



GLENMORE 1
JOB# 56084
1355 - SANDSTONE BLVD.

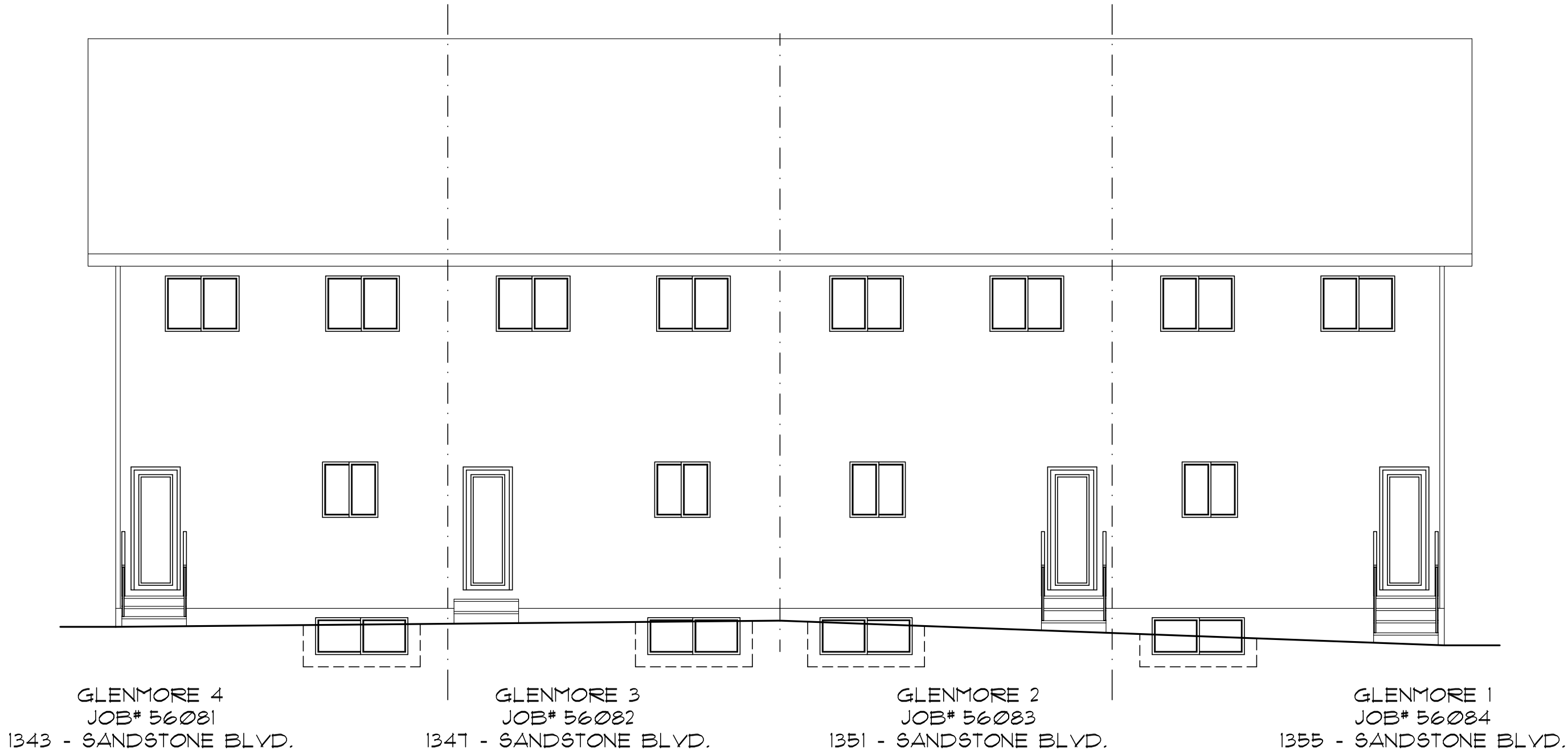
GLENMORE 2
JOB# 56083
1351 - SANDSTONE BLVD.

GLENMORE 3
JOB# 56082
1347 - SANDSTONE BLVD.

GLENMORE 4
JOB# 56081
1343 - SANDSTONE BLVD.

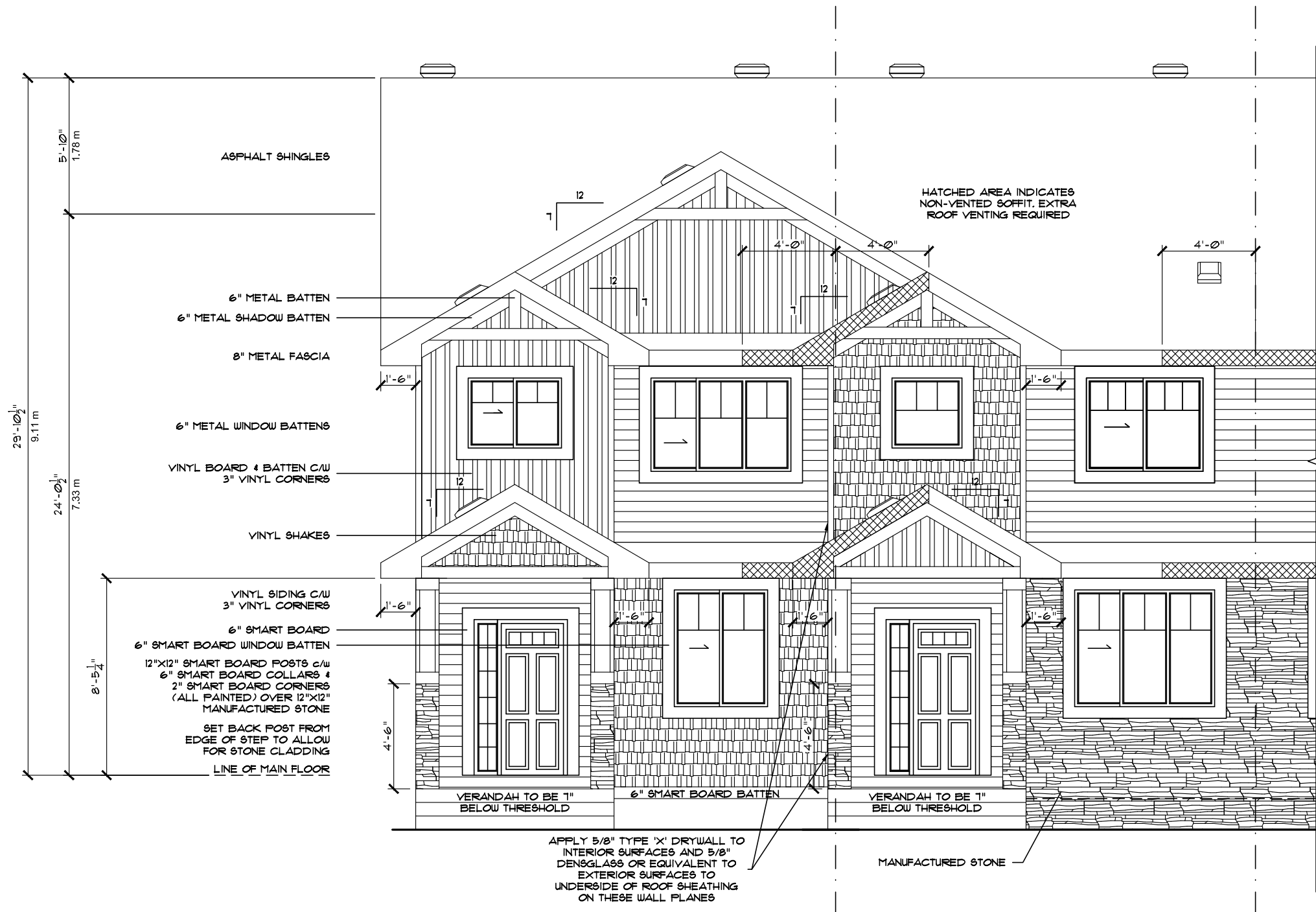
OVERALL FRONT ELEVATION
(NOT TO SCALE)

Address: 1355, 1351, 1347 & 1343 - SANDSTONE BLVD. STRATHCONA, AB 135, 112, 111 & 110 / 143 / 212-2765		Model: GLENMORE 4 (H-R) (SHELL4GG-HI)	
Job #: 56084, 56083, 56082 & 56081		Date: February 2, 2023	Page 1
Drawn By: Krizel Vargas	Main:	PACESETTER DESIGN SERIES	
	Upper:	636 Sq.Ft. GLENMORE 1 636 Sq.Ft. GLENMORE 2	
	Total:	629 Sq.Ft. GLENMORE 1 629 Sq.Ft. GLENMORE 2	
Square footage is based on floor area		1264 Sq.Ft. GLENMORE 1 1264 Sq.Ft. GLENMORE 2	
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OVERALL REAR ELEVATION
(NOT TO SCALE)

Address: 1355, 1351, 1347 & 1343 - SANDSTONE BLVD. STRATHCONA, AB 113, 112, 111 & 110 / 143 / 212-2765		Model: GLENMORE 4 (H-R) (SHELL4GG-HI)	
Job #: 56084, 56083, 56082 & 56081		Date: February 2, 2023	
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	Upper:		
	Total:		
Square footage is based on floor area		17	



GLENMORE 1
JOB# 56084
1355 - SANDSTONE BLVD.

GLENMORE 2
JOB# 56083
1351 - SANDSTONE BLVD.

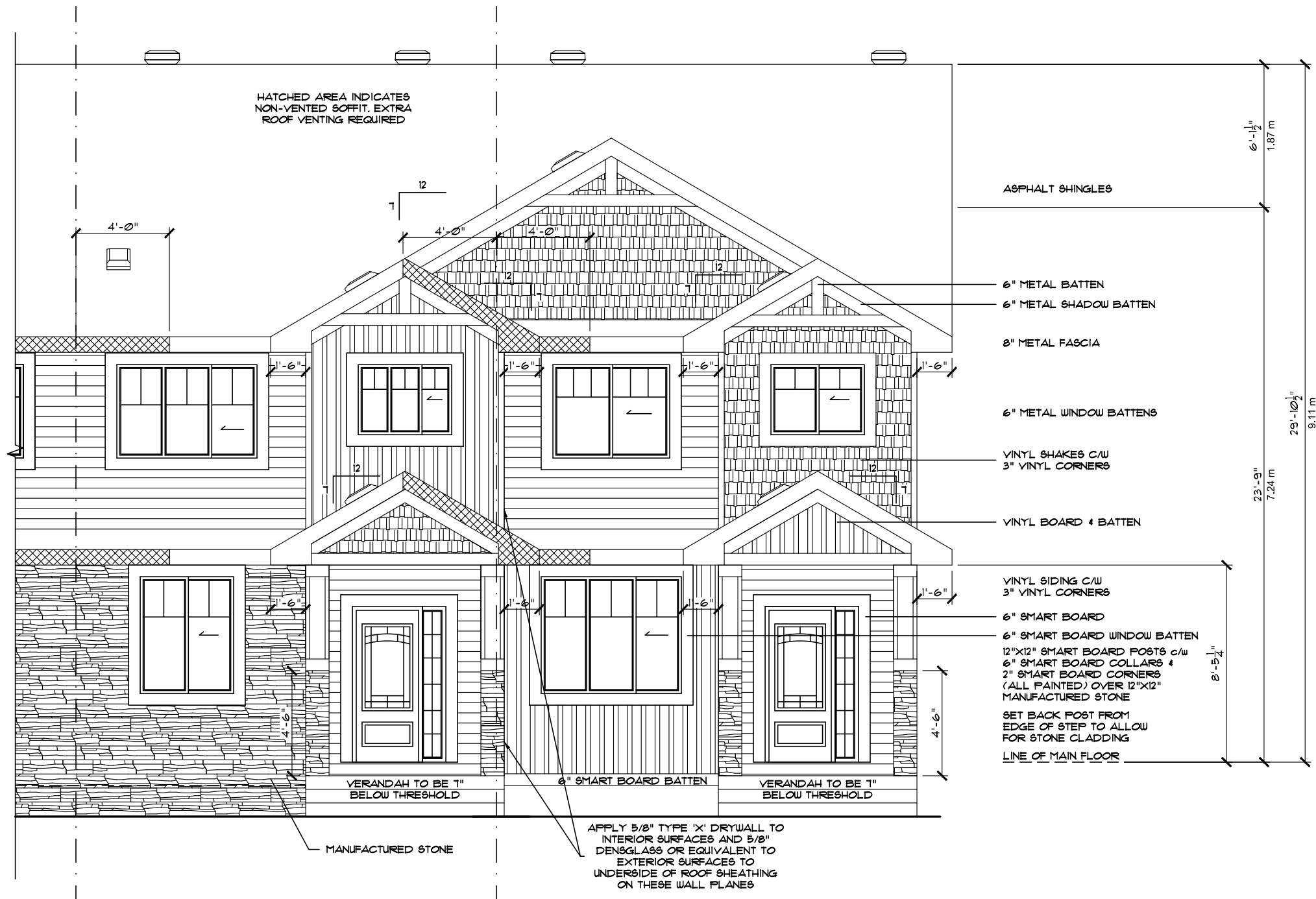
PARTIAL FRONT ELEVATION
** ALL WINDOWS TO BE LOW E **
** TRI-PANE WINDOWS **
THROUGHOUT

(UNLESS NOTED OTHERWISE)

NOTE!

- FLASHING IS TO BE INSTALLED AT ALL APPROPRIATE LOCATIONS ON ROOF AND ELEVATIONS. -SEE BUILDERS SPECS.
- WINDOW WELLS MAY BE REQUIRED DEPENDING ON FINAL GRADE
- ALL STAIRS TO HAVE A MINIMUM 10" RUN + 1" NOSING

Address: 1355, 1351, 1347 & 1343 - SANDSTONE BLVD. STRATHCONA, AB 113, 112, 111 & 110 / 143 / 212-2765		Model: GLENMORE 4 (H-R) (SHELL4GG-HI)	
Job #:56084, 56083, 56082 & 56081		Date: February 2, 2023	Page
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	Upper:	629 Sq.Ft. GLENMORE 1 628 Sq.Ft. GLENMORE 2	
	Total:	1265 Sq.Ft. GLENMORE 1 1264 Sq.Ft. GLENMORE 2	 A QUALICO Company
	Square footage is based on floor area		
		17	



GLENMORE 3
JOB# 56082
1347 - SANDSTONE BLVD.

GLENMORE 4
JOB# 56081
1343 - SANDSTONE BLVD.

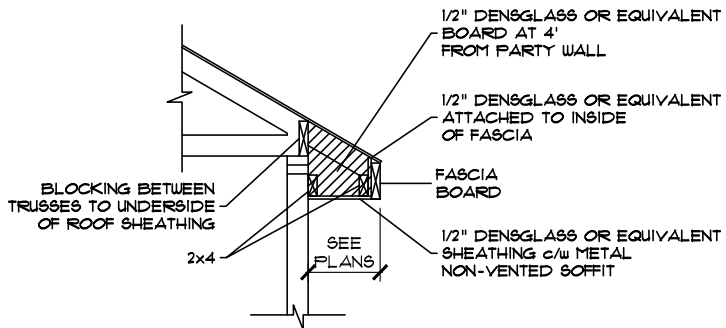
PARTIAL FRONT ELEVATION
** ALL WINDOWS TO BE LOW E **
** TRI-PANE WINDOWS **
THROUGHOUT

(UNLESS NOTED OTHERWISE)

