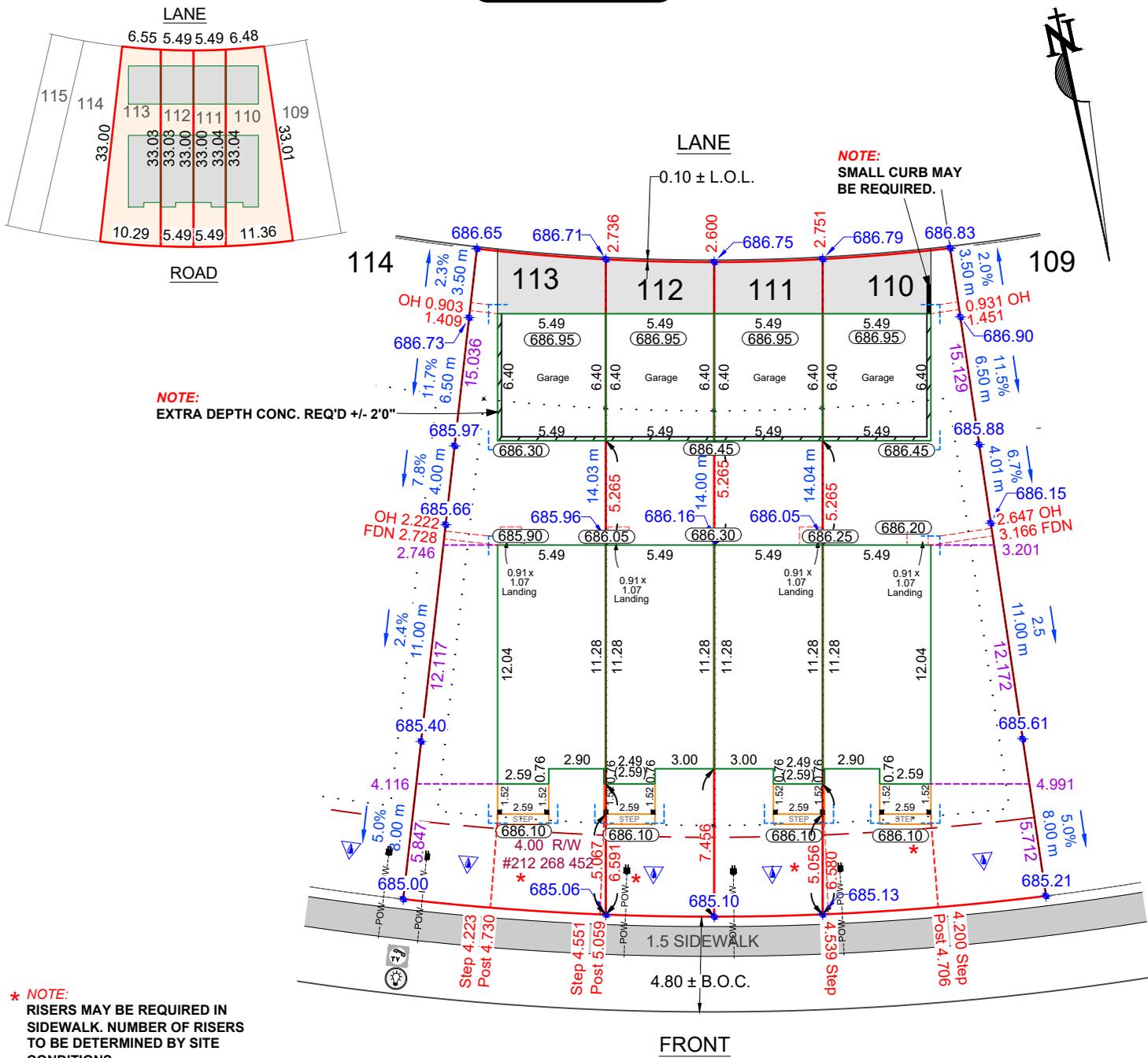


PLOT PLAN



ELEVATION DETAILS	
HOUSE TYPE:	2 STOREY
FINISHED FLOOR:	686.81
BOTTOM OF FOOTING:	683.71
BASEMENT HEIGHT:	8'6"
FINISHED GRADE AT-FRONT STEP:	686.10
3 RISE DOWN 7"	
FINISHED GRADE AT-BACK OF HOUSE:	L - 685.90 M - 686.30 R - 686.20
GRADE BELOW-BACK/SIDE DOOR SILL:	
GRADE BELOW-BASEMENT WINDOWS:	WELL AS REQ'D
TOP OF CONCRETE BASEMENT WALL:	686.51
GARAGE FLOOR:	686.95
SANITARY SEWER SERVICE INVERT:	SEE DETAILS
FOOTING SIZE:	0.20

