BE PROVIDED FOR FIREPLACE AS PER NBC - 2019 ALERTA EDITION 9.22.1.4.
 - SMOKE ALARMS TO CONFORM TO NBC - 2019 ALERTA EDITION 9.13.4.
 - IF WEEPING TILE IS REQUIRED SLAB ON GROUND SHALL BE DAMPROOFED AS PER NBC - 2019 ALERTA EDITION 9.13.4.
 - EXACT LOCATION OF MECHANICAL, ELECTRICAL, AND PLUMBING EQUIPMENT SUBJECT TO CHANGE DUE TO SITE CONDITIONS.
 - GARAGE ENTRY STAIRS MAY VARY IN NUMBER OF RISERS AND LOCATION DUE TO SITE CONDITIONS
 - ELEVATIONS, FLOOR LAYOUT AND ROOM DIMENSIONS ARE SUBJECT TO CHANGE DUE TO SITE CONDITIONS
 - DRIVEWAYS, SIDEWALKS, AND PARKING PADS SUBJECT TO CHANGE DUE TO SITE CONDITIONS

Address: 5229, 5231, 5233 & 5235 - 22 AVENUE SW EDMONTON, AB 13, 14, 15 & 16 / 9 / 152 5734		Model: BRISTOL-CALDER 4 (CR-ILL) (SHELL4BC-CR)	
Job #: 57111, 57112, 57113 & 57114		Date: May 24, 2022	
Drawn By: Sophat Vith		Page	
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		Main: 104 Sq.Ft. UNIT - BRISTOL (L) 618 Sq.Ft. UNIT - CALDER (R) 618 Sq.Ft. UNIT - CALDER (L) 104 Sq.Ft. UNIT - BRISTOL (R)	
		Upper: 652 Sq.Ft. UNIT - BRISTOL (L) 610 Sq.Ft. UNIT - CALDER (R) 652 Sq.Ft. UNIT - CALDER (L) 1348 Sq.Ft. UNIT - BRISTOL (R)	
		Total: 1356 Sq.Ft. UNIT - BRISTOL (L) 1348 Sq.Ft. UNIT - CALDER (R) 1348 Sq.Ft. UNIT - CALDER (L) 1356 Sq.Ft. UNIT - BRISTOL (R)	
		PACESETTER DESIGN SERIES	
		 A QUALICO Company	
		15	
		17	

PACESETTER DESIGN SERIES
(EFFECTIVE THERMAL RESISTANCE OF ASSEMBLIES)

1 ROOF ASSEMBLIES

UPPER FLOOR ROOF (6.90 RSI)
ASPHALT SHINGLES
3/8" O.S.B. SHEATHING c/w 'H'CLIPS
ENGINEERED WOOD TRUSSES #24" o/c
R-40 LOOSE FILL INSULATION
6 mil CGSB POLY VAPOR BARRIER
1/2" C.D. DRYWALL

UPPER FLOOR VAULTED CEILING (4.06 RSI)
IF REQUIRED AS PER PLANS
ASPHALT SHINGLES
3/8" O.S.B. SHEATHING c/w 'H'CLIPS
ENGINEERED WOOD TRUSSES #24" o/c
R-40 BATT INSULATION
6 mil CGSB POLY VAPOR BARRIER
1/2" C.D. DRYWALL

2 EXTERIOR WALL ASSEMBLIES

STANDARD EXTERIOR WALL (2.11 RSI)
INCLUDES EXTERIOR WALLS OF ATTACHED GARAGE, IF APPLICABLE
EXTERIOR CLADDING AS PER PLAN
BUILDING PAPER (AS REQ'D)
3/8" O.S.B. SHEATHING
2x6 STUDS # 24" o/c
R-20 BATT INSULATION
6 mil CGSB POLY VAPOR BARRIER
1/2" DRYWALL

EXTERIOR TALL WALL (2.63 RSI)
IF REQUIRED AS PER PLANS
EXTERIOR CLADDING AS PER PLAN
BUILDING PAPER (AS REQ'D)
3/8" O.S.B. SHEATHING (1/2" DENSGLASS OR EQUIVALENT FOR ZLL)
2x6 STUDS AS PER ENGINEER'S DETAIL
R-20 BATT INSULATION
6 mil CGSB POLY VAPOR BARRIER
1/2" DRYWALL

ATTACHED GARAGE/HOUSE WALL (2.85 RSI)
IF REQUIRED AS PER PLANS
1/2" DRYWALL (FIRE TAPED)
3/8" O.S.B. SHEATHING
2x6 STUDS # 24" o/c
R-20 BATT INSULATION
6 mil CGSB POLY VAPOR BARRIER
1/2" DRYWALL

EXTERIOR CANTILEVERED WALL (2.10 RSI)
WITHIN 12m SIDE YARD SETBACK
IF REQUIRED AS PER PLANS
EXTERIOR CLADDING AS PER PLAN
BUILDING PAPER (AS REQ'D)
5/8" DENSGLASS OR EQUIVALENT
2x6 STUDS AT 24" o/c
R-20 BATT INSULATION
6 mil CGSB POLY VAPOR BARRIER
1/2" DRYWALL

3 FLOOR ASSEMBLIES

INTERIOR FLOOR (N/A RSI)
FLOOR FINISH AS SPECIFIED
3/8" U-LAY IN LINO AREAS
23/32" T&G OSB SUBFLOOR GLUED AND SCREWED
ENGINEERED WOOD JOISTS AS PER MANUFACTURER

FLOOR OVER UNHEATED SPACE (6.61 RSI)
FLOOR FINISH AS SPECIFIED
3/8" U-LAY IN LINO AREAS
23/32" T&G OSB SUBFLOOR GLUED AND SCREWED
6 mil CGSB POLY VAPOR BARRIER
ENGINEERED WOOD JOISTS AS PER MANUFACTURER
R-40 1/2lb OPEN-CELL SPRAY FOAM INSULATION
1/2" DRYWALL

CANTILEVERED MAIN FLOOR (5.10 RSI)
IF REQUIRED AS PER PLANS
FLOOR FINISH AS SPECIFIED
3/8" U-LAY IN LINO AREAS
23/32" T&G OSB SUBFLOOR GLUED AND SCREWED
6 mil CGSB POLY VAPOR BARRIER
ENGINEERED WOOD JOISTS AS PER MANUFACTURER
R-20 2lb CLOSED-CELL SPRAY FOAM INSULATION
3/8" OSB SHEATHING
NON-VENTED METAL SOFFIT

CANTILEVERED UPPER FLOOR (6.19 RSI)
IF REQUIRED AS PER PLANS
FLOOR FINISH AS SPECIFIED
3/8" U-LAY IN LINO AREAS
23/32" T&G OSB SUBFLOOR GLUED AND SCREWED
6 mil CGSB POLY VAPOR BARRIER
ENGINEERED WOOD JOISTS AS PER MANUFACTURER
R-40 2lb CLOSED-CELL SPRAY FOAM INSULATION
3/8" OSB SHEATHING
NON-VENTED METAL SOFFIT

4 BASEMENT WALL ASSEMBLIES

FOUNDATION W/ FROST WALL (2.23 RSI)
UNLESS NOTED OTHERWISE ON PLANS
FARGING ABOVE GRADE
DAMP-PROOFING ON EXTERIOR OF FOUNDATION WALLS (TO COMPLY WITH NBC - 2019 ALBERTA EDITION 9.13.2.3.(2)XaX(111))
8" CONC FOUNDATION WALL C/W 2 ROWS OF 2-#10 BARS
STUDS #24" o/c
R-20 BATT INSULATION
6 mil CGSB POLY VAPOR BARRIER
1/2" DRYWALL (FINISHED AREAS)
18"x 8" CONCRETE STRIP FOOTING OR AS REQUIRED BY ENGINEER'S REPORT
TELEPOST PAD FOOTINGS AS PER PLAN
WINDOWS OVER 48 INCHES IN LENGTH TO BE BRACED AS PER ENGINEER'S DETAIL
OPEN TO BELOW AREA WALLS WILL BE REINFORCED AS PER ENGINEER'S DETAIL

5 BASEMENT FLOOR ASSEMBLY (0.19 RSI)

CUPOLEX CONCRETE FORMS USED AS A BASE BELOW THE BASEMENT CONCRETE SLAB.
REFER TO ENGINEER DETAILS
ACTIVE SUB SLAB DEPRESSURIZATION SYSTEM FOR RADON GAS EXTRACTION
3" CONCRETE SLAB - ALL SEAMS & PENETRATIONS TO BE SEALED WITH FLEXIBLE SEALANT AS PER NBC - 2019 ALBERTA EDITION - 9.25.3.3.(5)