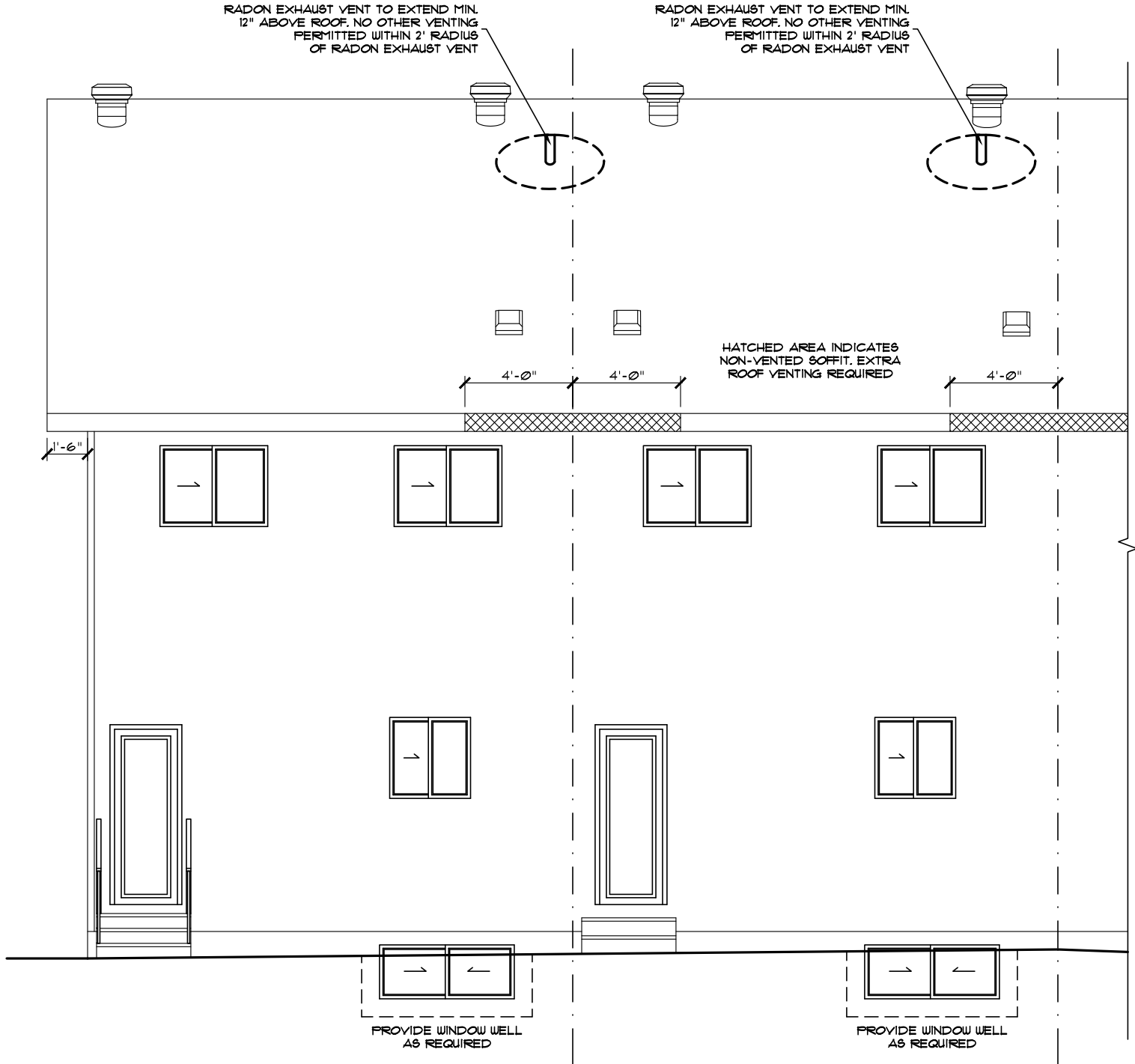
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- WINDOW WELLS MAY BE REQUIRED DEPENDING ON FINAL GRADE
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Model: GLENMORE 4 (H-R) (SHELL4GG-HI)		Page	
Address: 1355, 1351, 1347 & 1343 - SANDSTONE BLVD. STRATHCONA, AB		Date: February 2, 2023	
Job #: 56084, 56083, 56082 & 56081		PACESETTER DESIGN SERIES	
Drawn By: Krizel Vargas	Main:	636 Sq.Ft. GLENMORE 1 636 Sq.Ft. GLENMORE 2	636 Sq.Ft. GLENMORE 3 636 Sq.Ft. GLENMORE 4
	Upper:	623 Sq.Ft. GLENMORE 1 623 Sq.Ft. GLENMORE 2	623 Sq.Ft. GLENMORE 3 623 Sq.Ft. GLENMORE 4
	Total:	1265 Sq.Ft. GLENMORE 1 1264 Sq.Ft. GLENMORE 2	1264 Sq.Ft. GLENMORE 3 1265 Sq.Ft. GLENMORE 4
Scale: 3/16" = 1'-0"		PACESSETTER HOMES A QUALICO Company	
Square footage is based on floor area		4	



OVERHANG DETAIL
(4' ON EACH SIDE OF PARTY WALLS)



GLENMORE 4
JOB# 56081
1343 - SANDSTONE BLVD.

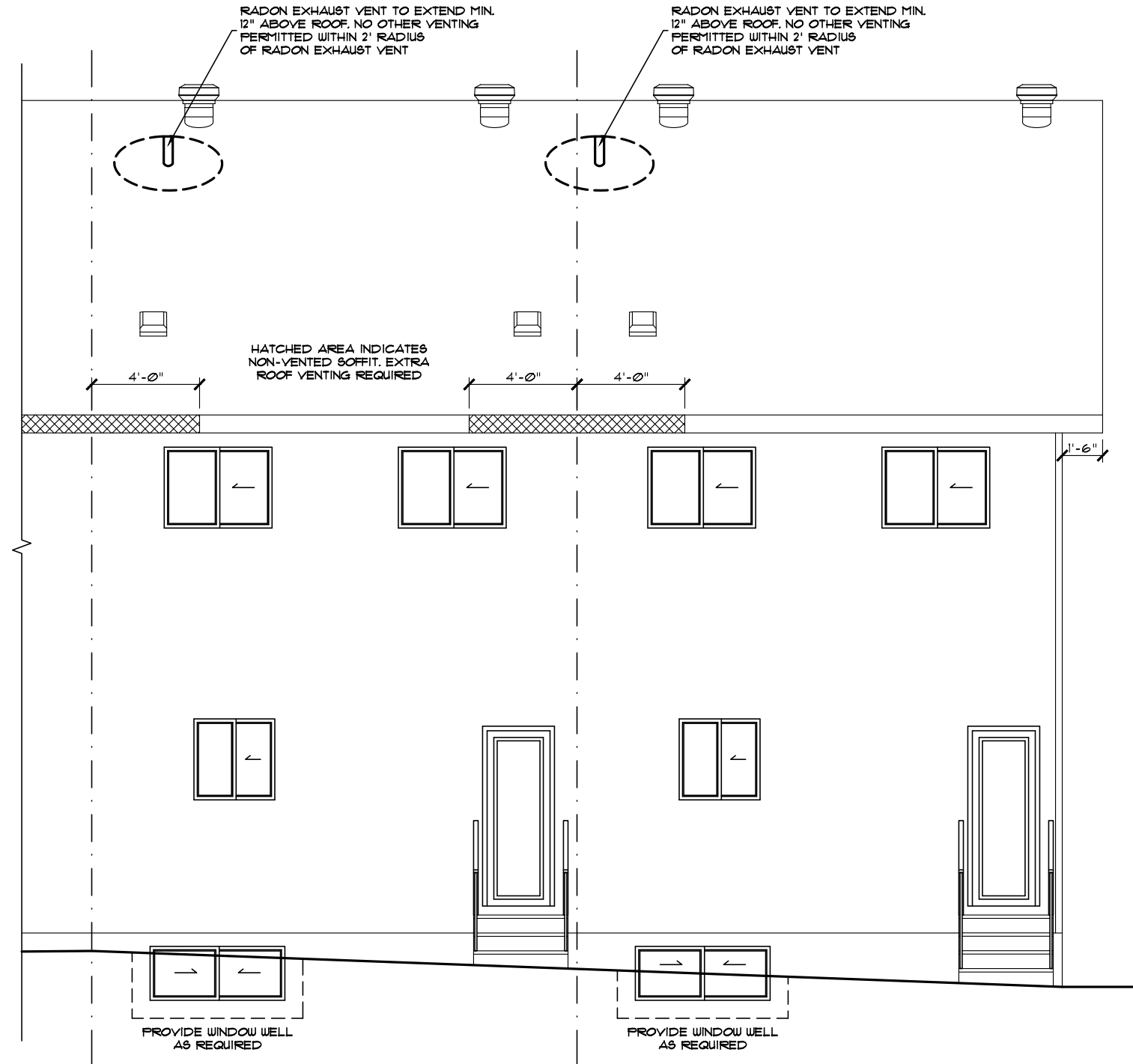
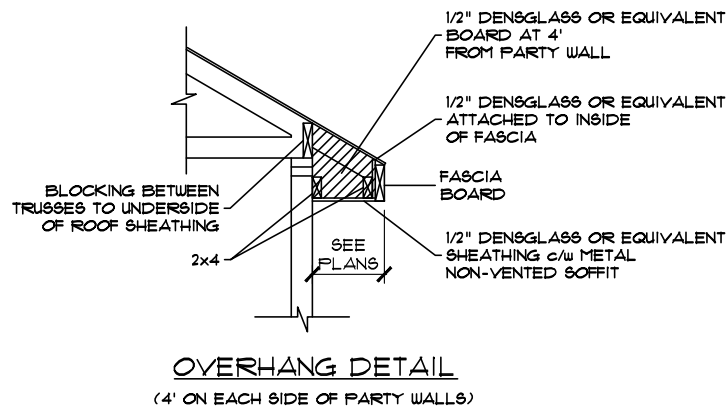
GLENMORE 3
JOB# 56082
1347 - SANDSTONE BLVD.

PARTIAL REAR ELEVATION
** ALL WINDOWS TO BE LOW E **
** TRI-PANE WINDOWS **
THROUGHOUT

(UNLESS NOTED OTHERWISE)

Model: GLENMORE 4 (H-R) (SHELL 4GG-HI)		Page	
Date: February 2, 2023		5	
PACESETTER DESIGN SERIES		Pacesetter HOMES A QUALICO Company	
Address: 1355, 1351, 1347 & 1343 - SANDSTONE BLVD. STRATHCONA, AB 113, 112, 111 & 110 / 143 / 212-2765	SCALE: 3/16" = 1'-0"		
	Main:	636 Sq.Ft. GLENMORE 1 636 Sq.Ft. GLENMORE 2	636 Sq.Ft. GLENMORE 3 636 Sq.Ft. GLENMORE 4
	Upper:	623 Sq.Ft. GLENMORE 1 623 Sq.Ft. GLENMORE 2	628 Sq.Ft. GLENMORE 3 629 Sq.Ft. GLENMORE 4
Drawn By: Krizel Vargas	Total:	1265 Sq.Ft. GLENMORE 1 1264 Sq.Ft. GLENMORE 2	1264 Sq.Ft. GLENMORE 3 1265 Sq.Ft. GLENMORE 4
Square footage is based on floor area		17	

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GLENMORE 2
JOB# 56083
1351 - SANDSTONE BLVD.

GLENMORE 1
JOB# 56084
1355 - SANDSTONE BLVD.

PARTIAL REAR ELEVATION

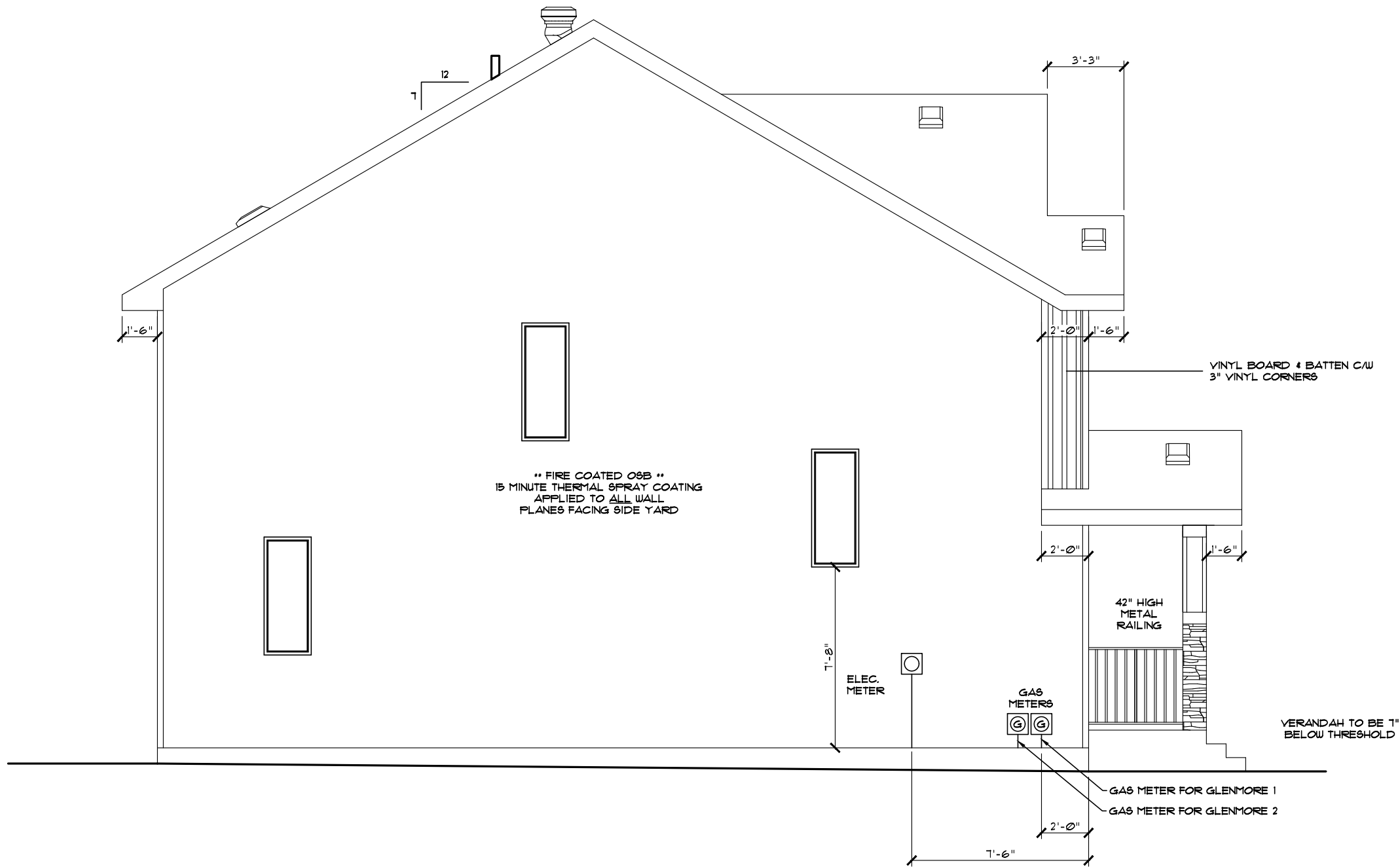
**** ALL WINDOWS TO BE LOW E ****

**** TRI-PANE WINDOWS ****

THROUGHOUT

(UNLESS NOTED OTHERWISE)

Address: 1355, 1351, 1347 & 1343 - SANDSTONE BLVD. STRATHCONA, AB 113, 112, 111 & 110 / 143 / 212-2765		Model: GLENMORE 4 (H-R) (SHELL 4GG-HI)		
Job #: 56084, 56083, 56082 & 56081		Date: February 2, 2023		
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	Total:	1265 Sq.Ft. GLENMORE 1 1264 Sq.Ft. GLENMORE 2		1264 Sq.Ft. GLENMORE 3 1265 Sq.Ft. GLENMORE 4
Square footage is based on floor area		17		



**** ALL WINDOWS TO BE LOW E ****
**** TRI-PANE WINDOWS ****
THROUGHOUT
(UNLESS NOTED OTHERWISE)

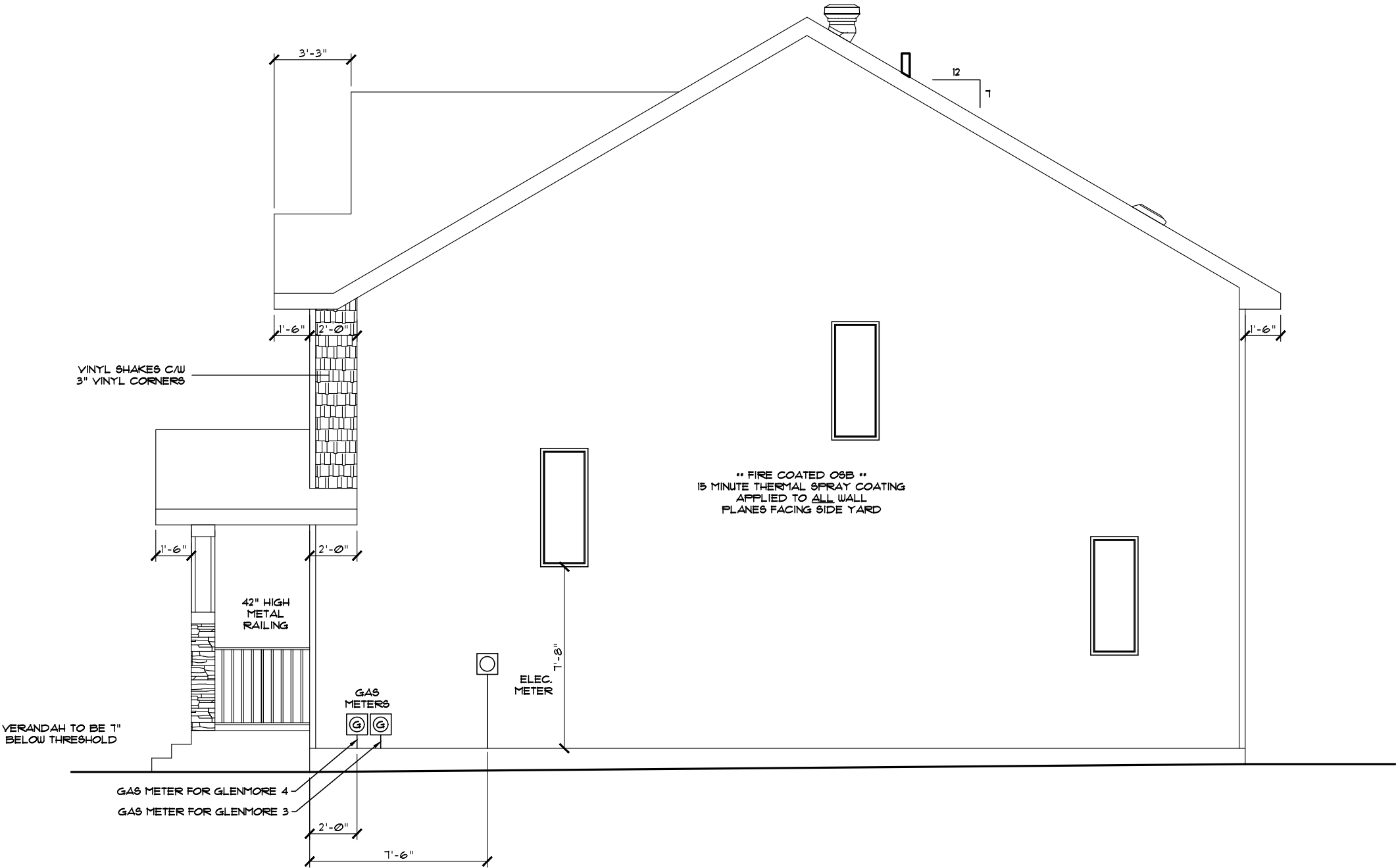
LEFT ELEVATION

Address: 1355, 1351, 1347 & 1343 - SANDSTONE BLVD. STRATHCONA, AB 113, 112, 111 & 110 / 143 / 212-2765		Model: GLENMORE 4 (H-R) (SHELL4GG-HI)	
Job #:56084, 56083, 56082 & 56081		Date: February 2, 2023	Page 7
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	Main:	636 Sq.Ft. GLENMORE 1 636 Sq.Ft. GLENMORE 2	
	Upper:	623 Sq.Ft. GLENMORE 1 623 Sq.Ft. GLENMORE 2	
Square footage is based on floor area		Total:	1265 Sq.Ft. GLENMORE 1 1264 Sq.Ft. GLENMORE 2