NOTES
- BUILDER/OWNER RESPONSIBLE TO ENSURE BACK FILL LEVELS MEET ALL CODES.
- BUILDER / OWNER IS LIABLE FOR ANY COSTS INCURRED DUE TO AN ERROR IN THE ABOVE PLAN IF CONSTRUCTION STARTS PRIOR TO THIS PLAN BEING APPROVED BY THE LOCAL APPROVING AUTHORITY
- ALL DISTANCES SHOWN ARE IN METER AND DECIMALS THEREOF.
- ALL DIMENSIONS AND SERVICES SHOWN MUST BE CONFIRMED BY CONTRACTOR PRIOR TO EXCAVATION.
- ALL DIMENSIONS SHOWN TO FOUNDATION WALL, FINAL EXTERIOR CLADDING MAY ALTER DIMENSIONS
- THE ELEVATION OF THIS HOUSE HAS BEEN DESIGNED SO THAT IT WILL BE IN CONFORMANCE WITH THE LOT GRADING PLAN.
RAIN WATER LEADERS TO BE UNDETERMINED. (NO INFORMATION ON ENGINEERING, CONTACT ENGINEER PRIOR TO CONSTRUCTION)

DETAILS
- LOT AREA (110): 294.33 m ² (3168.2 ft ²)
- HOUSE AREA: 63.85 m ² (687.3 ft ²)
- HOUSE COVERAGE: 21.69 %
- GARAGE AREA: 35.12 m ² (378.0 ft ²)
- GARAGE COVERAGE: 11.93 %
- TOTAL COVERAGE: 33.62 %
- DRIVEWAY AREA: 16.70 m ² (179.8 ft ²)
- LOT AREA (111): 181.24 m ² (1950.8 ft ²)
- HOUSE AREA: 63.85 m ² (687.3 ft ²)
- HOUSE COVERAGE: 35.23 %
- GARAGE AREA: 35.12 m ² (378.0 ft ²)
- GARAGE COVERAGE: 19.38 %
- TOTAL COVERAGE: 54.61 %
- DRIVEWAY AREA: 15.11 m ² (162.6 ft ²)
- LOT AREA (112): 181.23 m ² (1950.7 ft ²)
- HOUSE AREA: 63.85 m ² (687.3 ft ²)
- HOUSE COVERAGE: 35.23 %
- GARAGE AREA: 35.12 m ² (378.0 ft ²)
- GARAGE COVERAGE: 19.38 %
- TOTAL COVERAGE: 54.61 %
- DRIVEWAY AREA: 15.07 m ² (162.2 ft ²)
- LOT AREA (113): 277.92 m ² (2991.5 ft ²)
- HOUSE AREA: 63.85 m ² (687.3 ft ²)
- HOUSE COVERAGE: 22.97 %
- GARAGE AREA: 35.12 m ² (378.0 ft ²)
- GARAGE COVERAGE: 12.64 %
- TOTAL COVERAGE: 35.61 %
- DRIVEWAY AREA: 16.58 m ² (178.5 ft ²)
- SANITARY SEWER INVERT (LOT 110) = 682.26
- SANITARY SEWER INVERT (LOT 111) = 682.35
- SANITARY SEWER INVERT (LOT 112) = 682.31
- SANITARY SEWER INVERT (LOT 113) = 682.25

LEGEND			
PROPOSED CLEAN OUT		PROPOSED HYDRANT	
PROPOSED STREET LIGHT		PROPOSED SERVICE PEDESTAL	
PROPOSED C.C. LOCATION		PROPOSED POWER SERVICE	
PROPOSED TRANSFORMER		PROPOSED FENCE LINE	
		PROPOSED BACK OF CURB	
		PROPOSED BACK OF WALK	
		PROPOSED LIP OF LANE	
		PROPOSED UTILITY VAULT	
		B.O.C.	
		B.O.W.	
		L.O.L.	
		DESIGN GRADE ELEVATION	
		AS-BUILT ELEVATION	
		PROPOSED ELEVATION	
		CENTERLINE ELEVATION	

LEGAL INFORMATION		
LOT	BLOCK	PLAN NUM.
110,111,112,113	143	212 2765
CIVIC ADDRESS:		
1343 SANDSTONE BOULEVARD (LOT 110)		
1347 SANDSTONE BOULEVARD (LOT 111)		
1351 SANDSTONE BOULEVARD (LOT 112)		
1355 SANDSTONE BOULEVARD (LOT 113)		
LOCATION	SUBDIVISION	
SHERWOOD PARK	SUMMERWOOD	

Pals Geomatics Corp.

EMAIL: PLOTPLAN@PALSGEOMATICS.COM
PHONE: 780-455-3177
FAX: 780-481-1301

10704 - 176TH STREET NW
EDMONTON, ALBERTA T5S 1G7

Canadian Home Builders Association Member

DWG DETAILS			
Rev. No.	Date:	Drafted By:	Description
PP	2/1/22	LMATYJANKA	
01	2/2/22	JKULYK	GRADES
02	2/8/22	LMATYJANKA	VER./LOCATION
BUILDER/OWNER: PACESETTER HOMES			
MODEL: GLENMORE 4 (H-R) (STANDARD)			
JOB NUM.: 56084/083/082/081			
LOT ZONING: R3		SCALE: 1:300	