6 INTERIOR WALL ASSEMBLIES (N/A RSI)

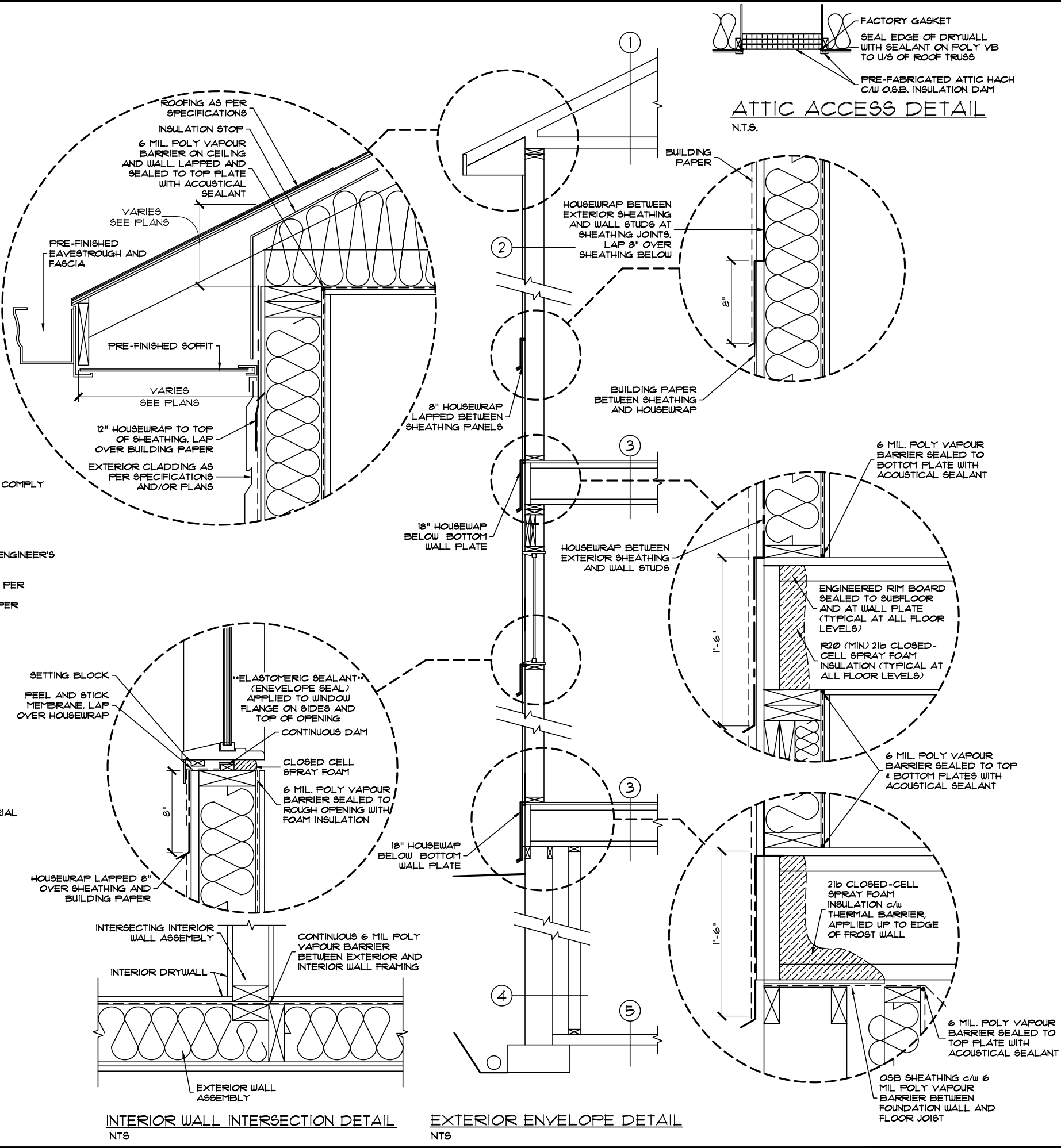
1/2" DRYWALL
2x4" STUDS # 24" O.C. (OR DEEPER STUD IF REQUIRED ON PLANS)
1/2" DRYWALL

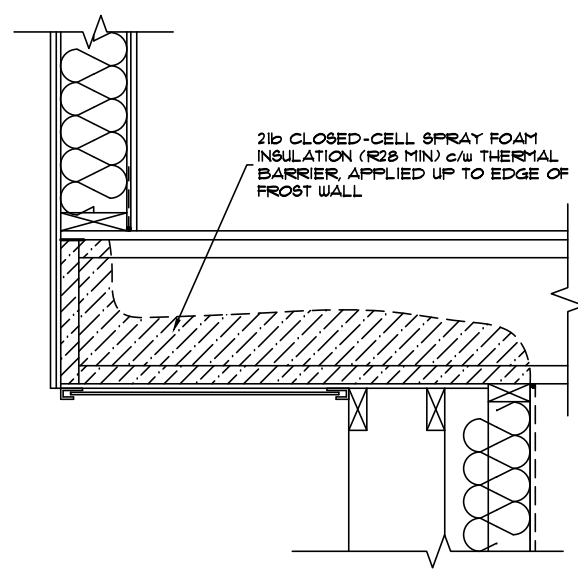
1 RSI VALUE EXCLUDES FINISHED CLADDING
2 RSI VALUE EXCLUDES INTERIOR FINISHED FLOOR MATERIAL

** ALL WINDOWS/DOORS TO BE AS PER U-VALUES BELOW OR LESS **

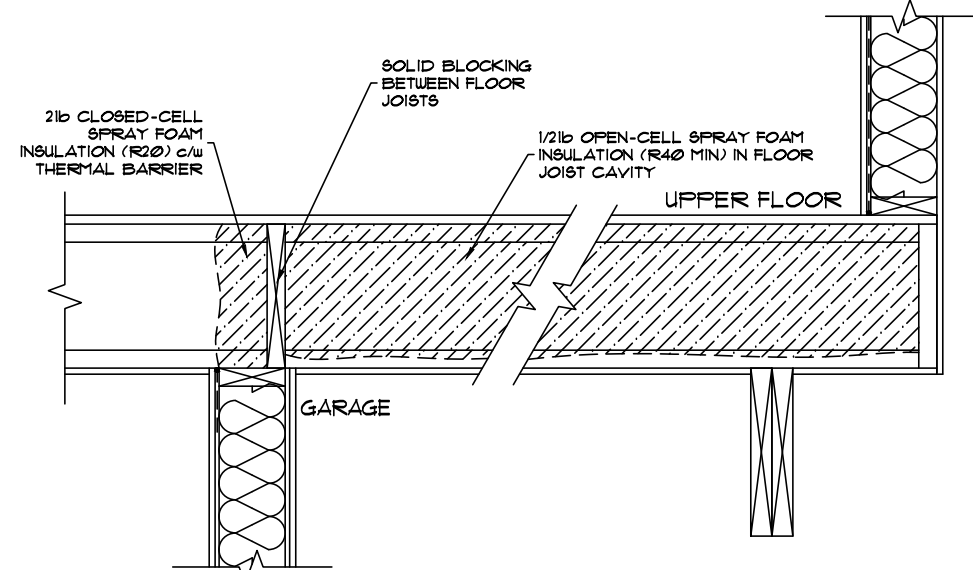
TYPE / OPERATION	GLAZING**	SERIES	U-VALUE (W/m²K)
PICTURE	H82 / H85 W/ ARGON	6500	1.14
SLIDER	H82 / H85 W/ ARGON	6500	1.31
SINGLE HUNG	H82 / H85 W/ ARGON	6500	1.31
CASEMENT	H82 / H85 W/ ARGON	9100	1.19
AWNING	H82 / H85 W/ ARGON	9100	1.19
BASEMENT SLIDER	H82 W/ ARGON	5600	1.31
EXTERIOR DOOR w/ GLAZING	H81 W/ ARGON	--	1.36
EXTERIOR PATIO/GARDEN DOOR w/o GLAZING	H81 W/ ARGON	--	1.48
EXTERIOR DOOR w/o GLAZING	--	--	0.85

**H81 GLAZING=DUAL PANE (CLEAR / LOW-E)
H82 GLAZING=TRIPLE PANE (CLEAR/CLEAR/LOW-E)
H85 GLAZING=TRIPLE PANE (CLEAR/CLEAR/SUNSTOP)