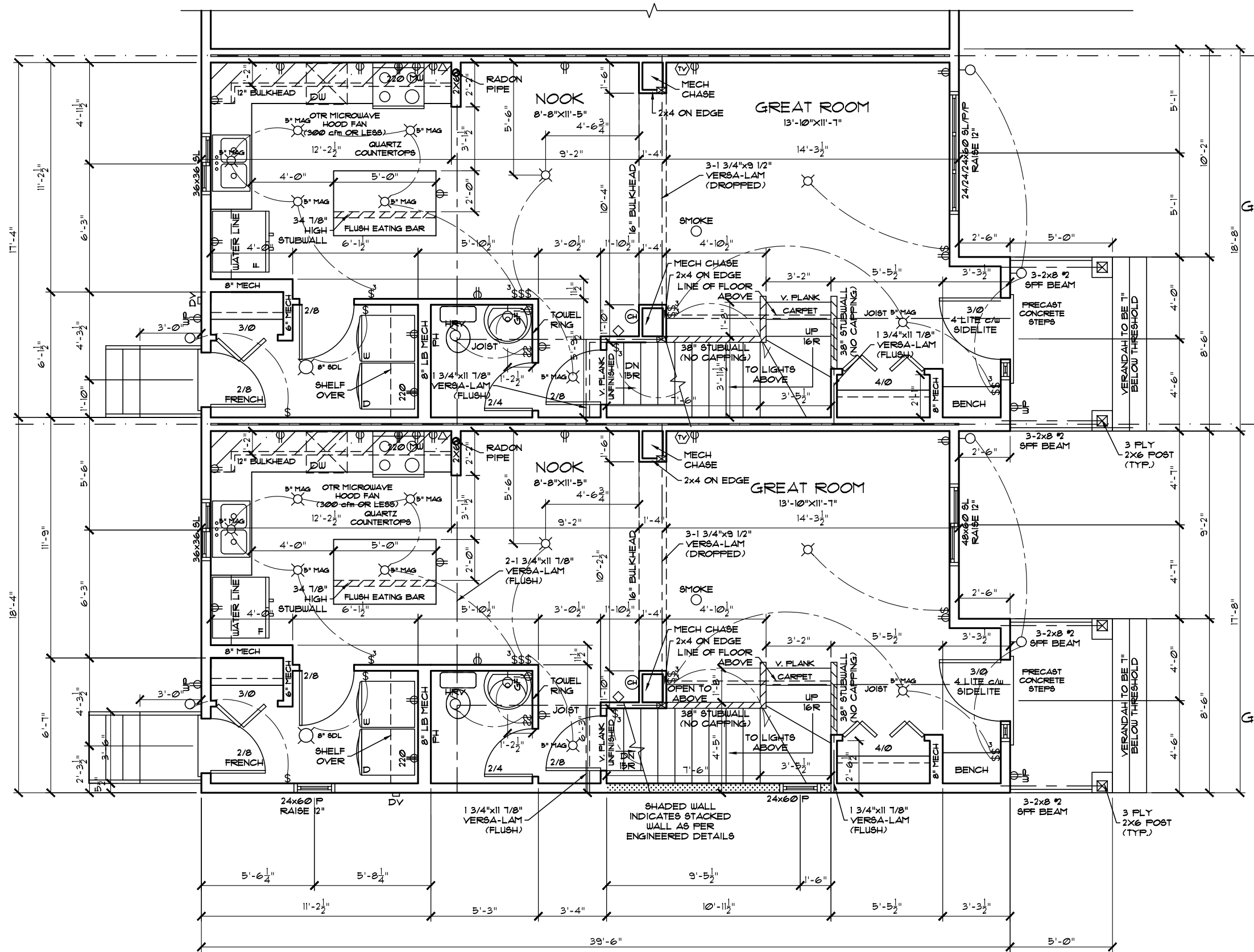
RIGHT ELEVATION

**** ALL WINDOWS TO BE LOW E ****
**** TRI-PANE WINDOWS ****
THROUGHOUT

(UNLESS NOTED OTHERWISE)



Address: 1355, 1351, 1347 & 1343 - SANDSTONE BLVD. STRATHCONA, AB 113, 112, 111 & 110 / 143 / 212-2765		Model: GLENMORE 4 (H-R) (SHELL4GG-HI)	
Job #:56084, 56083, 56082 & 56081		Date: February 2, 2023	Page 8
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Square footage is based on floor area		Total:	1265 Sq.Ft. GLENMORE 1 1264 Sq.Ft. GLENMORE 2



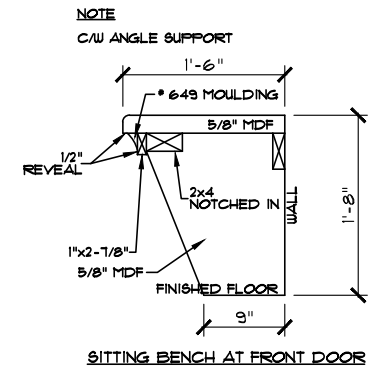
NOTE!

1. DIMENSIONS SHOWN ARE TO FACE OF MEMBER OR EXTERIOR WALL FACE UNLESS SHOWN OTHERWISE.

2. ALL BEAMS AND LINTELS ARE TO BE 2-2X10 SPRUCE UNLESS NOTED OTHERWISE.

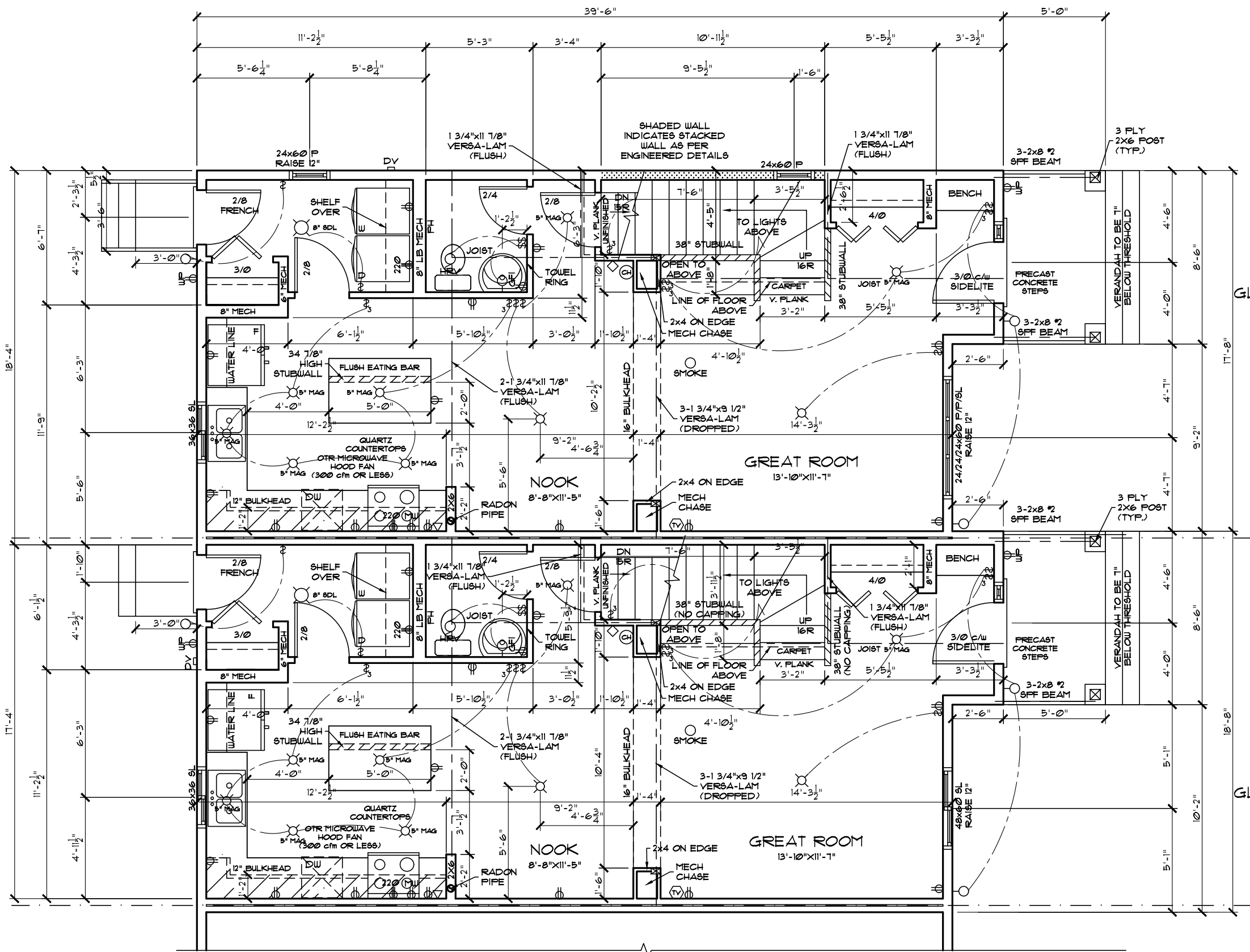
GLENMORE 4 (H-R) (SHELL4GG-HI)
(GLENMORE 2)
JOB# 56083
1351 - SANDSTONE BLVD.

PARTIAL MAIN FLOOR PLAN



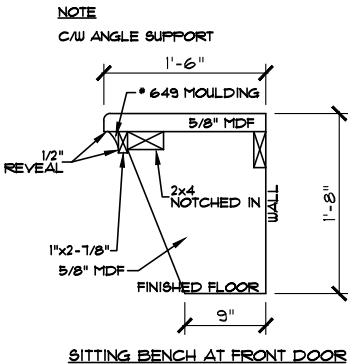
GLENMORE 4 (H-R) (SHELL4GG-HI)
(GLENMORE 1)
JOB# 56084
1355 - SANDSTONE BLVD.

Address: 1355, 1351, 1347 & 1343 - SANDSTONE BLVD. STRATHCONA, AB		Model: GLENMORE 4 (H-R) (SHELL4GG-HI)	
Job #: 56084, 56083, 56082 & 56081		Date: February 2, 2023	Page 9
Drawn By: Krizel Vargas	Main:	PACESETTER DESIGN SERIES	
	Upper:	Pacesetter Homes	
	Total:	A QUALICO COMPANY	
Square footage is based on floor area		17	



GLENMORE 4 (H-R) (SHELL4GG-HI)
(GLENMORE 4)
JOB# 56081
1343 - SANDSTONE BLVD.

PARTIAL MAIN
FLOOR PLAN

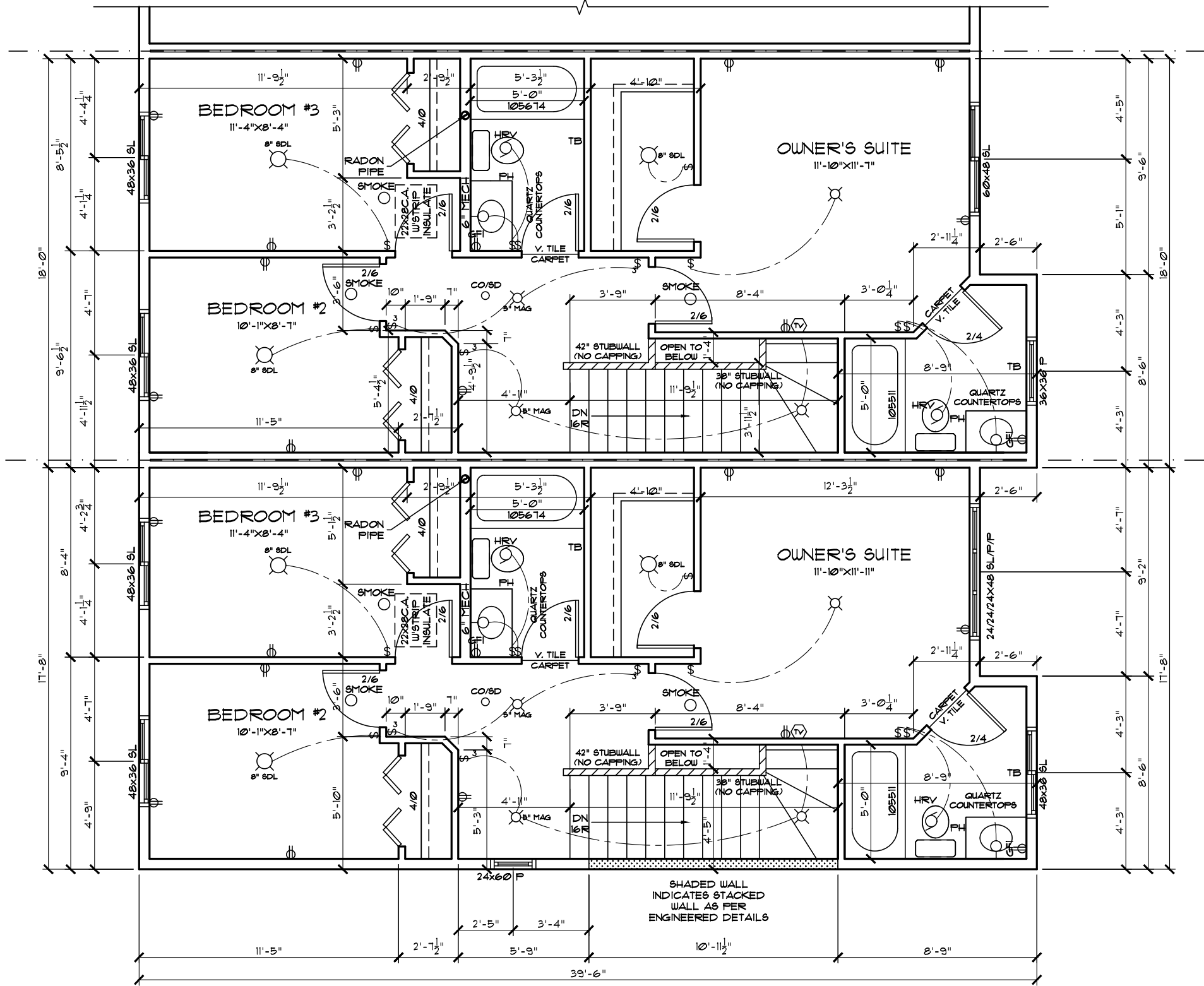


GLENMORE 4 (H-R) (SHELL4GG-HI)
(GLENMORE 3)
JOB# 56082
1347 - SANDSTONE BLVD.

NOTE!

1. DIMENSIONS SHOWN ARE TO FACE OF MEMBER OR EXTERIOR WALL FACE UNLESS SHOWN OTHERWISE.
2. ALL BEAMS AND LINTELS ARE TO BE 2-2X10 SPRUCE UNLESS NOTED OTHERWISE.

Address: 1355, 1351, 1347 & 1343 - SANDSTONE BLVD. STRATHCONA, AB 113, 112, 111 & 110 / 143 / 212-2765		Model: GLENMORE 4 (H-R) (SHELL4GG-HI)	
Job #: 56084, 56083, 56082 & 56081		Date: February 2, 2023	
Drawn By: Krizel Vargas	Main:	636 Sq.Ft. GLENMORE 1 636 Sq.Ft. GLENMORE 2	PACESETTER DESIGN SERIES
	Upper:	629 Sq.Ft. GLENMORE 1 629 Sq.Ft. GLENMORE 2	
	Total:		1265 Sq.Ft. GLENMORE 1 1265 Sq.Ft. GLENMORE 2
Square footage is based on floor area		 Pacesetter HOMES A QUALICO Company	
		17	



GLENMORE 4 (H-R) (SHELL4GG-HI)
(GLENMORE 2)
JOB# 56083
1351 - SANDSTONE BLVD.

