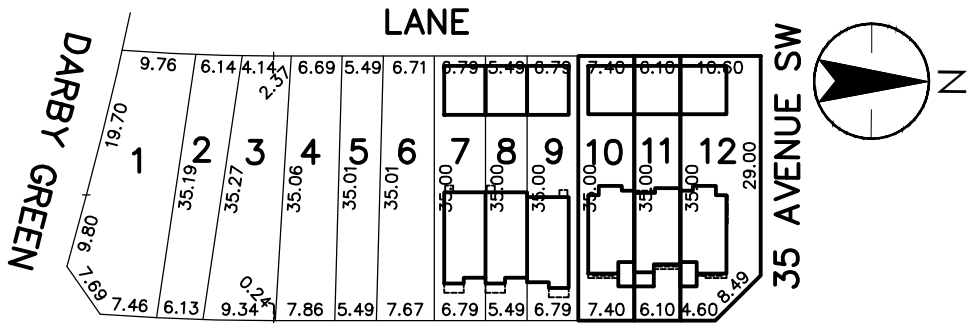




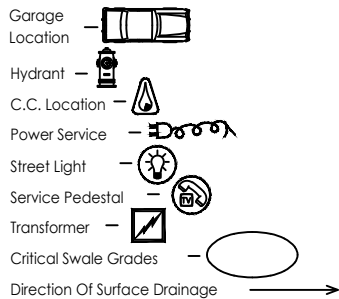
DESROCHERS BOULEVARD

PRIVATE EASEMENT REQUIRED
FOR LOT TO LOT DRAINAGE

BASEMENT LOCATION MUST BE EXACT.
CONTACT STANTEC GEOMATICS TO
PINPOINT WALL LOCATION ON FOOTINGS
SURVEY.EDMONTON@STANTEC.COM

CITY OF EDMONTON
LANDSCAPING REQUIREMENTS
(PER DWELLING):
1 DECIDUOUS TREE
1 CONIFEROUS TREE
4 SHRUBS

LEFT-
DRAINAGE TYPE - STANDARD SPLIT
RIGHT-
DRAINAGE TYPE - TRANSITION LOT



House Type 2 STOREY
Finished Floor 700.21
Bottom Footing 697.12

Finished Grade Front 699.50 3 RISE + DOWN 4" + 2 RISE
Finished Grade Back Left = 699.66 Mid = 699.71 Right = 699.50

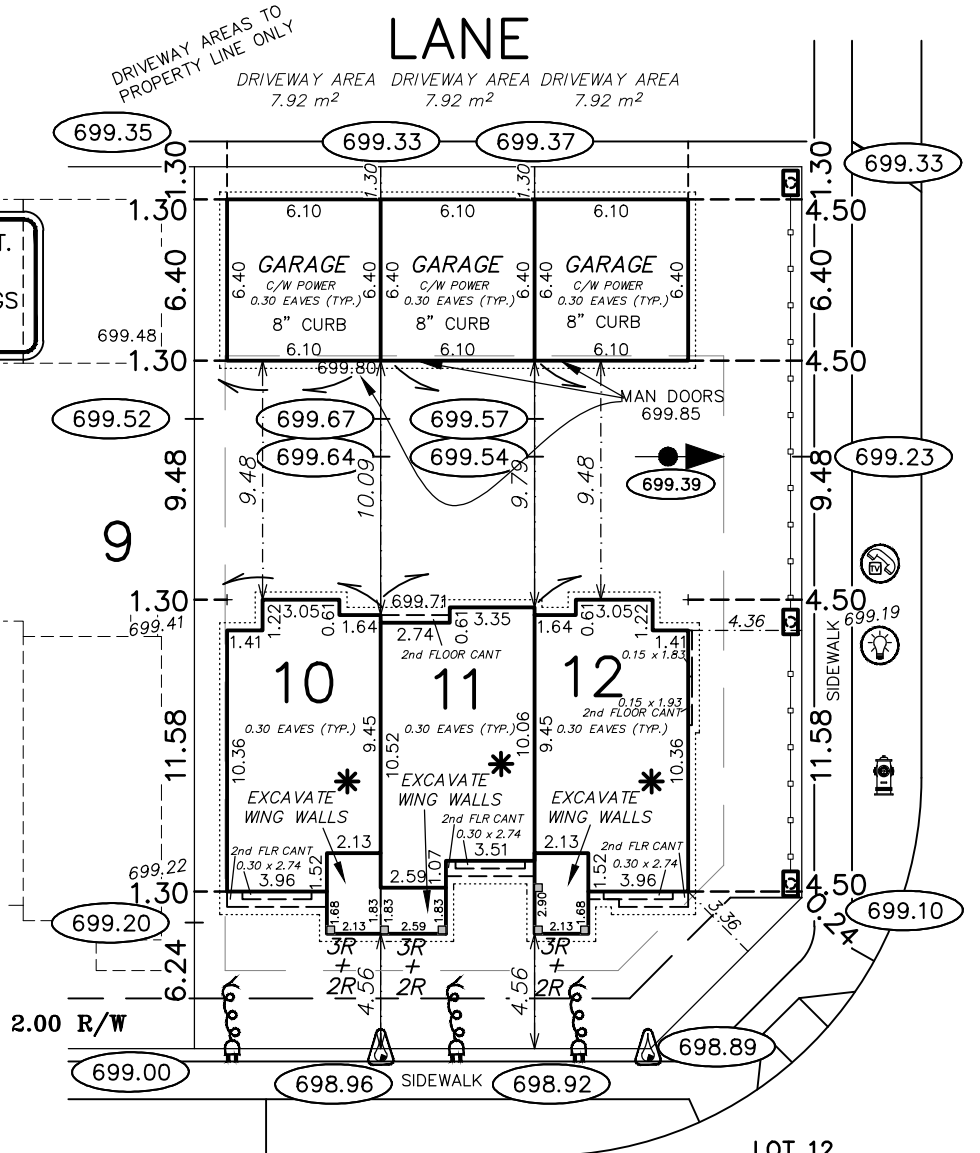
Bottom Back Door Sill 700.21
Bottom Bsm't Window WELLS AS REQ'D
Top Conc. Bsm't Wall 699.91