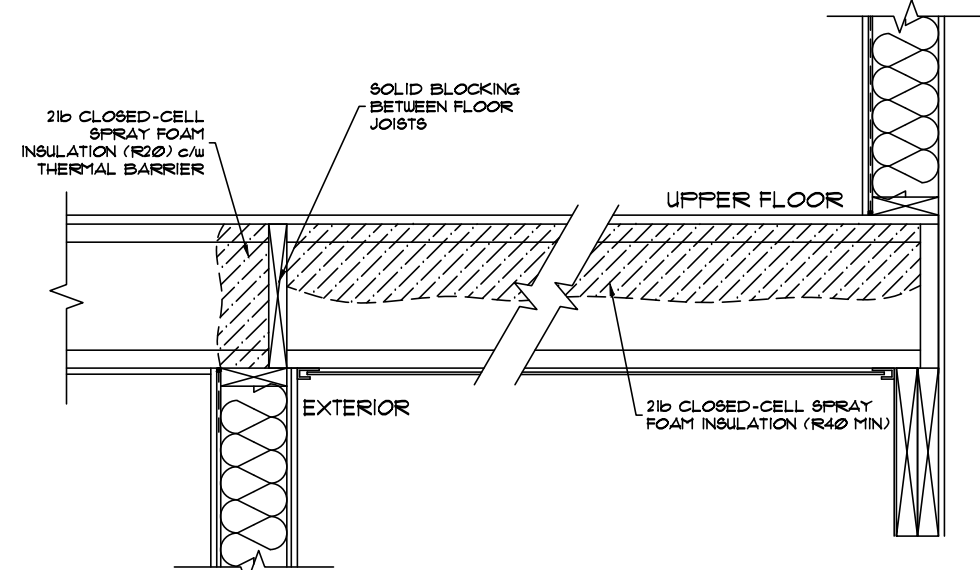




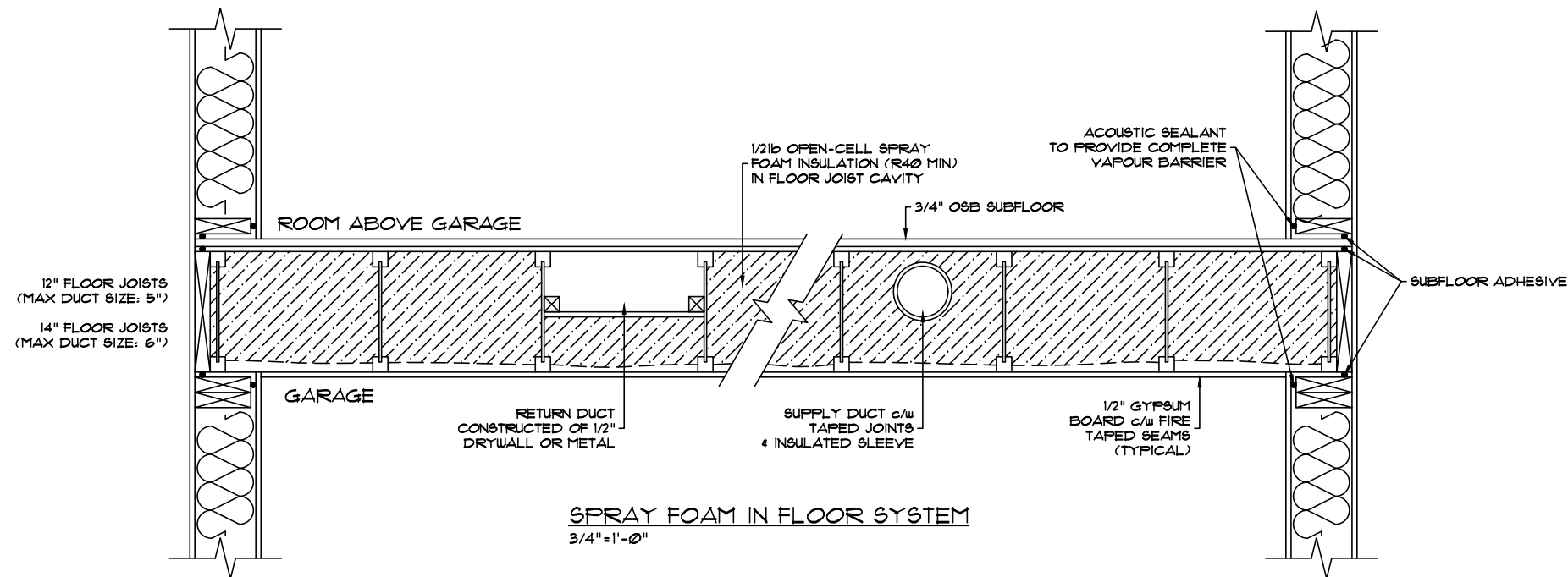
MAIN FLOOR CANTILEVER DETAIL - 3FT OR LESS
3/4"=1'-0"



FLOOR ABOVE UNHEATED SPACE DETAIL
3/4"=1'-0"

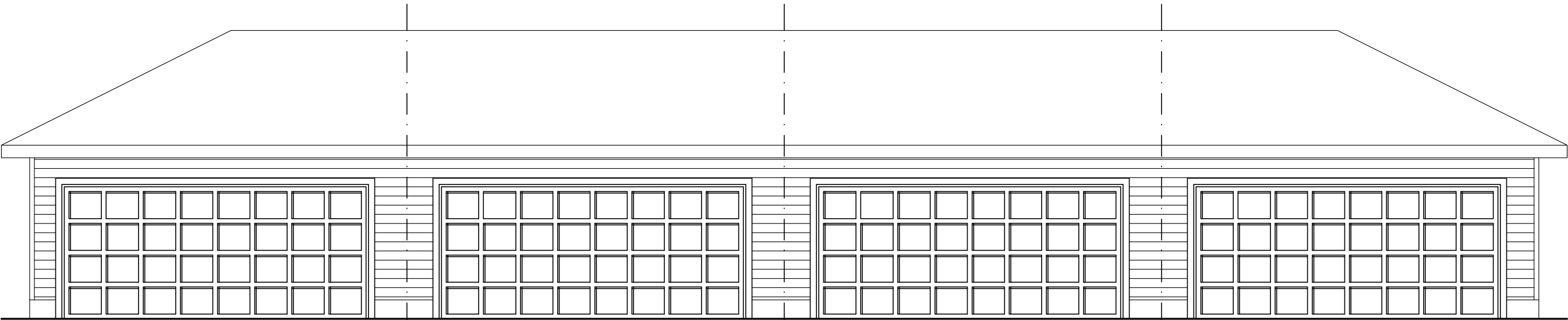


LARGE EXTERIOR OVERHANG DETAIL
3/4"=1'-0"



SPRAY FOAM IN FLOOR SYSTEM
3/4"=1'-0"

Address: 5229, 5231, 5233 & 5235 - 22 AVENUE SW EDMONTON, AB		Model: BRISTOL-CALDER 4 (CR-ILL) (SHELL 4BC-CR)	
Job #: 57111, 57112, 57113 & 57114		Date: May 24, 2022	Page 17
Drawn By: Sophat Vith	SCALE: 3/16"=1'-0"		PACESETTER DESIGN SERIES
	Main:	104 Sq.Ft. UNIT - BRISTOL (L) 618 Sq.Ft. UNIT - CALDER (R) 618 Sq.Ft. UNIT - CALDER (L) 104 Sq.Ft. UNIT - BRISTOL (R)	 A QUALICO Company
	Upper:	652 Sq.Ft. UNIT - BRISTOL (L) 610 Sq.Ft. UNIT - CALDER (R) 1348 Sq.Ft. UNIT - CALDER (L) 652 Sq.Ft. UNIT - BRISTOL (R)	
Total:		1356 Sq.Ft. UNIT - BRISTOL (L) 1348 Sq.Ft. UNIT - CALDER (R) 1348 Sq.Ft. UNIT - CALDER (L) 1356 Sq.Ft. UNIT - BRISTOL (R)	
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UNIT - BRISTOL (R)
JOB# 57114
5235 - 22 AVENUE SW