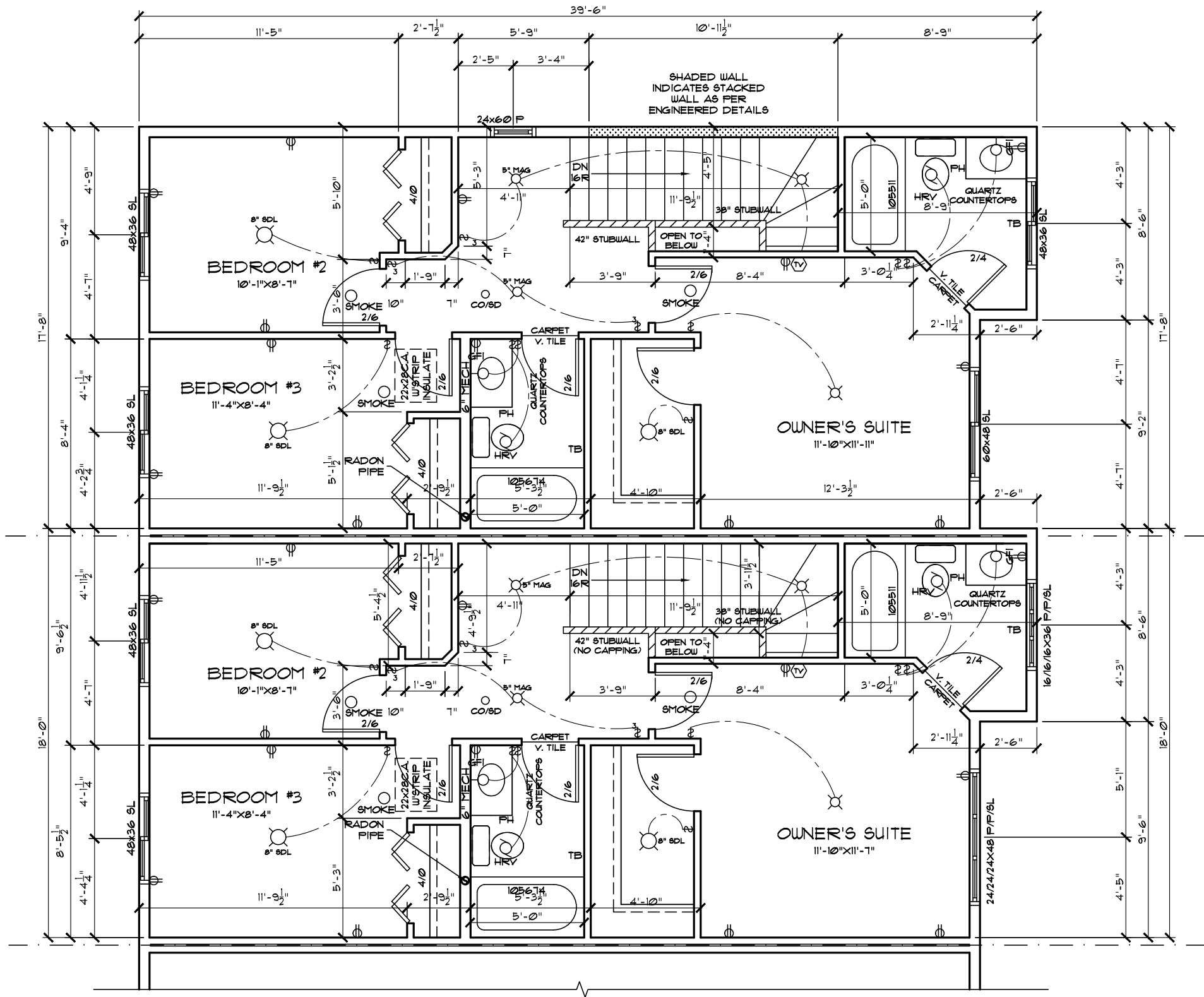
PARTIAL UPPER
FLOOR PLAN

GLENMORE 4 (H-R) (SHELL4GG-HI)
(GLENMORE 1)
JOB# 56084
1355 - SANDSTONE BLVD.

LEGEND			
	CEILING LIGHT		WALL LIGHT
	ELEC. PLUG		SMOKE DETECTOR
	220V PLUG		SD/CO DETECTOR
	USB PAIRED PLUG		VAC. ROUGH IN
	TELEPHONE		BATHROOM FAN
	TV/CAT5E		CHIME
	THERMOSTAT		SINGLE SWITCH
	3 WAY SWITCH		OTTO SWITCH
	WEEPING TILE		ELEC. WIRING
	TEE		SPEAKER
	GAS METER		

ELECTRICAL LOCATIONS SUBJECT TO CHANGE AS REQUIRED BY CODE

Address: 1355, 1351, 1347 & 1343 - SANDSTONE BLVD. STRATHCONA, AB		Model: GLENMORE 4 (H-R) (SHELL4GG-HI)	
Job #:56084, 56083, 56082 & 56081		Date: February 2, 2023	Page
Drawn By: Krizel Vargas	SCALE: 3/16" = 1'-0"		PACESETTER DESIGN SERIES
	Main:	636 Sq.Ft. GLENMORE 1 636 Sq.Ft. GLENMORE 2	636 Sq.Ft. GLENMORE 3 636 Sq.Ft. GLENMORE 4
	Upper:	629 Sq.Ft. GLENMORE 1 629 Sq.Ft. GLENMORE 2	628 Sq.Ft. GLENMORE 3 629 Sq.Ft. GLENMORE 4
Square footage is based on floor area		Total:	1264 Sq.Ft. GLENMORE 1 1264 Sq.Ft. GLENMORE 2
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Pacesetter HOMES A QUALICO Company			11
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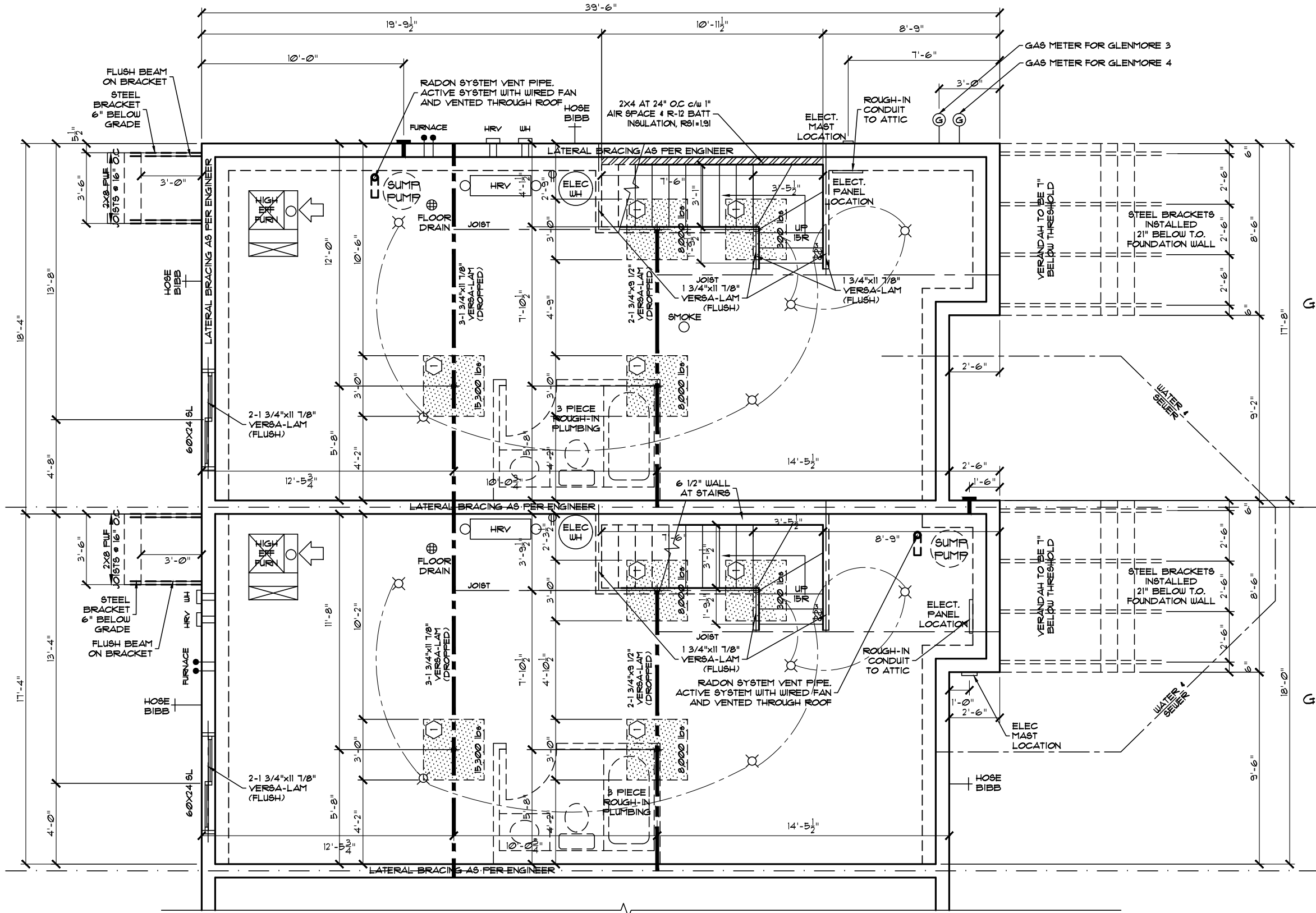
GLENMORE 4 (H-R) (SHELL4GG-HI)
(GLENMORE 4)
JOB# 56081
1343 - SANDSTONE BLVD.

PARTIAL UPPER
FLOOR PLAN

GLENMORE 4 (H-R) (SHELL4GG-HI)
(GLENMORE 3)
JOB# 56082
1341 - SANDSTONE BLVD.

LEGEND			
	CEILING LIGHT		WALL LIGHT
	ELEC. PLUG		SMOKE DETECTOR
	220V PLUG		SD/CO DETECTOR
	USB PAIRED PLUG		VAC. ROUGH IN
	TELEPHONE		BATHROOM FAN
	TV/CAT5E		CHIME
	THERMOSTAT		SINGLE SWITCH
	3 WAY SWITCH		OTTO SWITCH
	WEEPING TILE		ELEC. WIRING
	GAS METER		SPEAKER
ELECTRICAL LOCATIONS SUBJECT TO CHANGE AS REQUIRED BY CODE			

Address: 1355, 1351, 1341 & 1343 - SANDSTONE BLVD. STRATHCONA, AB		Model: GLENMORE 4 (H-R) (SHELL4GG-HI)	
Job #: 56084, 56083, 56082 & 56081		Date: February 2, 2023	Page 12
Drawn By: Krizel Vargas	SCALE: 3/16" = 1'-0"		PACESETTER DESIGN SERIES
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Pacesetter HOMES A QUALICO Company			17



GLENMORE 4 (H-R) (SHELL4GG-HI)
(GLENMORE 4)
JOB# 56081
1343 - SANDSTONE BLVD.

GLENMORE 4 (H-R) (SHELL4GG-HI)
(GLENMORE 3)
JOB# 56082
1347 - SANDSTONE BLVD.

	MAXIMUM CAPACITY # 8'S EXT.	CONC. PAD DIMENSIONS (1 x w x d)	AMOUNT & SIZE OF REBAR
1	16,875 LBS	36"x36"x10"	5-10 M
2	20,810 LBS	40"x40"x10"	6-10 M
3	28,160 LBS	46"x46"x10"	6-10 M
4	37,120 LBS	54"x54"x11"	8-10 M

REBAR TO BE EQUALLY SPACED
ALONG LENGTH & WIDTH OF PAD
PAD LEGEND
(BASED ON WESURE COLUMNS)

Address: 1355, 1351, 1347 & 1343 - SANDSTONE BLVD. STRATHCONA, AB

Job #: 56084, 56083, 56082 & 56081

Drawn By: Krizel Vargas

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Square footage is based on floor area

SCALE: 3/16" = 1'-0"

Main:	636 Sq.Ft. GLENMORE 1 636 Sq.Ft. GLENMORE 2	636 Sq.Ft. GLENMORE 3 636 Sq.Ft. GLENMORE 4
Upper:	629 Sq.Ft. GLENMORE 1 629 Sq.Ft. GLENMORE 2	629 Sq.Ft. GLENMORE 3 629 Sq.Ft. GLENMORE 4
Total:	1265 Sq.Ft. GLENMORE 1 1265 Sq.Ft. GLENMORE 2	1265 Sq.Ft. GLENMORE 3 1265 Sq.Ft. GLENMORE 4

Model: GLENMORE 4 (H-R) (SHELL4GG-HI)

Date: February 2, 2023

PACESSETTER DESIGN SERIES

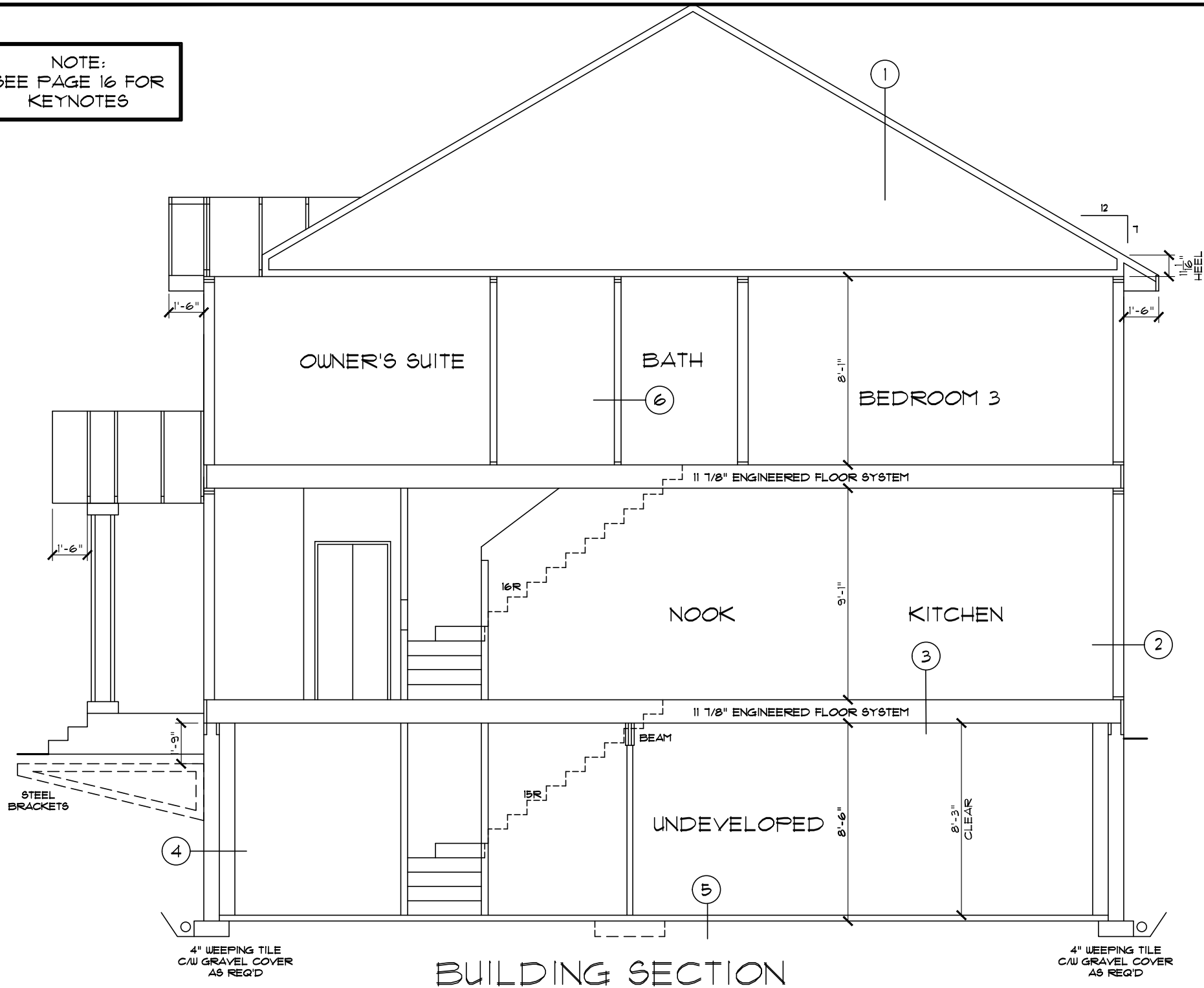


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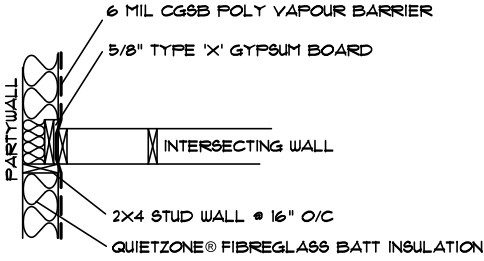
17