Finished Garage Floor Back = 699.65 Front = 699.55
Sanitary Sewer Invert 10&11: 696.21 12: 696.14

JOIST 0.30 CONC.WALL 2.59 FOOTING 0.20 REVISION
DH 08/23/21

AFFIRMED & ALYDAR 3 (3-PLEX)

SCALE 1:300 0 5 10 15 RF5



LOT 10 FRONT
LOT AREA = 259.00 m²
HOUSE AREA = 73.88 m²
HOUSE COVERAGE = 28.53 %
GARAGE AREA = 38.99 m²
GARAGE COVERAGE = 15.05 %
TOTAL SITE COVERAGE = 43.58 %
AMENITY AREA = 70.19 m²

LOT 12
LOT AREA = 353.00 m²
HOUSE AREA = 74.08 m²
HOUSE COVERAGE = 20.99 %
GARAGE AREA = 38.99 m²
GARAGE COVERAGE = 11.05 %
TOTAL SITE COVERAGE = 32.03 %
AMENITY AREA = 188.88 m²

LOT 11
LOT AREA = 213.50 m²
HOUSE AREA = 70.12 m²
HOUSE COVERAGE = 32.84 %
GARAGE AREA = 38.99 m²
GARAGE COVERAGE = 18.26 %
TOTAL SITE COVERAGE = 51.10 %
AMENITY AREA = 59.71 m²

Foundation Wall Height: 8' 6"

*It is the responsibility of the builder to contact the soils consultant to determine if there are any special considerations pertaining to house foundation construction.
*The elevation of this house has been designed so that it will be in conformance with the lot grading plan.
*This plan is subject to the approval of the local approving authority and the agent responsible for the architectural control guidelines.
*Stantec Geomatics will accept no responsibility for any costs incurred due to an error or omission on this plan if construction starts prior to the subject approvals.
*All dimensions and services shown must be confirmed by contractor prior to excavation.
*All distances shown are in metres and decimals thereof.
*This Plot Plan is the property of Stantec Geomatics. It is forbidden to use this Plot Plan for survey layout of the building location and/or elevation without prior written consent from Stantec Geomatics.

Legal Description
LOT10,11,12 BLOCK 8 PLAN 182-2690
DESROCHERS

Municipal Address
208, 206, 204 DESROCHERS BOULEVARD SW
EDMONTON

Builder
PACESETTER HOMES

Title
Plot Plan
Your File: 50290 (50291-50292-50293)
DH 08/12/21 PP



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