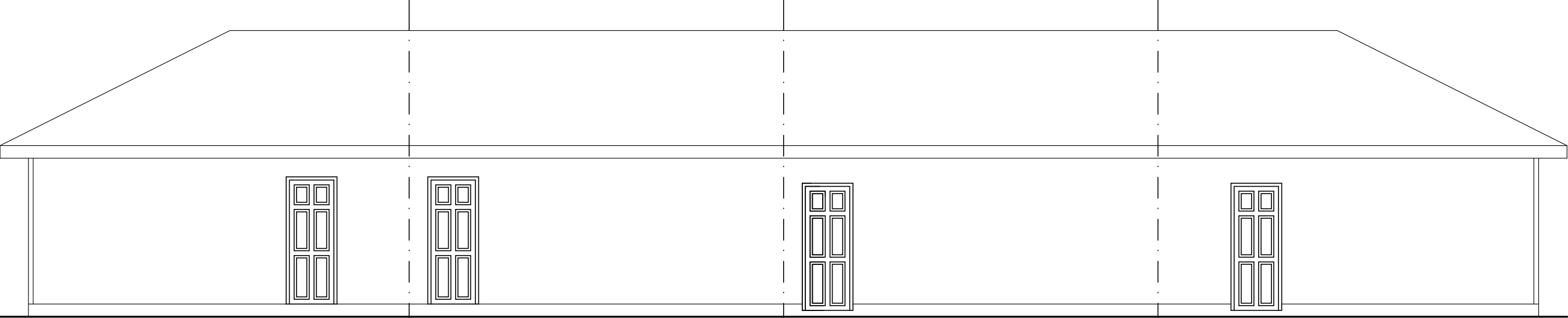
UNIT - CALDER (R)
JOB# 57113
5233 - 22 AVENUE SW

UNIT - CALDER (L)
JOB# 57112
5231 - 22 AVENUE SW

UNIT - BRISTOL (L)
JOB# 57111
5229 - 22 AVENUE SW

OVERALL GARAGE FRONT ELEVATION
(NOT TO SCALE)

Address: 5229, 5231, 5233 & 5235 - 22 AVENUE SW EDMONTON, AB 13, 14, 15 & 16 / 9 / 152 5734		Model: BRISTOL-CALDER 4 (CR-ILL) (SHELL 4BC-CR)	
Job #: 57111, 57112, 57113 & 57114		Date: May 24, 2022	Page 1
Drawn By: Sophat Vith	SCALE: 3/16" = 1'-0"		PACESETTER DESIGN SERIES  A QUALICO Company
	Main:	104 Sq.Ft. UNIT - BRISTOL (L) 618 Sq.Ft. UNIT - CALDER (R) 618 Sq.Ft. UNIT - CALDER (L) 104 Sq.Ft. UNIT - BRISTOL (R)	
	Upper:	652 Sq.Ft. UNIT - BRISTOL (L) 610 Sq.Ft. UNIT - CALDER (R) 610 Sq.Ft. UNIT - CALDER (L) 652 Sq.Ft. UNIT - BRISTOL (R)	
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UNIT - BRISTOL (L)
JOB# 57111
5229 - 22 AVENUE SW

UNIT - CALDER (L)
JOB# 57112
5231 - 22 AVENUE SW

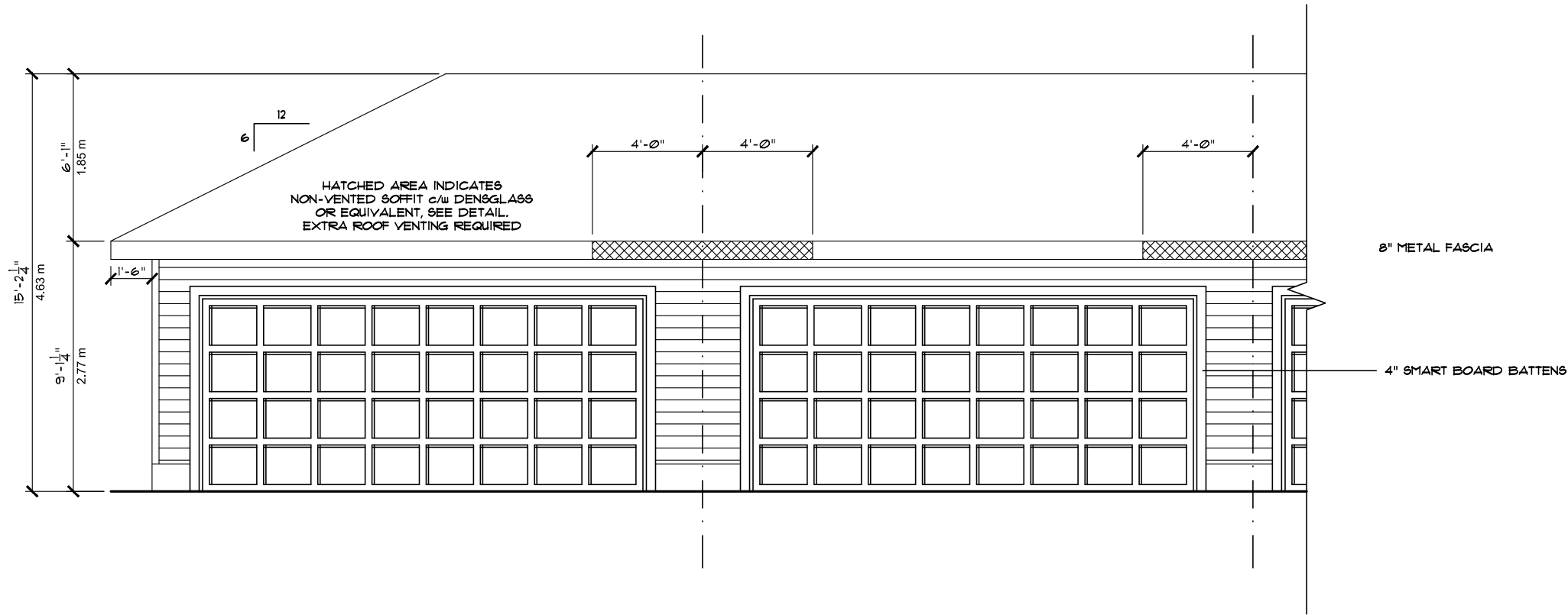
UNIT - CALDER (R)
JOB# 57113
5233 - 22 AVENUE SW

UNIT - BRISTOL (R)
JOB# 57114
5235 - 22 AVENUE SW

OVERALL GARAGE REAR ELEVATION
(NOT TO SCALE)

Address: 5229, 5231, 5233 & 5235 - 22 AVENUE SW EDMONTON, AB 13, 14, 15 & 16 / 9 / 152 5734		Model: BRISTOL-CALDER 4 (CR-ILL) (SHELL4BC-CR)	
Job #: 57111, 57112, 57113 & 57114		Date: May 24, 2022	Page 2
Drawn By: Sophat Vith	Main:		PACESETTER DESIGN SERIES
	Upper:		
	Total:		
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		104 Sq.Ft. UNIT - BRISTOL (L) 618 Sq.Ft. UNIT - CALDER (L)	618 Sq.Ft. UNIT - CALDER (R) 104 Sq.Ft. UNIT - BRISTOL (R)
		652 Sq.Ft. UNIT - BRISTOL (L) 610 Sq.Ft. UNIT - CALDER (L)	610 Sq.Ft. UNIT - CALDER (R) 652 Sq.Ft. UNIT - BRISTOL (R)
		1356 Sq.Ft. UNIT - BRISTOL (L) 1348 Sq.Ft. UNIT - CALDER (L)	1348 Sq.Ft. UNIT - CALDER (R) 1356 Sq.Ft. UNIT - BRISTOL (R)
			
		A QUALICO Company	

NOTE!
1. FLASHING IS TO BE INSTALLED
AT ALL APPROPRIATE LOCATIONS
ON ROOF AND ELEVATIONS
(SEE BUILDERS SPECS).