NOTE:
SEE PAGE 16 FOR
KEYNOTES

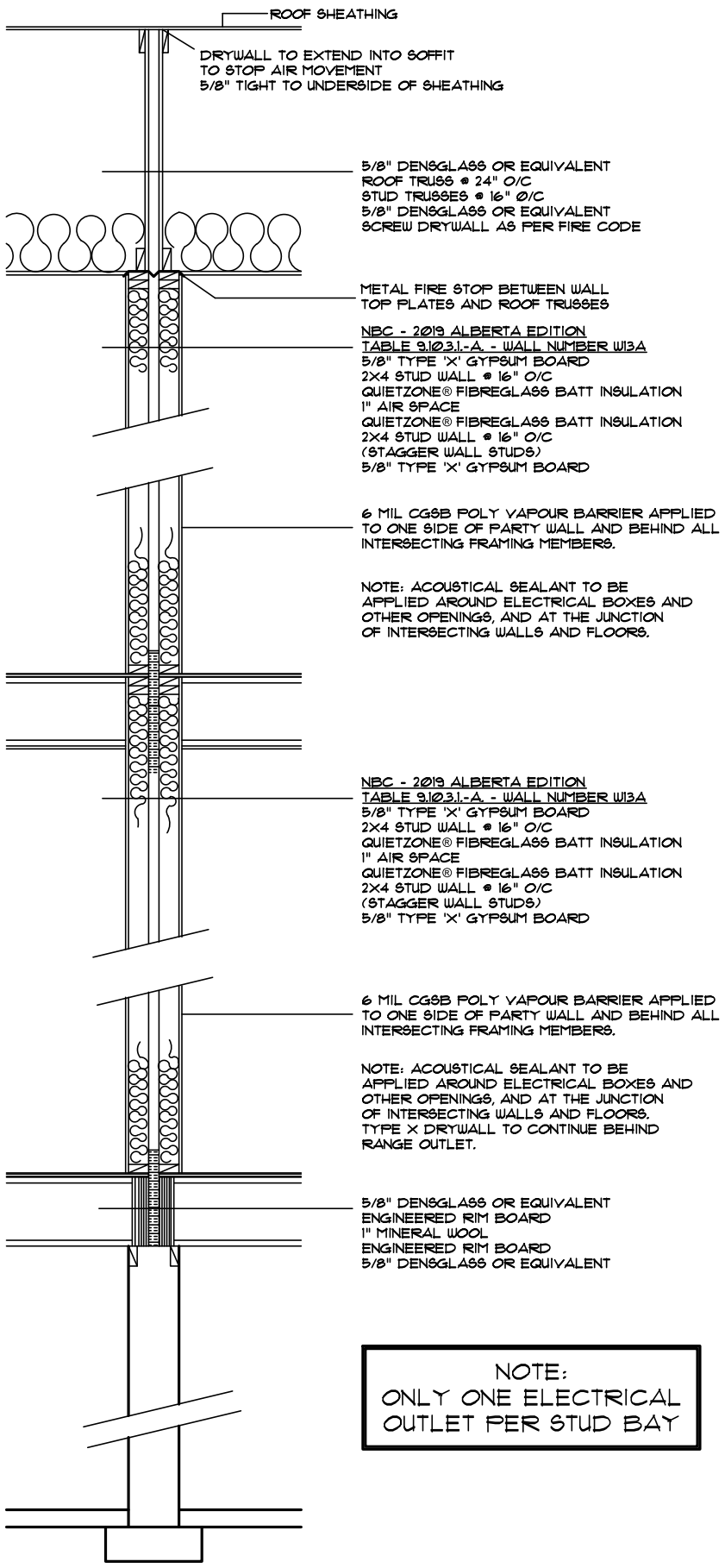


NOTES

- TRADES ARE RESPONSIBLE FOR CHECKING ALL DIMENSIONS & NOTES AND REPORTING ANY DISCREPANCIES TO THE DESIGNER PRIOR TO CONSTRUCTION.
- ALL LOADBEARING LINTELS TO BE 2-2x10 #2 SPRUCE UNLESS NOTED OTHERWISE
 - FINAL EXTERIOR GRADES MAY VARY
 - WINDOW AND DOOR SIZES SHOWN ARE APPROXIMATE ONLY. EXACT ROUGH OPENINGS TO BE SUPPLIED BY MANUFACTURER PRIOR TO CONSTRUCTION.
 - MECHANICAL LAYOUT AND SPECS. SUPPLIED BY OTHERS.
 - ROOF SHALL BE VENTED WITH AN UNOBSTRUCTED VENT AREA OF NOT LESS THAN 1/300 OF THE CEILING AREA.
 - ALL EXTERIOR WALLS WHERE MONO TRUSSES ARE ATTACHED SHALL BE SEALED & PAPERED BEFORE INSTALLING TRUSSES
 - THE AREAS REQUIRING VENTILATION WITHIN THE ROOF SPACE OR ATTIC SHALL CONFORM TO NBC - 2019 ALERTA EDITION 9.19.1.
 - ATTIC ACCESS TO BE WEATHERSTRIPPED & INSULATED AS PER NBC - 2019 ALERTA EDITION 9.19.2.1.
 - STEP FOOTING FOR WALKOUTS SHALL BE MAX. RISE 24" & MINIMUM HORIZONTAL DISTANCE OF 24" AS PER NBC - 2019 ALERTA EDITION 9.15.8.9.
 - COMBUSTION AIR SHALL BE PROVIDED FOR FIREPLACE AS PER NBC - 2019 ALERTA EDITION 9.22.1.4.
 - SMOKE ALARMS TO CONFORM TO NBC - 2019 ALERTA EDITION 9.10.19.
 - IF WEeping TILE IS REQUIRED SLAB ON GROUND SHALL BE DAMPROOFED AS PER NBC - 2019 ALERTA EDITION 9.13.4.
 - EXACT LOCATION OF MECHANICAL, ELECTRICAL, AND PLUMBING EQUIPMENT SUBJECT TO CHANGE DUE TO SITE CONDITIONS.
 - GARAGE ENTRY STAIRS MAY VARY IN NUMBER OF RISERS AND LOCATION DUE TO SITE CONDITIONS
 - ELEVATIONS, FLOOR LAYOUT AND ROOM DIMENSIONS ARE SUBJECT TO CHANGE DUE TO SITE CONDITIONS
 - DRIVEWAYS, SIDEWALKS, AND PARKING PADS SUBJECT TO CHANGE DUE TO SITE CONDITIONS



INTERSECTING WALL @
PARTY WALL DETAIL



NOTE:
ONLY ONE ELECTRICAL
OUTLET PER STUD BAY

Model: GLENMORE 4 (H-R) (SHELL4GG-HI)		Page	
Address: 1355, 1351, 1347 & 1343 - SANDSTONE BLVD. STRATHCONA, AB		Date: February 2, 2023	
Job #: 56084, 56083, 56082 & 56081		SCALE: 3/16" = 1'-0"	
Drawn By: Krizel Vargas	Main:	636 Sq.Ft. GLENMORE 1 636 Sq.Ft. GLENMORE 2	PACESETTER DESIGN SERIES
	Upper:	629 Sq.Ft. GLENMORE 1 629 Sq.Ft. GLENMORE 2	
	Total:	1265 Sq.Ft. GLENMORE 1 1264 Sq.Ft. GLENMORE 2	
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Pacesetter HOMES A QUALICO Company		15	
		17	

FACESETTER DESIGN SERIES
(EFFECTIVE THERMAL RESISTANCE OF ASSEMBLIES)

1 ROOF ASSEMBLIES

UPPER FLOOR ROOF (6.90 RSI)
ASPHALT SHINGLES
3/8" O.S.B. SHEATHING c/w 'H'CLIPS
ENGINEERED WOOD TRUSSES @24" o/c
R-40 LOOSE FILL INSULATION
6 mil CGSB POLY VAPOR BARRIER
1/2" C.D. DRYWALL

UPPER FLOOR VAULTED CEILING (4.06 RSI)
IF REQUIRED AS PER PLANS
ASPHALT SHINGLES
3/8" O.S.B. SHEATHING c/w 'H'CLIPS
ENGINEERED WOOD TRUSSES @24" o/c
R-40 BATT INSULATION
6 mil CGSB POLY VAPOR BARRIER
1/2" C.D. DRYWALL

2 EXTERIOR WALL ASSEMBLIES

STANDARD EXTERIOR WALL (2.11 RSI)
INCLUDES EXTERIOR WALLS OF ATTACHED GARAGE, IF APPLICABLE
EXTERIOR CLADDING AS PER PLAN
BUILDING PAPER (AS REQ'D)
3/8" O.S.B. SHEATHING
2X6 STUDS @ 24" o/c
R-20 BATT INSULATION
6 mil CGSB POLY VAPOR BARRIER
1/2" DRYWALL

EXTERIOR TALL WALL (2.63 RSI)
IF REQUIRED AS PER PLANS
EXTERIOR CLADDING AS PER PLAN
BUILDING PAPER (AS REQ'D)
3/8" O.S.B. SHEATHING (1/2" DENSGLASS OR EQUIVALENT FOR ZLL)
2X6 STUDS AS PER ENGINEER'S DETAIL
R-20 BATT INSULATION
6 mil CGSB POLY VAPOR BARRIER
1/2" DRYWALL

ATTACHED GARAGE/HOUSE WALL (2.85 RSI)
IF REQUIRED AS PER PLANS
1/2" DRYWALL (FIRE TAPED)
3/8" O.S.B. SHEATHING
2X6 STUDS @ 24" o/c
R-20 BATT INSULATION
6 mil CGSB POLY VAPOR BARRIER
1/2" DRYWALL

EXTERIOR CANTILEVERED WALL (2.78 RSI)
WITHIN 12m SIDE YARD SETBACK
IF REQUIRED AS PER PLANS
EXTERIOR CLADDING AS PER PLAN
BUILDING PAPER (AS REQ'D)
5/8" DENSGLASS OR EQUIVALENT
2X6 STUDS AT 24" o/c
R-20 BATT INSULATION
6 mil CGSB POLY VAPOR BARRIER
1/2" DRYWALL

EXTERIOR ZERO LOT LINE WALL (2.63 RSI)
WITHIN 12m SIDE YARD SETBACK
IF REQUIRED AS PER PLANS
EXTERIOR CLADDING AS PER PLAN
BUILDING PAPER (AS REQ'D)
1/2" DENSGLASS OR EQUIVALENT
2X6 STUDS AT 16" o/c
R-20 BATT INSULATION
6 mil CGSB POLY VAPOR BARRIER
5/8" TYPE 'X' DRYWALL

EXTERIOR PARTY WALL JOGG (3.31 RSI)
IF REQUIRED AS PER PLANS
EXTERIOR CLADDING AS PER PLAN
BUILDING PAPER (AS REQ'D)
5/8" DENSGLASS OR EQUIVALENT
2X4 STUDS AT 16" o/c
R-12 BATT INSULATION
1" AIR SPACE
2X4 STUDS AT 16" o/c
R-12 BATT INSULATION
6 mil CGSB POLY VAPOR BARRIER
5/8" TYPE 'X' DRYWALL

3 FLOOR ASSEMBLIES

INTERIOR FLOOR (N/A RSI)
FLOOR FINISH AS SPECIFIED
3/8" U-LAY IN LINO AREAS
23/32" T&G OSB SUBFLOOR GLUED AND SCREWED
ENGINEERED WOOD JOISTS AS PER MANUFACTURER

FLOOR OVER UNHEATED SPACE (6.61 RSI)
FLOOR FINISH AS SPECIFIED
3/8" U-LAY IN LINO AREAS
23/32" T&G OSB SUBFLOOR GLUED AND SCREWED
6 mil CGSB POLY VAPOR BARRIER
ENGINEERED WOOD JOISTS AS PER MANUFACTURER
R-40 1/2lb OPEN-CELL SPRAY FOAM INSULATION
1/2" DRYWALL

CANTILEVERED MAIN FLOOR (5.12 RSI)
IF REQUIRED AS PER PLANS
FLOOR FINISH AS SPECIFIED
3/8" U-LAY IN LINO AREAS
23/32" T&G OSB SUBFLOOR GLUED AND SCREWED
6 mil CGSB POLY VAPOR BARRIER
ENGINEERED WOOD JOISTS AS PER MANUFACTURER
R-28 2lb CLOSED-CELL SPRAY FOAM INSULATION
3/8" OSB SHEATHING
NON-VENTED METAL SOFFIT

CANTILEVERED UPPER FLOOR (6.19 RSI)
IF REQUIRED AS PER PLANS
FLOOR FINISH AS SPECIFIED
3/8" U-LAY IN LINO AREAS
23/32" T&G OSB SUBFLOOR GLUED AND SCREWED
6 mil CGSB POLY VAPOR BARRIER
ENGINEERED WOOD JOISTS AS PER MANUFACTURER
R-40 2lb CLOSED-CELL SPRAY FOAM INSULATION
3/8" OSB SHEATHING
NON-VENTED METAL SOFFIT

4 BASEMENT WALL ASSEMBLIES

FOUNDATION W/ FROST WALL (2.23 RSI)
UNLESS NOTED OTHERWISE ON PLANS
FARGING ABOVE GRADE
DAMP-PROOFING ON EXTERIOR OF FOUNDATION WALLS (TO COMPLY WITH NBC - 2019 ALBERTA EDITION 9.13.2.3.(2XaXIII))
8" CONC FOUNDATION WALL C/W 2 ROWS OF 2-#10 BARS
STUDS @24" o/c
R-20 BATT INSULATION
6 mil CGSB POLY VAPOR BARRIER
1/2" DRYWALL (FINISHED AREAS)
18"X 8" CONCRETE STRIP FOOTING OR AS REQUIRED BY ENGINEER'S REPORT
TELEPOST PAD FOOTINGS AS PER PLAN
WINDOWS OVER 48 INCHES IN LENGTH TO BE BRACED AS PER ENGINEER'S DETAIL
OPEN TO BELOW AREA WALLS WILL BE REINFORCED AS PER ENGINEER'S DETAIL

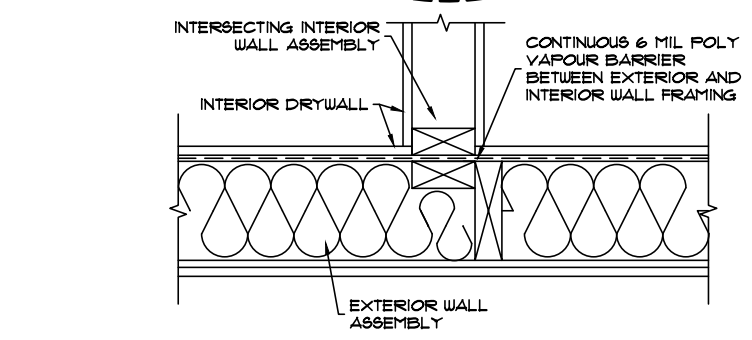
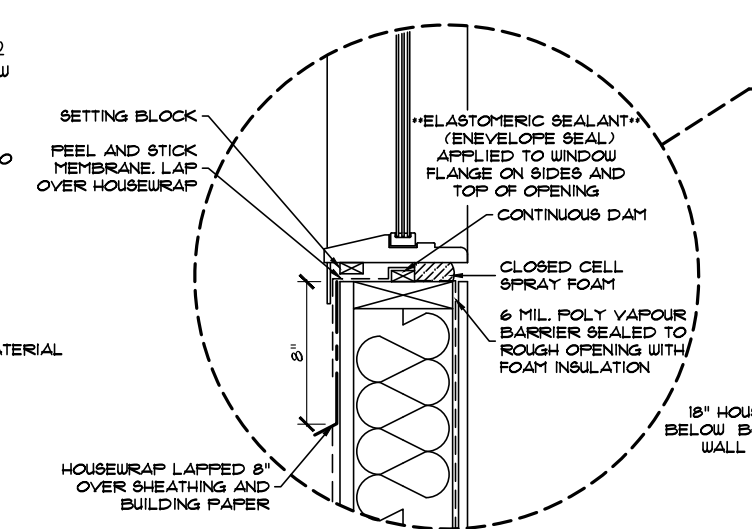
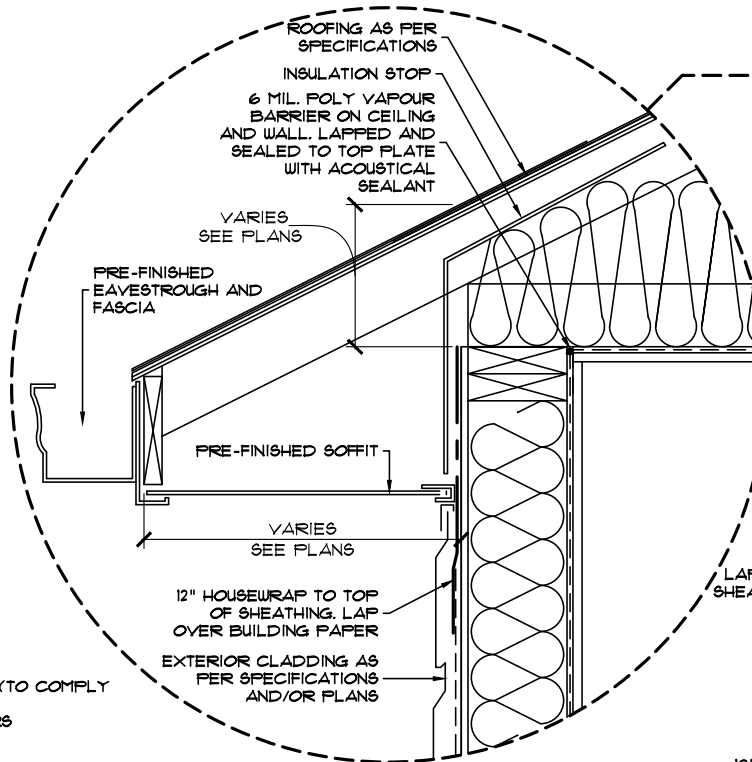
5 BASEMENT FLOOR ASSEMBLY (0.19 RSI)

CUPOLEX CONCRETE FORMS USED AS A BASE BELOW THE BASEMENT CONCRETE SLAB.
REFER TO ENGINEER DETAILS
ACTIVE SUB SLAB DEPRESSURIZATION SYSTEM FOR RADON GAS EXTRACTION
3" CONCRETE SLAB - ALL SEAMS & PENETRATIONS TO BE SEALED WITH FLEXIBLE SEALANT AS PER NBC - 2019 ALBERTA EDITION - 9.25.3.3.(5)

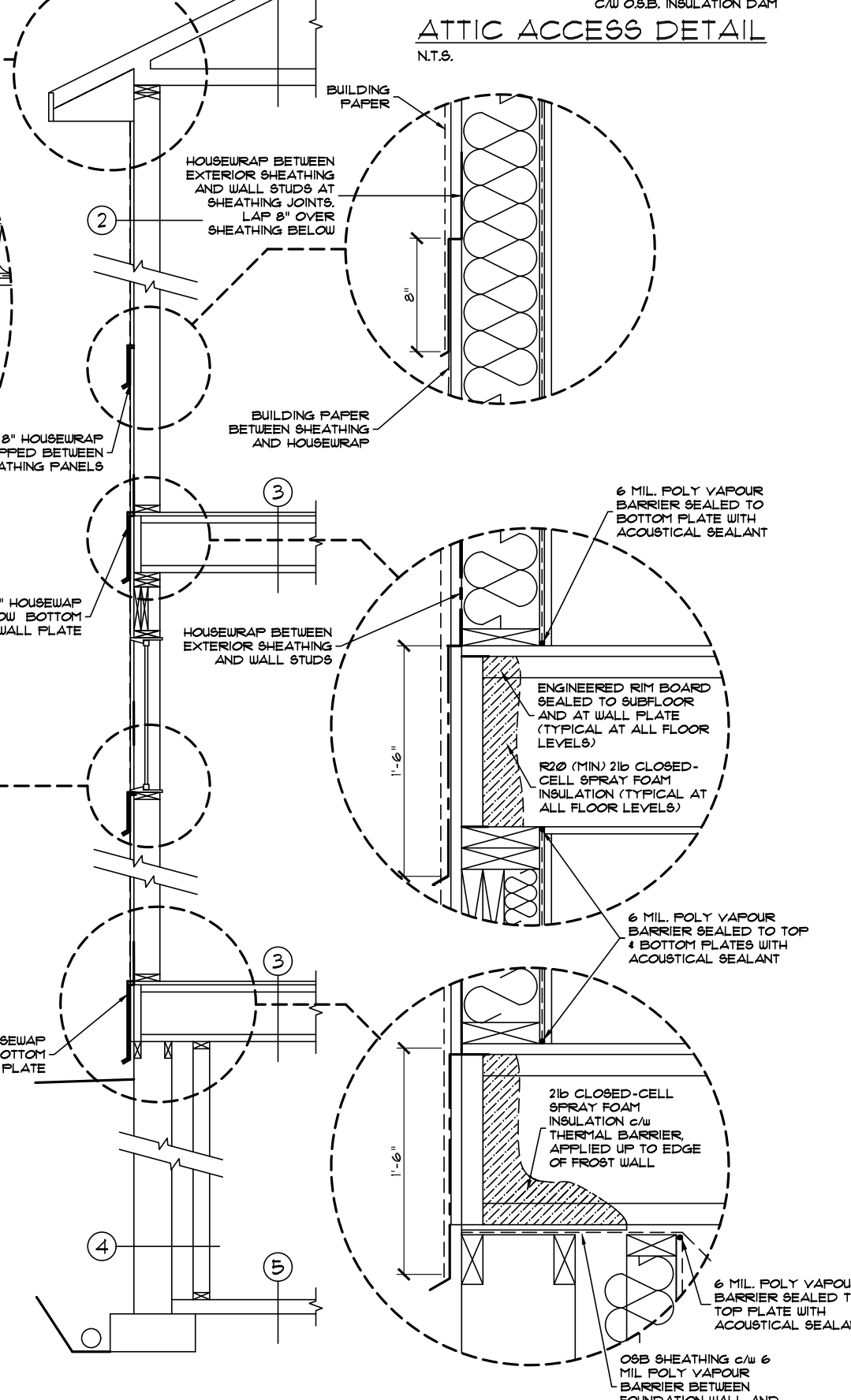
6 INTERIOR WALL ASSEMBLIES (N/A RSI)

1/2" DRYWALL
2X4" STUDS @ 24" O.C. (OR DEEPER STUD IF REQUIRED ON PLANS)
1/2" DRYWALL

1 RSI VALUE EXCLUDES FINISHED CLADDING
2 RSI VALUE EXCLUDES INTERIOR FINISHED FLOOR MATERIAL



INTERIOR WALL INTERSECTION DETAIL
NTS



EXTERIOR ENVELOPE DETAIL
NTS

** ALL WINDOWS/DOORS TO BE AS PER U-VALUES BELOW OR LESS **			
TYPE / OPERATION	GLAZING**	SERIES	U-VALUE (W/m²K)
PICTURE	H82 / H85 W/ ARGON	6500	1.14
SLIDER	H82 / H85 W/ ARGON	6500	1.31
SINGLE HUNG	H82 / H85 W/ ARGON	6500	1.31
CASEMENT	H82 / H85 W/ ARGON	9100	1.19
AWNING	H82 / H85 W/ ARGON	9100	1.19
BASEMENT SLIDER	H82 W/ ARGON	5600	1.31
EXTERIOR DOOR w/ GLAZING	H81 W/ ARGON	--	1.36
EXTERIOR PATIO/GARDEN DOOR	H81 W/ ARGON	--	1.48
EXTERIOR DOOR w/o GLAZING	--	--	0.85

**H81 GLAZING=DUAL PANE (CLEAR / LOW-E)
H82 GLAZING=TRIPLE PANE (CLEAR/CLEAR/LOW-E)
H85 GLAZING=TRIPLE PANE (CLEAR/CLEAR/SUNSTOP)

Model: GLENMORE 4 (H-R) (SHELL4GG-HI)

Date: February 2, 2023

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Address: 1355, 1351, 1347 & 1343 - SANDSTONE BLVD. STRATHCONA, AB
113, 112, 111 & 110 / 143 / 212-2765

Job #: 56084, 56083, 56082 & 56081

Scale: 3/16" = 1'-0"

Drawn By: Krizel Vargas

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Square footage is based on floor area

FACESETTER DESIGN SERIES

PAUSES

17

636 Sq.Ft. GLENMORE 1
636 Sq.Ft. GLENMORE 2

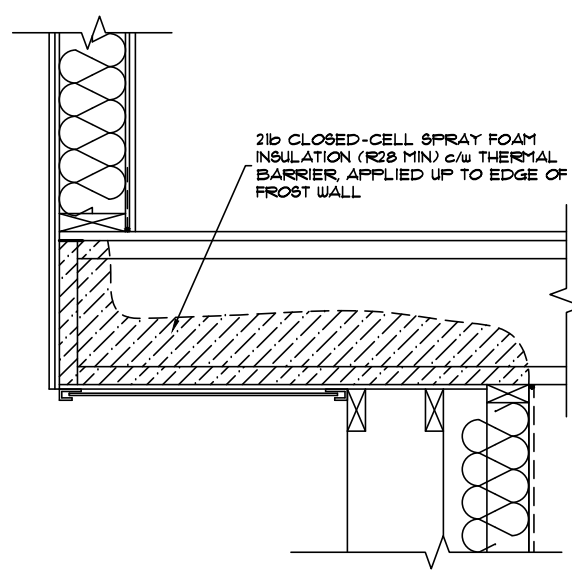
628 Sq.Ft. GLENMORE 1
628 Sq.Ft. GLENMORE 2

1264 Sq.Ft. GLENMORE 1
1264 Sq.Ft. GLENMORE 2

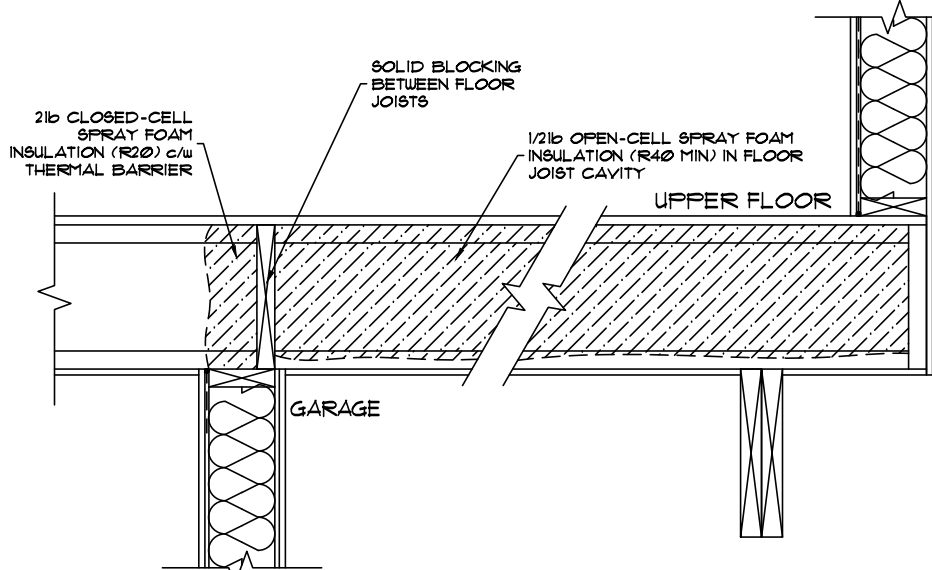
Main: 636 Sq.Ft. GLENMORE 1
636 Sq.Ft. GLENMORE 2

Upper: 628 Sq.Ft. GLENMORE 1
628 Sq.Ft. GLENMORE 2

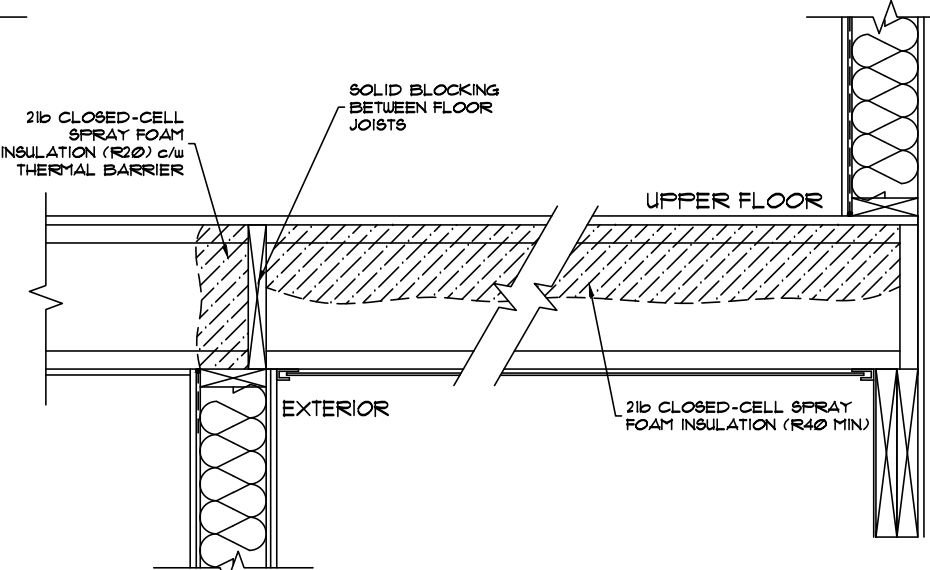
Total: 1264 Sq.Ft. GLENMORE 1
1264 Sq.Ft. GLENMORE 2



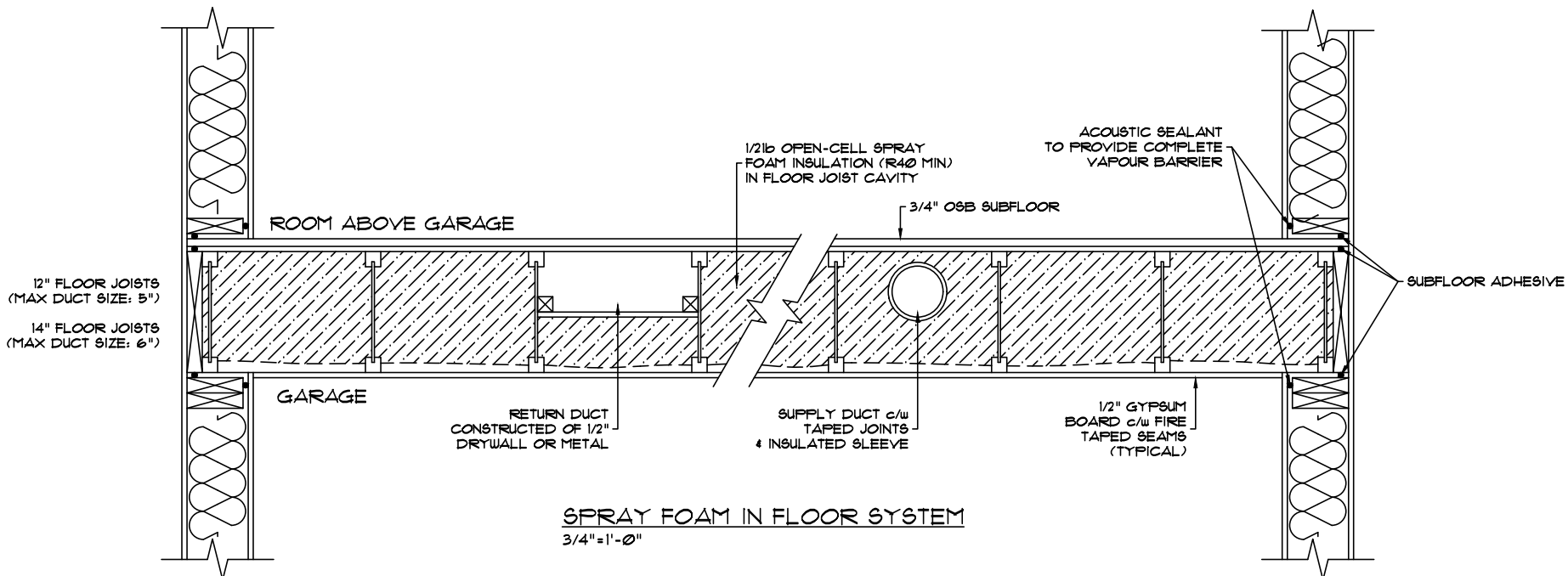
MAIN FLOOR CANTILEVER DETAIL - 3FT OR LESS
3/4"=1'-0"



FLOOR ABOVE UNHEATED SPACE DETAIL
3/4"=1'-0"



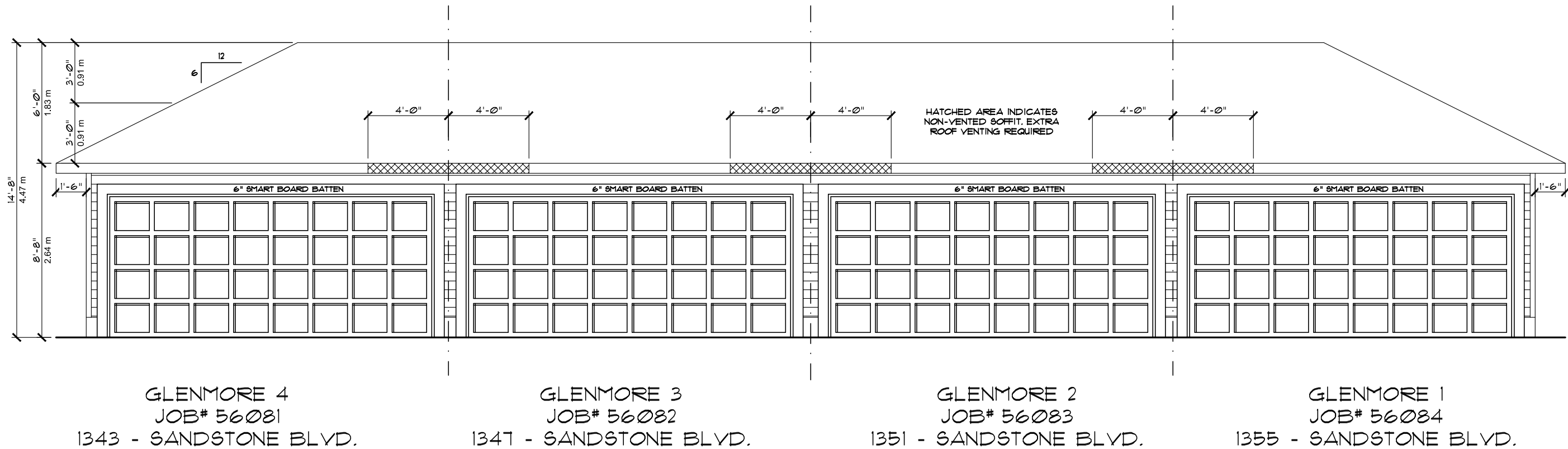
LARGE EXTERIOR OVERHANG DETAIL
3/4"=1'-0"