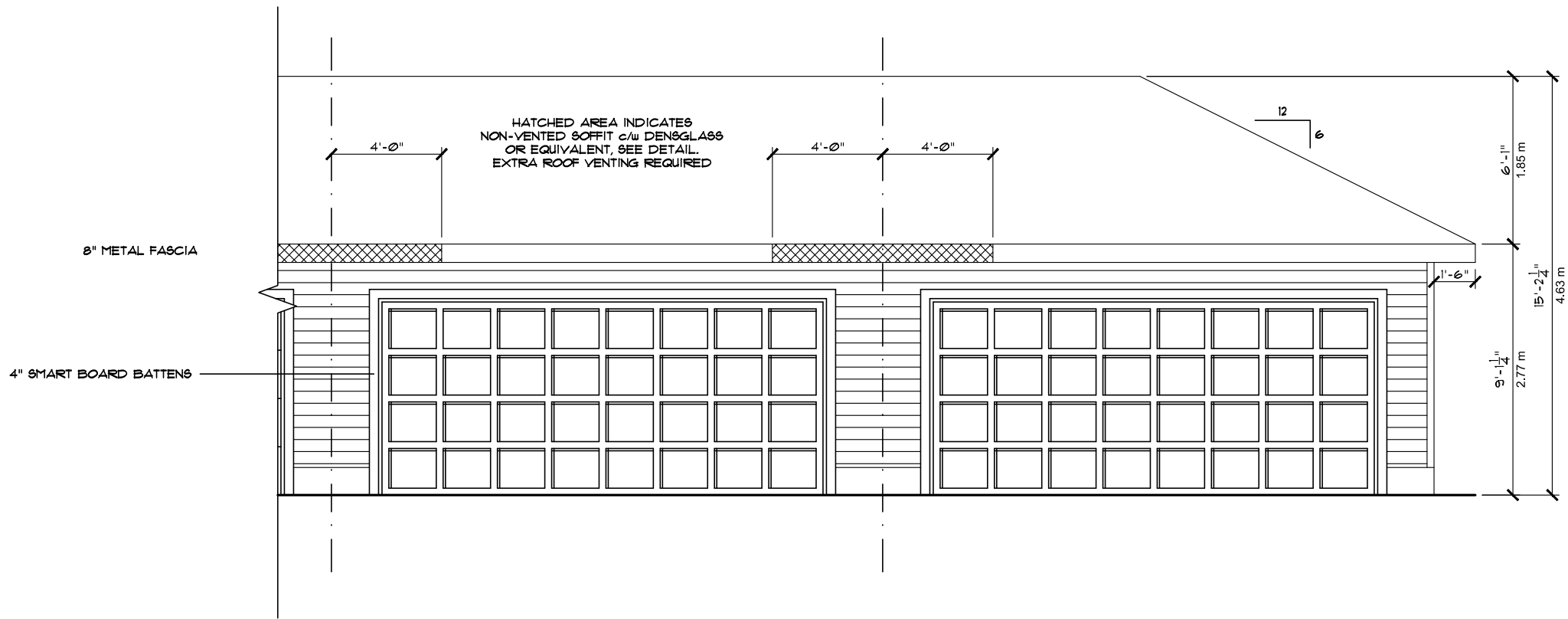


UNIT - BRISTOL (R)
JOB# 57114
5235 - 22 AVENUE SW

UNIT - CALDER (R)
JOB# 57113
5233 - 22 AVENUE SW

PARTIAL GARAGE FRONT ELEVATION

Address: 5229, 5231, 5233 & 5235 - 22 AVENUE SW EDMONTON, AB 13, 14, 15 & 16 / 9 / 152 5734	Model: BRISTOL-CALDER 4 (CR-ILL) (SHELL 4BC-CR)		Page
	Date: May 24, 2022		3
	PACESETTER DESIGN SERIES		10
Drawn By: Sophat Vith	Main:	SCALE: 3/16" = 1'-0"	
	Upper:	PACESETTER HOMES A QUALICO Company	
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PARTIAL GARAGE FRONT ELEVATION

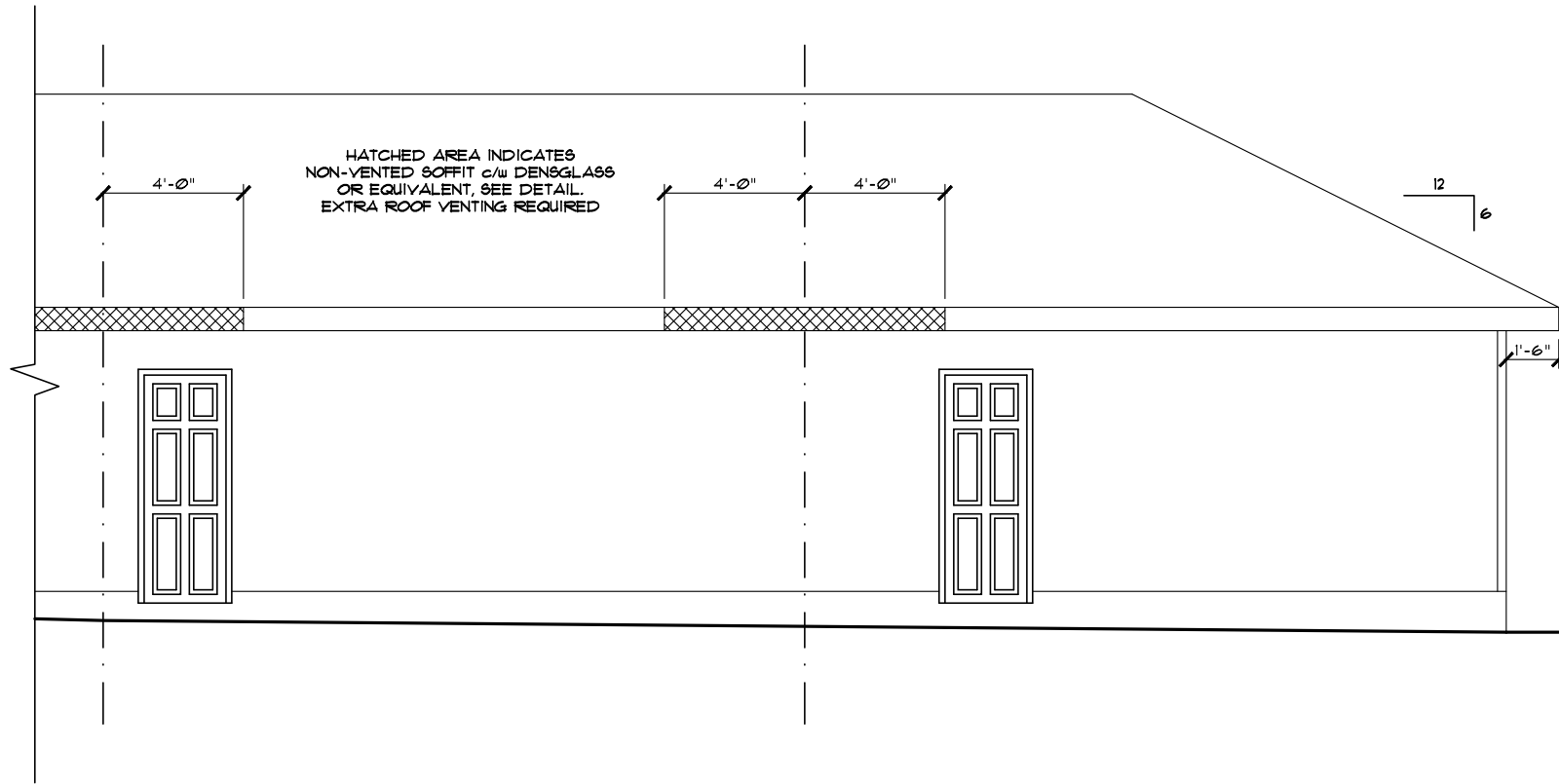
Address: 5229, 5231, 5233 & 5235 - 22 AVENUE SW EDMONTON, AB Job #: 57111, 57112, 57113 & 57114		Model: BRISTOL-CALDER 4 (CR-ILL) (SHELL 4BC-CR)	
Drawn By: Sophat Vith		Date: May 24, 2022	Page 4
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		Main:	104 Sq.Ft. UNIT - BRISTOL (L) 618 Sq.Ft. UNIT - CALDER (R) 618 Sq.Ft. UNIT - CALDER (L) 104 Sq.Ft. UNIT - BRISTOL (R)
		Upper:	652 Sq.Ft. UNIT - BRISTOL (L) 610 Sq.Ft. UNIT - CALDER (R) 610 Sq.Ft. UNIT - CALDER (L) 652 Sq.Ft. UNIT - BRISTOL (R)
		Total:	1356 Sq.Ft. UNIT - BRISTOL (L) 1348 Sq.Ft. UNIT - CALDER (R) 1348 Sq.Ft. UNIT - CALDER (L) 1356 Sq.Ft. UNIT - BRISTOL (R)
		 Pacesetter HOMES A QUALICO Company	