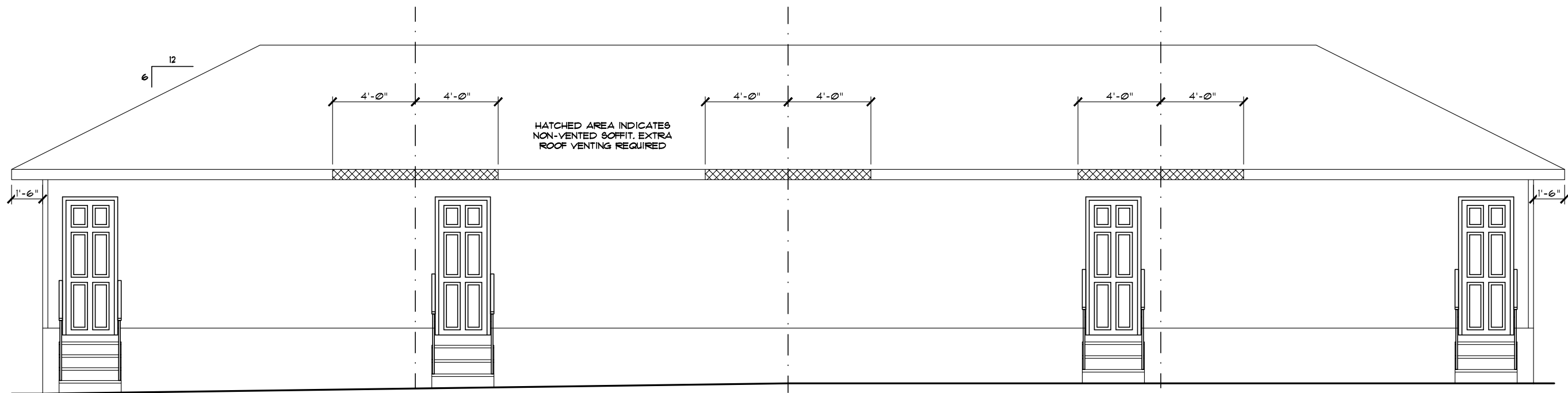
SPRAY FOAM IN FLOOR SYSTEM
3/4"=1'-0"

Address: 1355, 1351, 1347 & 1343 - SANDSTONE BLVD. STRATHCONA, AB		Model: GLENMORE 4 (H-R) (SHELL4GG-HI)	
Job #:56084, 56083, 56082 & 56081		Date: February 2, 2023	Page
Drawn By: Krizel Vargas	SCALE: 3/16"=1'-0"		PACESETTER DESIGN SERIES
	Main:	636 Sq.Ft. GLENMORE 1 636 Sq.Ft. GLENMORE 2	636 Sq.Ft. GLENMORE 3 636 Sq.Ft. GLENMORE 4
	Upper:	629 Sq.Ft. GLENMORE 1 629 Sq.Ft. GLENMORE 2	629 Sq.Ft. GLENMORE 3 629 Sq.Ft. GLENMORE 4
Square footage is based on floor area		Total:	1265 Sq.Ft. GLENMORE 1 1264 Sq.Ft. GLENMORE 2
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		17	17

NOTE!
1. FLASHING IS TO BE INSTALLED
AT ALL APPROPRIATE LOCATIONS
ON ROOF AND ELEVATIONS
(SEE BUILDER'S SPECS).



Address: 1355, 1351, 1347 & 1343 - SANDSTONE BLVD. STRATHCONA, AB Job #: 56084, 56083, 56082 & 56081	Model: GLENMORE 4 (H-R) (SHELL 4GG-HI)		Page
	Date: February 2, 2023		1
	PACESETTER DESIGN SERIES		6
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	Upper:		628 Sq.Ft. GLENMORE 1 679 Sq.Ft. GLENMORE 2
	Total:		1264 Sq.Ft. GLENMORE 1 1265 Sq.Ft. GLENMORE 2
Square footage is based on floor area			
PACESETTER HOMES A QUALICO Company			



HATCHED AREA INDICATES
NON-VENTED SOFFIT. EXTRA
ROOF VENTING REQUIRED

GLENMORE 1
JOB# 56084
1355 - SANDSTONE BLVD.

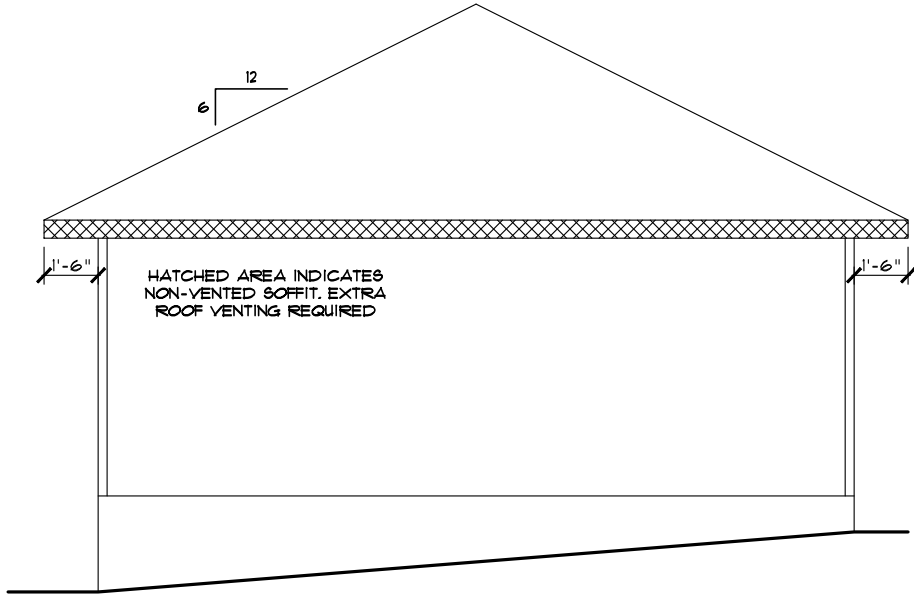
GLENMORE 2
JOB# 56083
1351 - SANDSTONE BLVD.

GLENMORE 3
JOB# 56082
1347 - SANDSTONE BLVD.

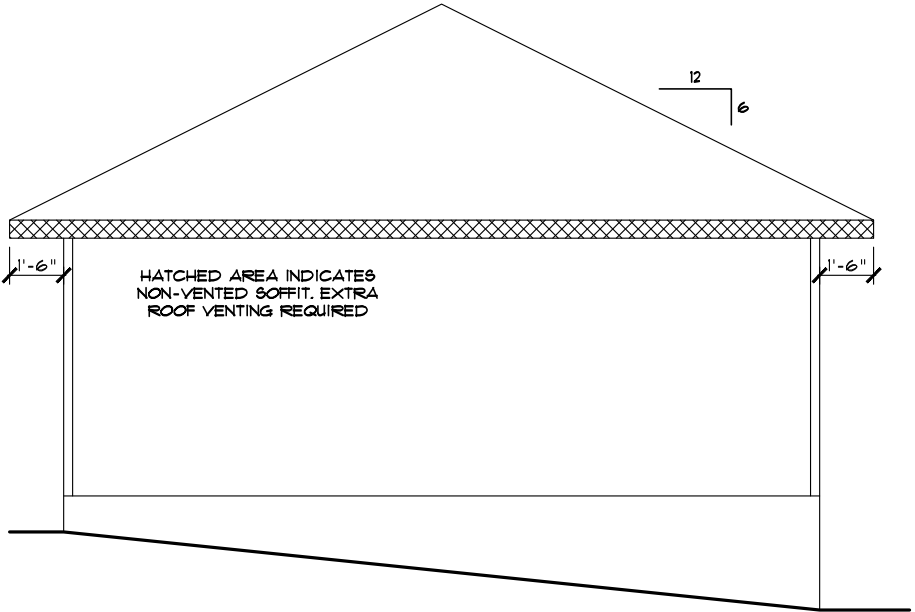
GLENMORE 4
JOB# 56081
1343 - SANDSTONE BLVD.

OVERALL GARAGE REAR ELEVATION

Address: 1355, 1351, 1347 & 1343 - SANDSTONE BLVD. STRATHCONA, AB 135, 112, 111 & 110 / 143 / 212-2765		Model: GLENMORE 4 (H-R) (SHELL4GG-HI)	
Job #: 56084, 56083, 56082 & 56081		Date: February 2, 2023	Page 2
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	Main:	636 Sq.Ft. GLENMORE 1 636 Sq.Ft. GLENMORE 2	
	Upper:	629 Sq.Ft. GLENMORE 1 629 Sq.Ft. GLENMORE 2	
Square footage is based on floor area		Total:	1265 Sq.Ft. GLENMORE 1 1264 Sq.Ft. GLENMORE 2

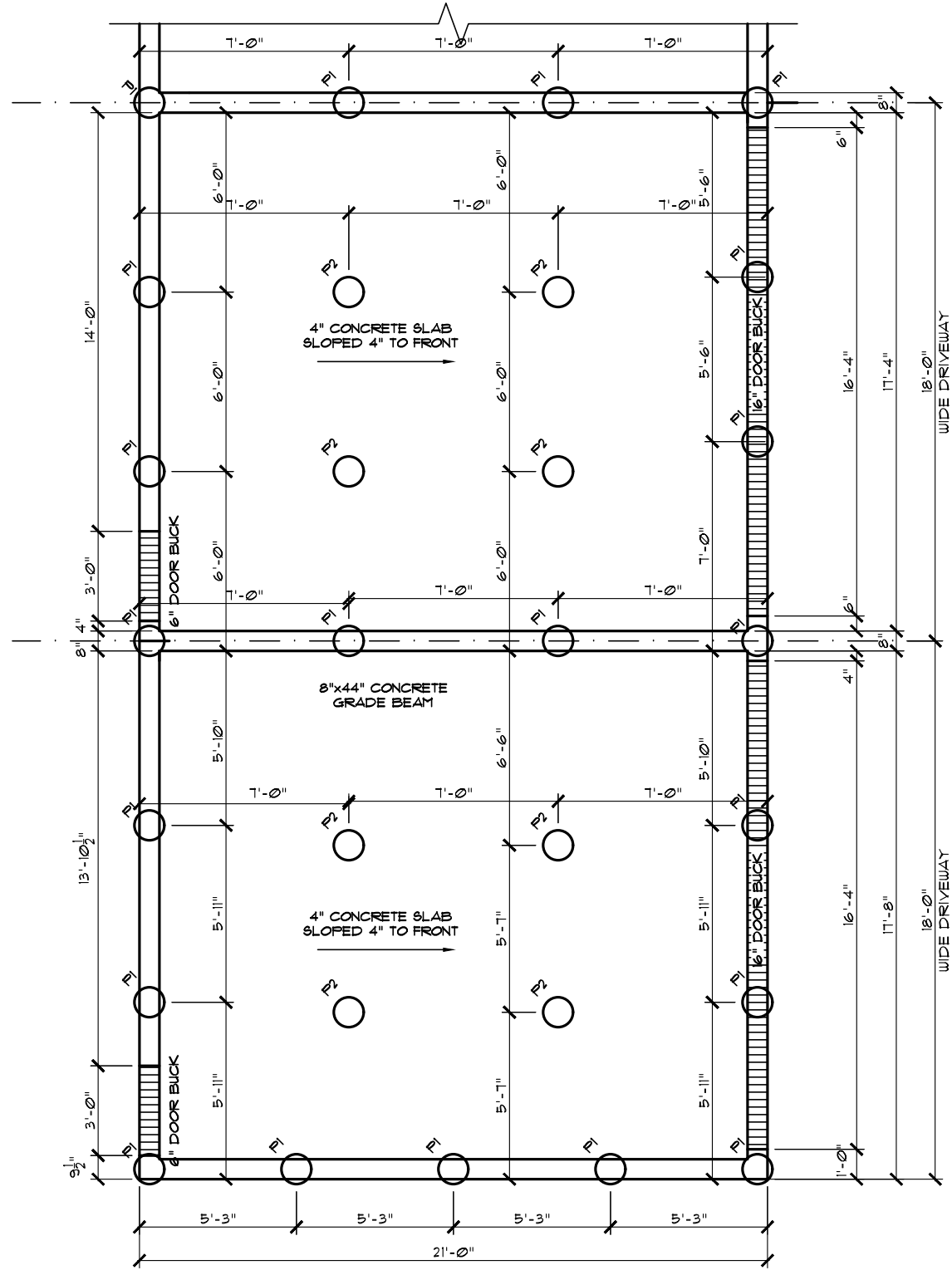


LEFT ELEVATION
(GARAGE)



RIGHT ELEVATION
(GARAGE)

Address: 1355, 1351, 1347 & 1343 - SANDSTONE BLVD. STRATHCONA, AB 113, 112, 111 & 110 / 143 / 212-2765		Model: GLENMORE 4 (H-R) (SHELL4GG-HI)	
Job #: 56084, 56083, 56082 & 56081		SCALE: 3/16" = 1'-0"	
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	Upper:	623 Sq.Ft. GLENMORE 1 628 Sq.Ft. GLENMORE 2	628 Sq.Ft. GLENMORE 3 623 Sq.Ft. GLENMORE 4
	Total:	1265 Sq.Ft. GLENMORE 1 1264 Sq.Ft. GLENMORE 2	1264 Sq.Ft. GLENMORE 3 1265 Sq.Ft. GLENMORE 4
Square footage is based on floor area		PACESSETTER DESIGN SERIES	
		 Pacesetter HOMES A QUALICO Company	
		Date: February 2, 2023	
		Page 3	
		6	



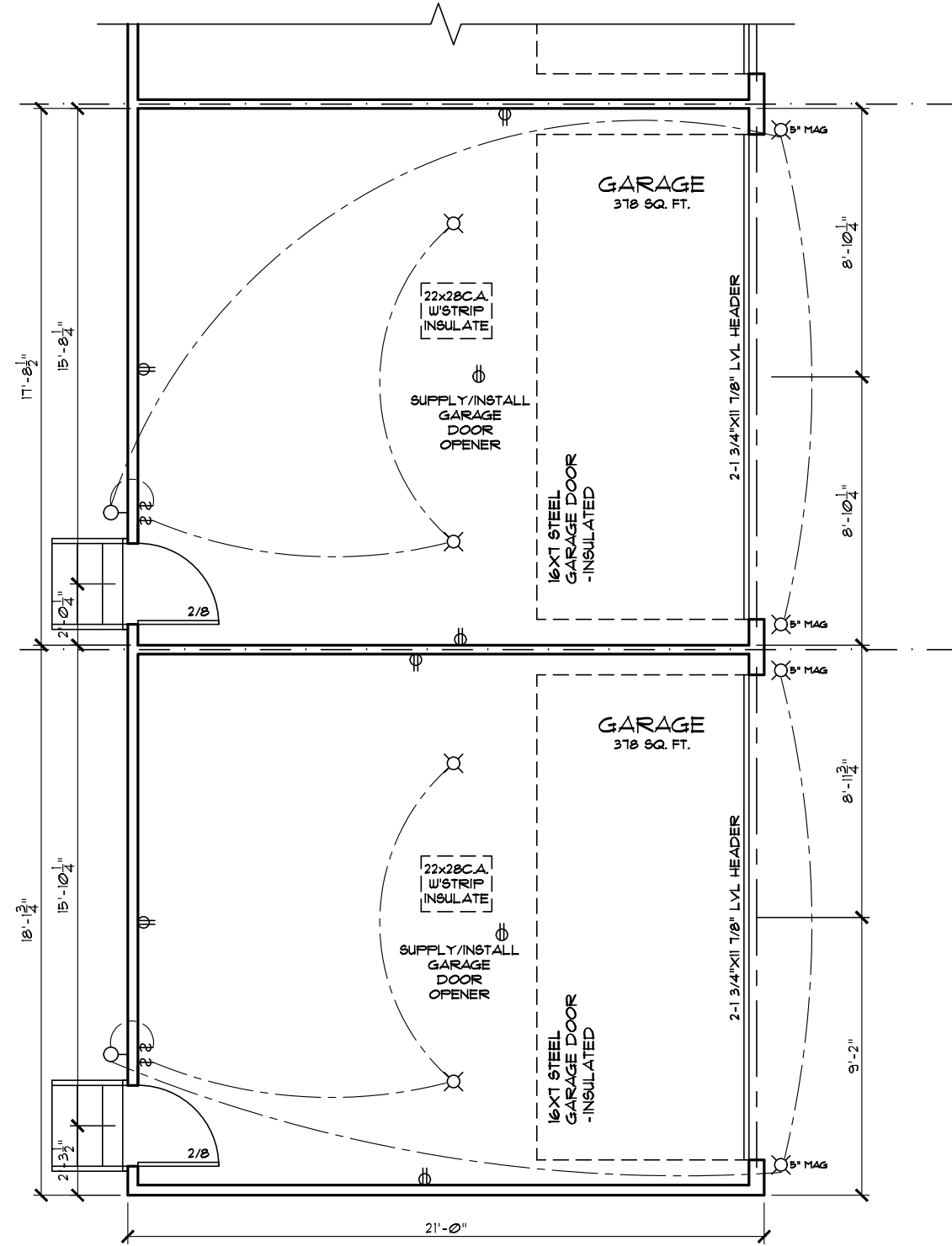
PARTIAL GARAGE
FOUNDATION PLAN

PILE LEGEND			
	DIAM.	PILE DEPTH	AMOUNT & SIZE OF REBAR
Ⓐ	12"	12'-0"	2-15 M
Ⓑ	12"	12'-0"	2-10 M
Ⓒ	12"	15'-0"	2-15 M

GLENMORE 4
JOB# 56081
1343 - SANDSTONE BLVD.

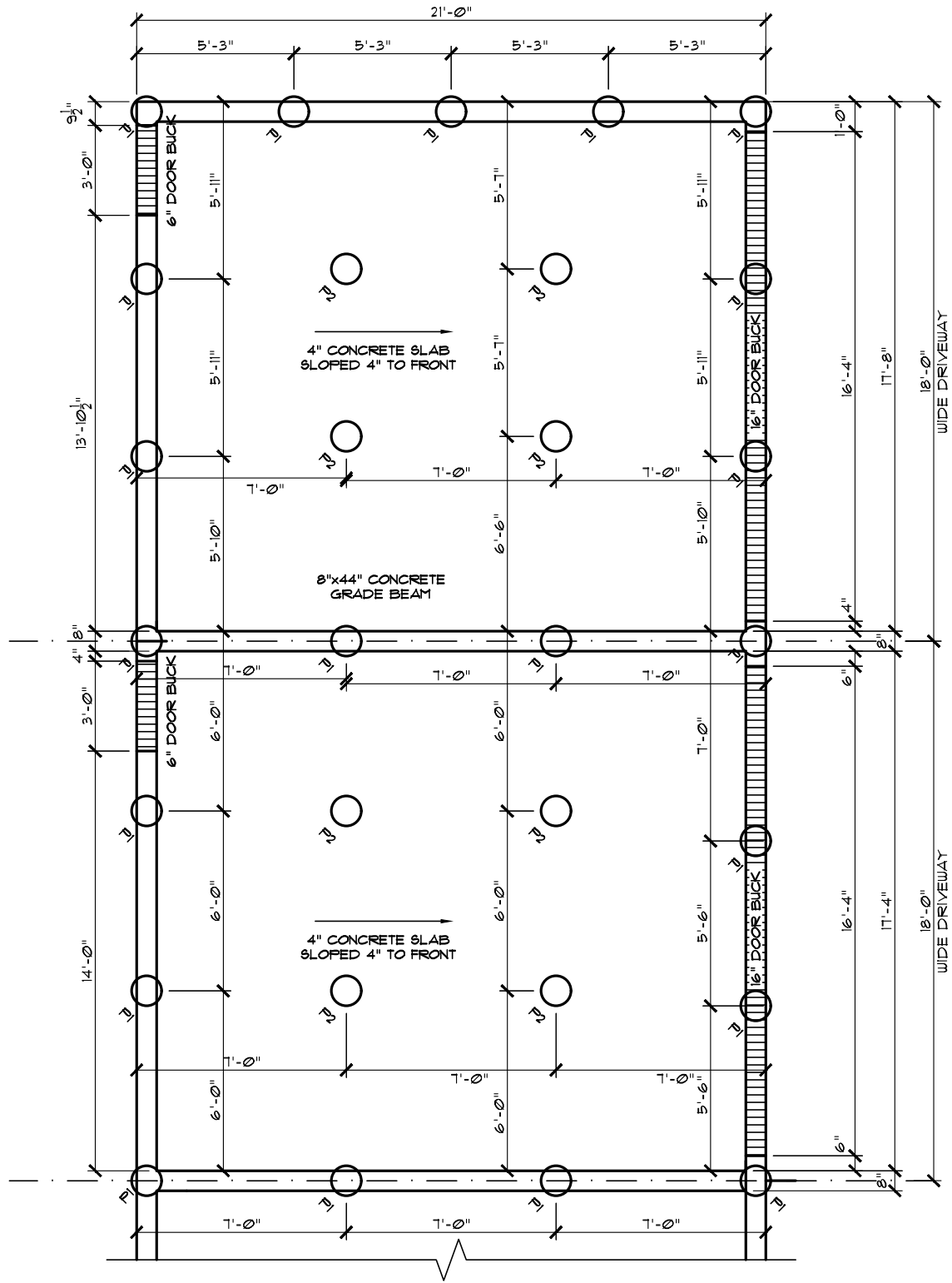
GLENMORE 3
JOB# 56082
1347 - SANDSTONE BLVD.

NOTE!
1. DIMENSIONS SHOWN ARE TO FACE OF MEMBER OR EXTERIOR WALL FACE UNLESS SHOWN OTHERWISE.



PARTIAL GARAGE
FLOOR PLAN

Address: 1355, 1351, 1347 & 1343 - SANDSTONE BLVD. STRATHCONA, AB 113, 112, 111 & 110 / 143 / 212-2765		Model: GLENMORE 4 (H-R) (SHELL4GG-HI)	
Job #:56084, 56083, 56082 & 56081		Date: February 2, 2023	Page 4
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	Main:	636 Sq.Ft. GLENMORE 1 636 Sq.Ft. GLENMORE 2	
	Upper:	629 Sq.Ft. GLENMORE 1 629 Sq.Ft. GLENMORE 2	
Square footage is based on floor area		Total:	1264 Sq.Ft. GLENMORE 1 1265 Sq.Ft. GLENMORE 2



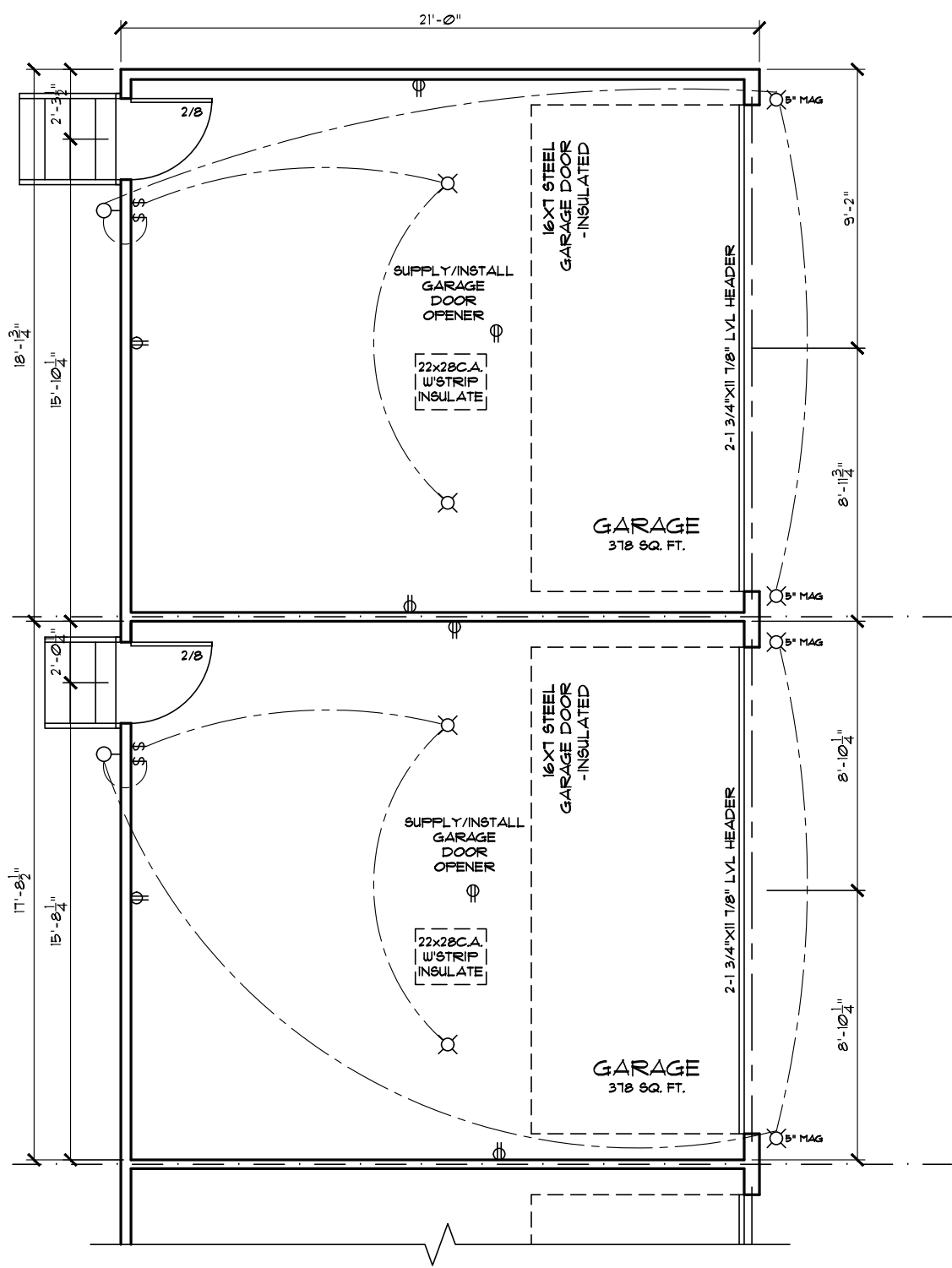
PARTIAL GARAGE
FOUNDATION PLAN

NOTE!
1. DIMENSIONS SHOWN ARE TO FACE OF MEMBER OR EXTERIOR WALL FACE UNLESS SHOWN OTHERWISE.

GLENMORE 1
JOB# 56084
1355 - SANDSTONE BLVD.

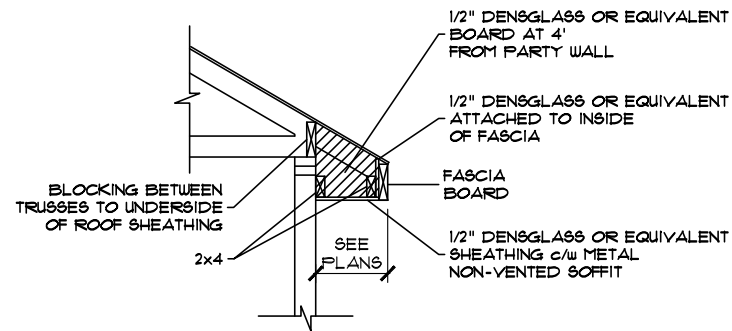
GLENMORE 2
JOB# 56083
1351 - SANDSTONE BLVD.

PILE LEGEND			
	DIAM.	PILE DEPTH	AMOUNT & SIZE OF REBAR
Ø1	12"	12'-0"	2-15 M
Ø2	12"	12'-0"	2-10 M
Ø3	12"	15'-0"	2-15 M



PARTIAL GARAGE
FLOOR PLAN

Address: 1355, 1351, 1347 & 1343 - SANDSTONE BLVD. STRATHCONA, AB 113, 112, 111 & 110 / 143 / 212-2765		Model: GLENMORE 4 (H-R) (SHELL4GG-HI)	
Job #: 56084, 56083, 56082 & 56081		Date: February 2, 2023	
Drawn By: Krizel Vargas	Main:		PACESETTER DESIGN SERIES
	Upper:		
	Total:		
Square footage is based on floor area		636 Sq.Ft. GLENMORE 1 636 Sq.Ft. GLENMORE 2	636 Sq.Ft. GLENMORE 3 636 Sq.Ft. GLENMORE 4
		629 Sq.Ft. GLENMORE 1 629 Sq.Ft. GLENMORE 2	628 Sq.Ft. GLENMORE 3 629 Sq.Ft. GLENMORE 4
		1265 Sq.Ft. GLENMORE 1 1264 Sq.Ft. GLENMORE 2	1264 Sq.Ft. GLENMORE 3 1265 Sq.Ft. GLENMORE 4
		PACESETTER HOMES A QUALICO Company	
		Page 5	



OVERHANG DETAIL
(4' ON EACH SIDE OF PARTY WALLS)

GARAGE CONSTRUCTION

- 1

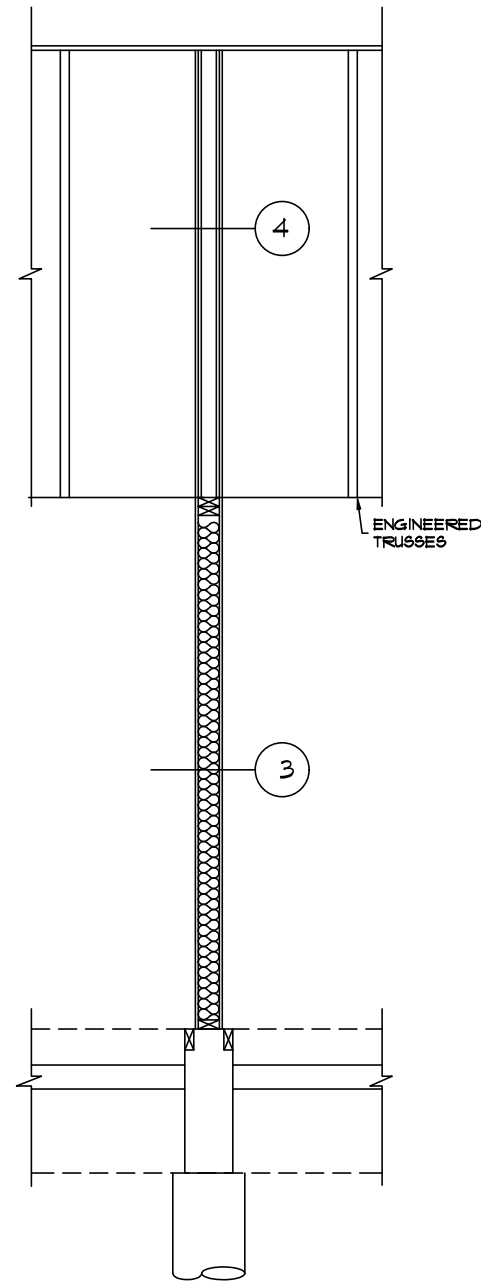
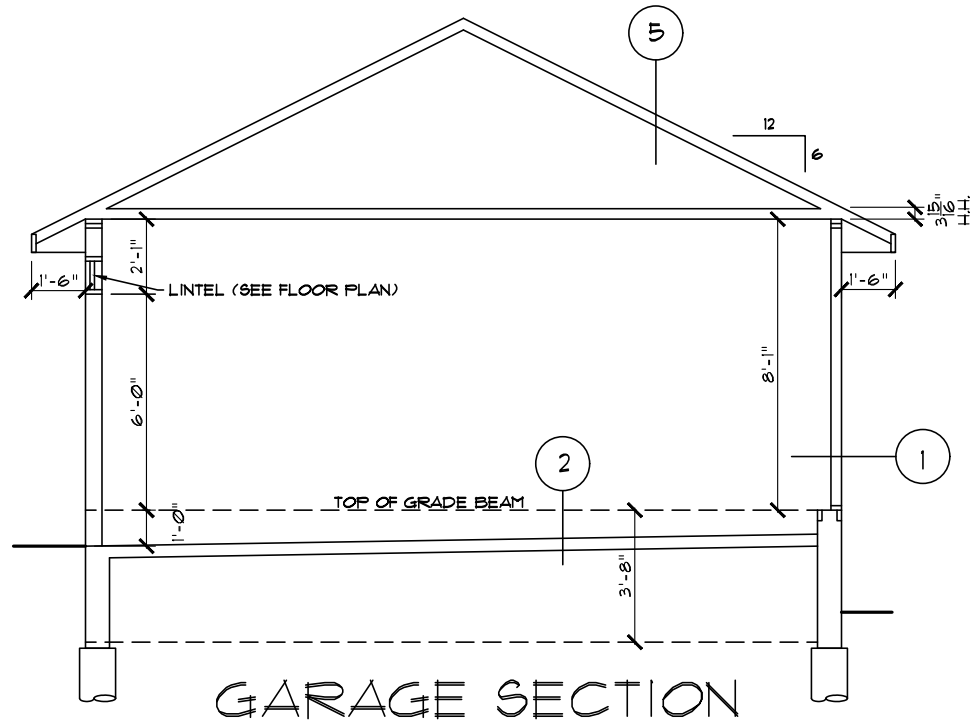
EXTERIOR WALL
VINYL SIDING W/PRE-FINISHED METAL BATTENS
BUILDING PAPER (AS REQ'D)
3/8" OSB SHEATHING
2 X 4 STUDS @ 16" O.C.
BATT INSULATION(OPTIONAL)
6 MIL POLY V.B.
1/2 DRYWALL (OPTIONAL)
- 2

4" CONCRETE SLAB ON GRADE
10M REBARS @ 24" O.C. EACH WAY
6" SAND FILL
- 3

FIRE WALL
5/8" TYPE "X" GYP. B'D.
2x4 STUDS @ 16"O.C.
BATT INSULATION
5/8" TYPE "X" GYP. B'D.
(10 HOUR FIRE RATING)
- 4

ATTIC SEPARATION
5/8" TYPE "X" GYP. B'D.
ENGIN. TRUSSES
5/8" TYPE "X" GYP. B'D.
(10 HOUR FIRE RATING)
- 5

ROOF CONSTRUCTION
ASPHALT SHINGLES
3/8" O.S.B. SHEATHING c/w 'H'CLIPS
ENGINEERED WOOD TRUSSES @24" o/c



Address: 1355, 1351, 1347 & 1343 - SANDSTONE BLVD. STRATHCONA, AB 113, 112, 111 & 110 / 143 / 212-2765	Model: GLENMORE 4 (H-R) (SHELL4GG-HI)		Page
	Date: February 2, 2023		6
	PACESETTER DESIGN SERIES		6
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	Main:	636 Sq.Ft. GLENMORE 1 636 Sq.Ft. GLENMORE 2	
	Upper:	629 Sq.Ft. GLENMORE 1 629 Sq.Ft. GLENMORE 2	
Total:		1265 Sq.Ft. GLENMORE 1 1265 Sq.Ft. GLENMORE 2	Square footage is based on floor area