UNIT - CALDER (L)
JOB# 57112
5231 - 22 AVENUE SW

PARTIAL GARAGE REAR ELEVATION

Address: 5229, 5231, 5233 & 5235 - 22 AVENUE SW EDMONTON, AB 13, 14, 15 & 16 / 9 / 152 5134		Model: BRISTOL-CALDER 4 (CR-III) (SHELL4BC-CR)	
Job #: 57111, 57112, 57113 & 57114		Date: May 24, 2022	
Drawn By: Sophat Vith		PACESETTER DESIGN SERIES	
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Main:		5	
104 Sq.Ft. UNIT - BRISTOL (L) 678 Sq.Ft. UNIT - CALDER (R) 678 Sq.Ft. UNIT - CALDER (L) 704 Sq.Ft. UNIT - BRISTOL (R)			
Upper:			
652 Sq.Ft. UNIT - BRISTOL (L) 670 Sq.Ft. UNIT - CALDER (R) 670 Sq.Ft. UNIT - CALDER (L) 652 Sq.Ft. UNIT - BRISTOL (R)			
Total:			
1356 Sq.Ft. UNIT - BRISTOL (L) 1348 Sq.Ft. UNIT - CALDER (R) 1348 Sq.Ft. UNIT - CALDER (L) 1356 Sq.Ft. UNIT - BRISTOL (R)		10	

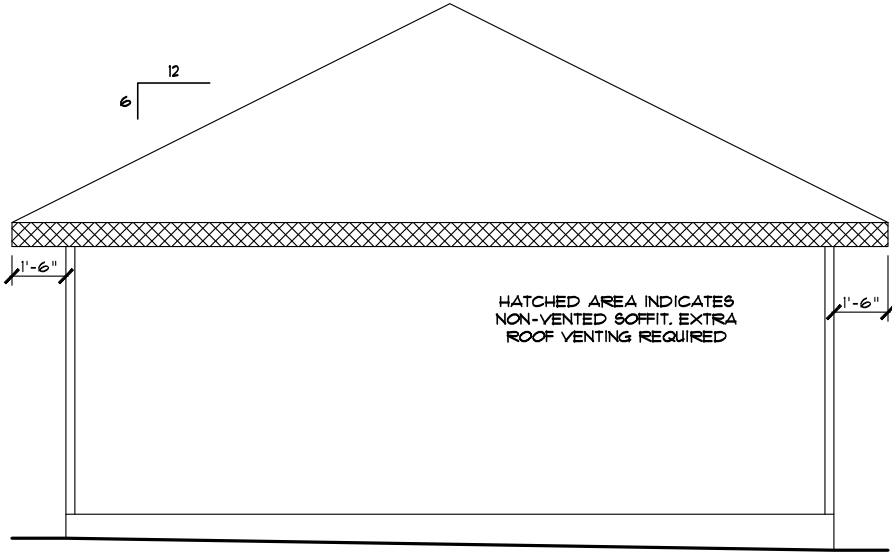


UNIT - CALDER (R)
JOB# 57113
5233 - 22 AVENUE SW

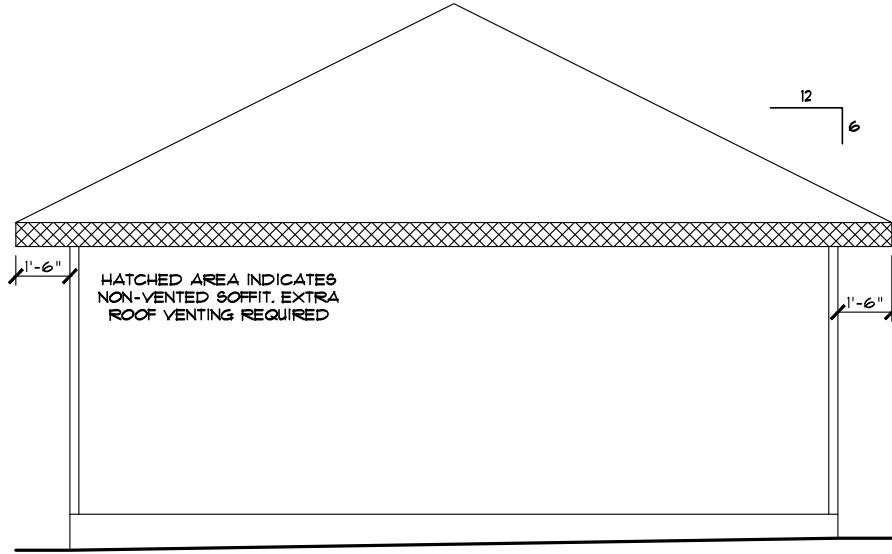
UNIT - BRISTOL (R)
JOB# 57114
5235 - 22 AVENUE SW

PARTIAL GARAGE REAR ELEVATION

Address: 5229, 5231, 5233 & 5235 - 22 AVENUE SW EDMONTON, AB 13, 14, 15 & 16 / 9 / 152 5734		Model: BRISTOL-CALDER 4 (CR-ILL) (SHELL4BC-CR)	
Job #: 57111, 57112, 57113 & 57114		Date: May 24, 2022	Page 6
Drawn By: Sophat Vith	Main:		PACESETTER DESIGN SERIES
	Upper:		
	Total:		
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		104 sq.ft. UNIT - BRISTOL (L) 618 sq.ft. UNIT - CALDER (L)	618 sq.ft. UNIT - CALDER (R) 104 sq.ft. UNIT - BRISTOL (R)
		652 sq.ft. UNIT - BRISTOL (L) 610 sq.ft. UNIT - CALDER (L)	610 sq.ft. UNIT - CALDER (R) 652 sq.ft. UNIT - BRISTOL (R)
		1356 sq.ft. UNIT - BRISTOL (L) 1348 sq.ft. UNIT - CALDER (L)	1348 sq.ft. UNIT - CALDER (R) 1356 sq.ft. UNIT - BRISTOL (R)
		 A QUALICO Company	

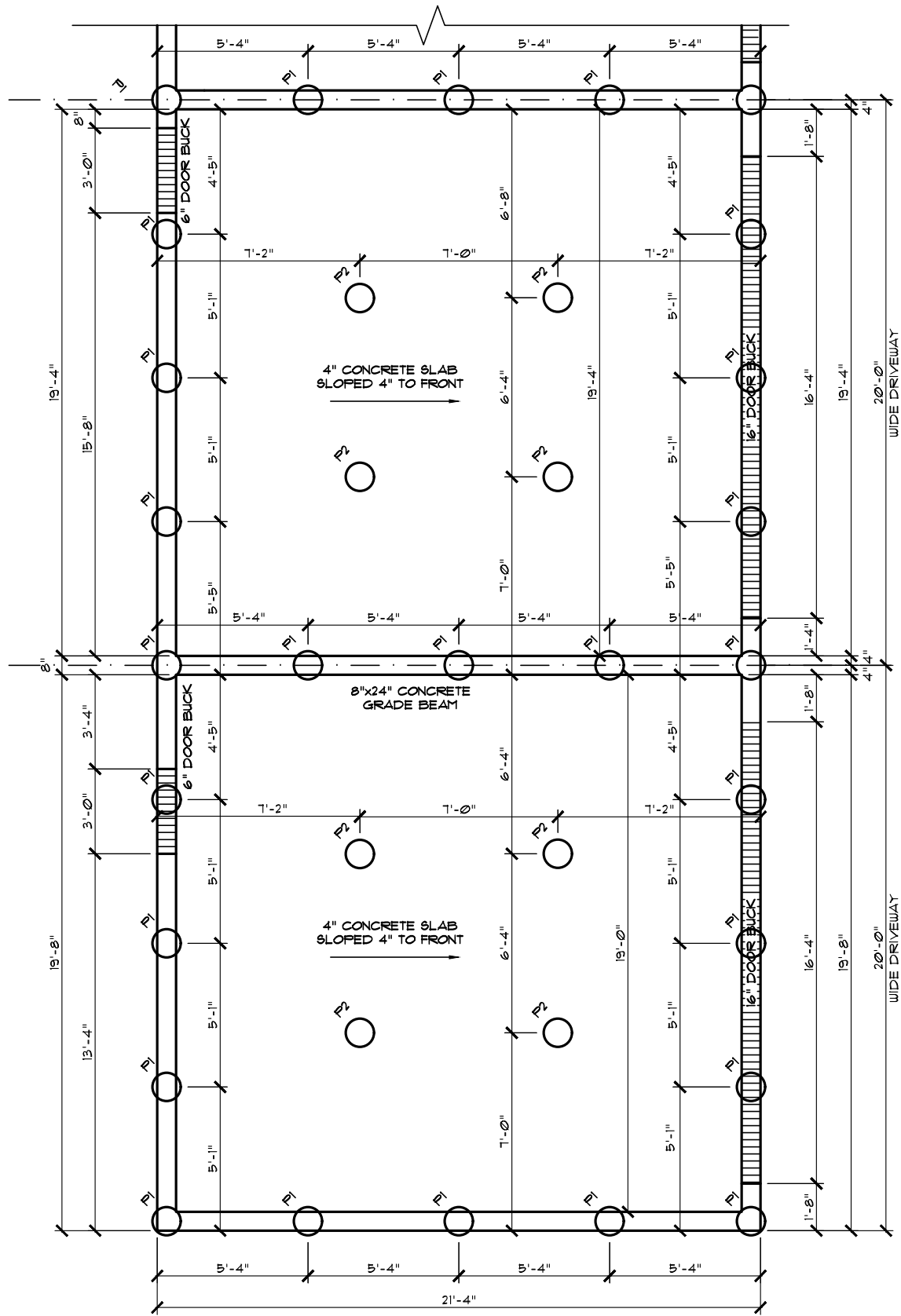


LEFT ELEVATION
(GARAGE)



RIGHT ELEVATION
(GARAGE)

Address: 5229, 5231, 5233 & 5235 - 22 AVENUE SW EDMONTON, AB 13, 14, 15 & 16 / 9 / 152 5734		Model: BRISTOL-CALDER 4 (CR-ILL) (SHELL4BC-CR)	
Job #: 57111, 57112, 57113 & 57114		Date: May 24, 2022	Page 7
Drawn By: Sophat Vith	Main:		PACESETTER DESIGN SERIES
	Upper:		
	Total:		
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		104 sq.ft. UNIT - BRISTOL (L) 618 sq.ft. UNIT - CALDER (R) 618 sq.ft. UNIT - CALDER (L) 104 sq.ft. UNIT - BRISTOL (R)	 A QUALICO Company
		652 sq.ft. UNIT - BRISTOL (L) 610 sq.ft. UNIT - CALDER (R) 610 sq.ft. UNIT - CALDER (L) 652 sq.ft. UNIT - BRISTOL (R)	
		1356 sq.ft. UNIT - BRISTOL (L) 1348 sq.ft. UNIT - CALDER (R) 1348 sq.ft. UNIT - CALDER (L) 1356 sq.ft. UNIT - BRISTOL (R)	



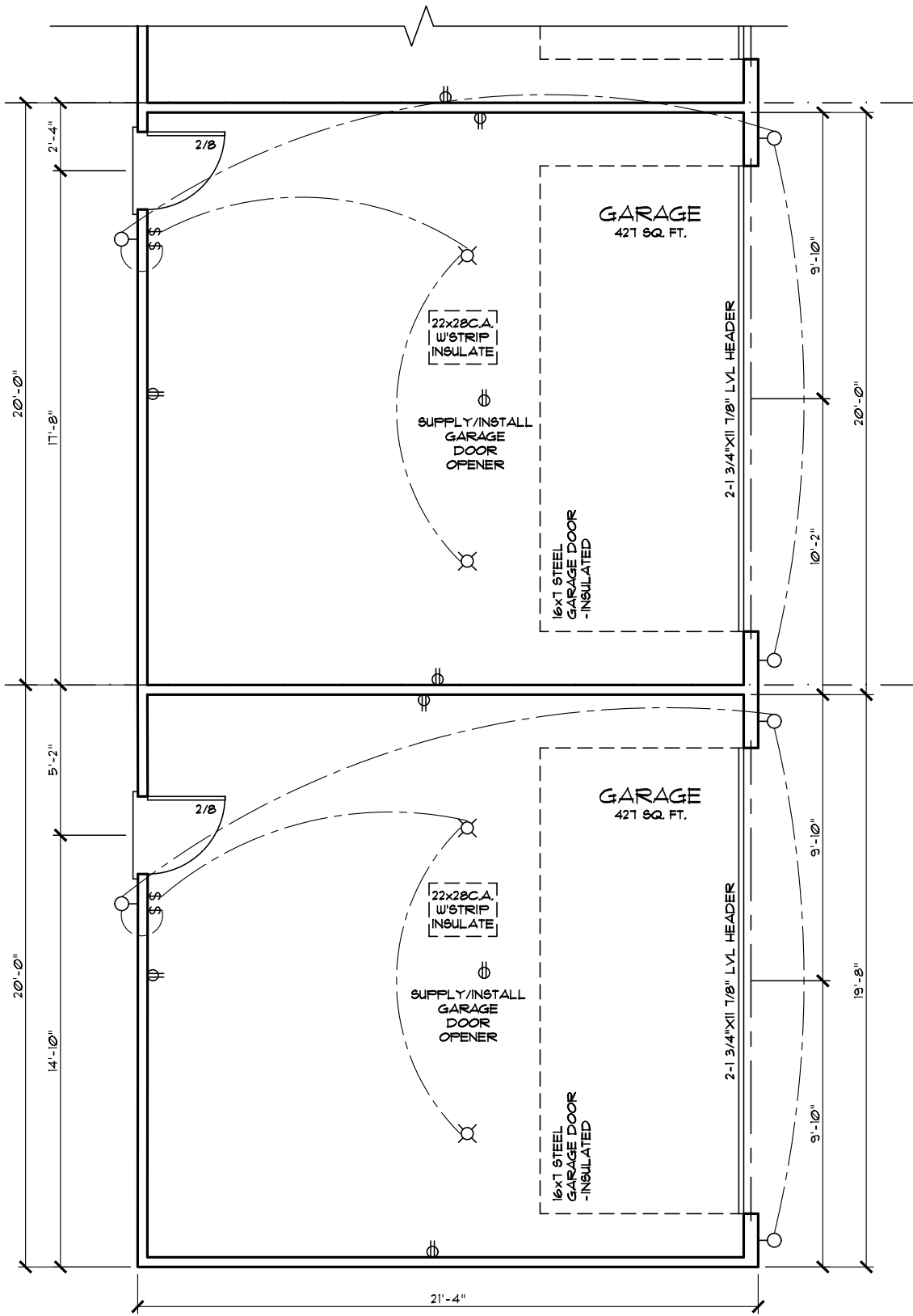
PARTIAL GARAGE
FOUNDATION PLAN

PILE LEGEND			
	DIAM.	PILE DEPTH	AMOUNT & SIZE OF REBAR
P1	12"	12'-0"	2-15 M
P2	12"	12'-0"	2-10 M
P3	12"	15'-0"	2-15 M

UNIT - BRISTOL (R)
JOB# 57114
5235 - 22 AVENUE SW

UNIT - CALDER (R)
JOB# 57113
5233 - 22 AVENUE SW

NOTE!
1. DIMENSIONS SHOWN ARE TO FACE OF MEMBER OR EXTERIOR WALL FACE UNLESS SHOWN OTHERWISE.



PARTIAL GARAGE
FLOOR PLAN

Address: 5229, 5231, 5233 & 5235 - 22 AVENUE SW EDMONTON, AB 13, 14, 15 & 16 / 9 / 152 5734		Model: BRISTOL-CALDER 4 (CR-ILL) (SHELL 4BC-CR)	
Job #: 57111, 57112, 57113 & 57114		SCALE: 3/16" = 1'-0"	Date: May 24, 2022
Drawn By: Sophat Vith	Main:	104 Sq.Ft. UNIT - BRISTOL (L) 678 Sq.Ft. UNIT - CALDER (L)	PACESETTER DESIGN SERIES
	Upper:	652 Sq.Ft. UNIT - BRISTOL (L) 670 Sq.Ft. UNIT - CALDER (L)	 A QUALICO Company
	Total:	1356 Sq.Ft. UNIT - BRISTOL (L) 1348 Sq.Ft. UNIT - CALDER (L)	
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			Page 8



1. DIMENSIONS SHOWN ARE TO FACE OF MEMBER OR EXTERIOR WALL FACE UNLESS SHOWN OTHERWISE.

UNIT - BRISTOL (L)
JOB# 57111
5229 - 22 AVENUE SW

UNIT - CALDER (L)
JOB# 57112
5231 - 22 AVENUE SW

	DIAM.	PILE DEPTH	AMOUNT & SIZE OF REBAR
	12"	12'-0"	2-15 M
	12"	12'-0"	2-10 M
	12"	15'-0"	2-15 M



Model: BRISTOL-CALDER 4 (CR-III) (SHELL4BC-CR)

Address: 5229, 5231, 5233 & 5235 - 22 AVENUE SW EDMONTON, AB
13, 14, 15 & 16 / 9 / 152 5T34

Date: May 24, 2022	Page
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SCALE: 3/16" = 1'-0"

SPACSETER DESIGN SERIES

Main:

Drawn By: Sophat Vith

Upper: 652 sq.ft. unit - BRISTOL (L) 610 sq.ft. unit - CALDER (R)
610 sq.ft. unit - CALDER (L) 652 sq.ft. unit - BRISTOL (R)

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- 1

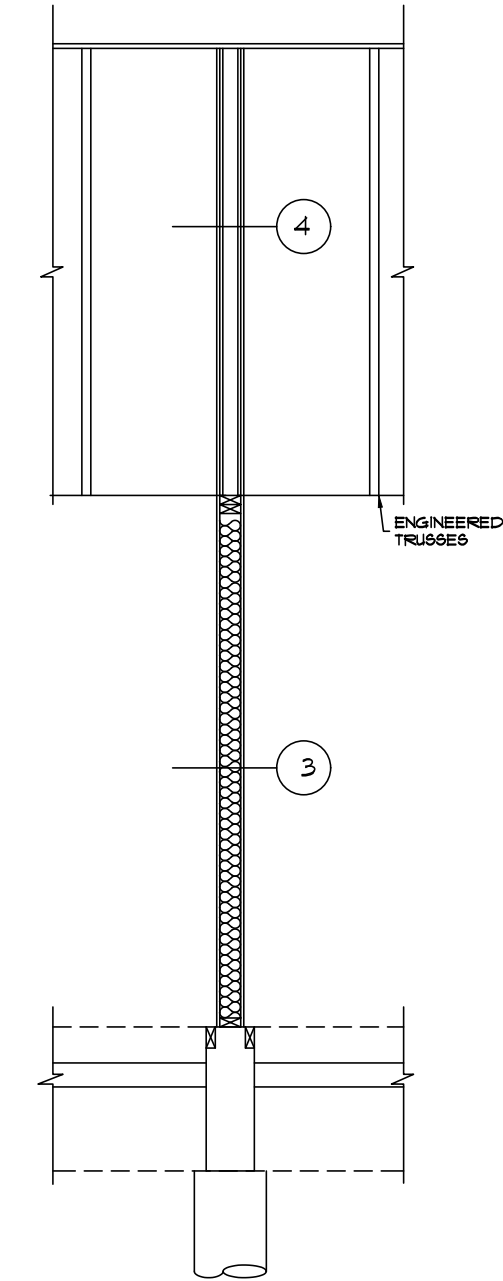
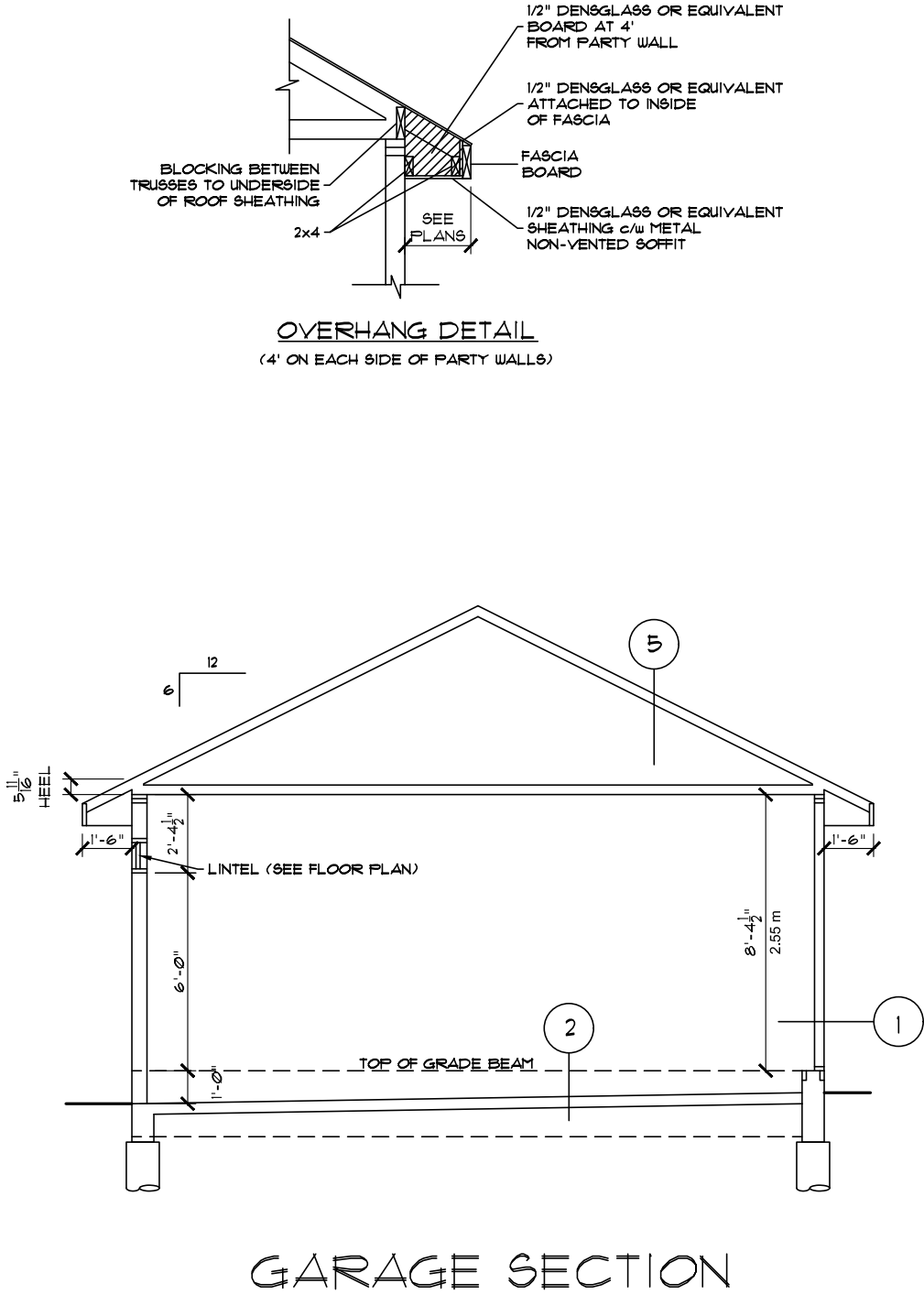
EXTERIOR WALL
VINYL SIDING W/PRE-FINISHED METAL BATTENS
BUILDING PAPER (AS REQ'D)
3/8" OSB SHEATHING
2 X 4 STUDS @ 16" O.C.
BATT INSULATION(OPTIONAL)
6 MIL POLY V.B.
1/2 DRYWALL (OPTIONAL)
- 2

4" CONCRETE SLAB ON GRADE
10M REBARS @ 24" O.C. EACH WAY
6" SAND FILL
- 3

FIRE WALL
5/8" TYPE "X" GYP. B'D.
2x4 STUDS @ 16"O.C.
BATT INSULATION
5/8" TYPE "X" GYP. B'D.
(10 HOUR FIRE RATING)
- 4

ATTIC SEPARATION
5/8" TYPE "X" GYP. B'D.
ENGIN. TRUSS
5/8" TYPE "X" GYP. B'D.
(10 HOUR FIRE RATING)
- 5

ROOF CONSTRUCTION
ASPHALT SHINGLES
3/8" O.S.B. SHEATHING c/w 'H'CLIPS
ENGINEERED WOOD TRUSSES @24" o/c



Address: 5229, 5231, 5233 & 5235 - 22 AVENUE SW EDMONTON, AB 13, 14, 15 & 16 / 9 / 152 5734		Model: BRISTOL-CALDER 4 (CR-11L) (SHELL4BC-CR)	
Job #:57111, 57112, 57113 & 57114		Date: May 24, 2022	Page 10
Drawn By: Sophat Vith	SCALE: 3/16" = 1'-0"		PACESETTER DESIGN SERIES  A QUALICO Company
	Main:	104 Sq.Ft. UNIT - BRISTOL (L) 678 Sq.Ft. UNIT - CALDER (R) 678 Sq.Ft. UNIT - CALDER (L) 104 Sq.Ft. UNIT - BRISTOL (R)	
	Upper:	652 Sq.Ft. UNIT - BRISTOL (L) 670 Sq.Ft. UNIT - CALDER (R) 670 Sq.Ft. UNIT - CALDER (L) 652 Sq.Ft. UNIT - BRISTOL (R)	
Total:		1348 Sq.Ft. UNIT - BRISTOL (L) 1348 Sq.Ft. UNIT - CALDER (R) 1348 Sq.Ft. UNIT - CALDER (L) 1356 Sq.Ft. UNIT - BRISTOL (R)	
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