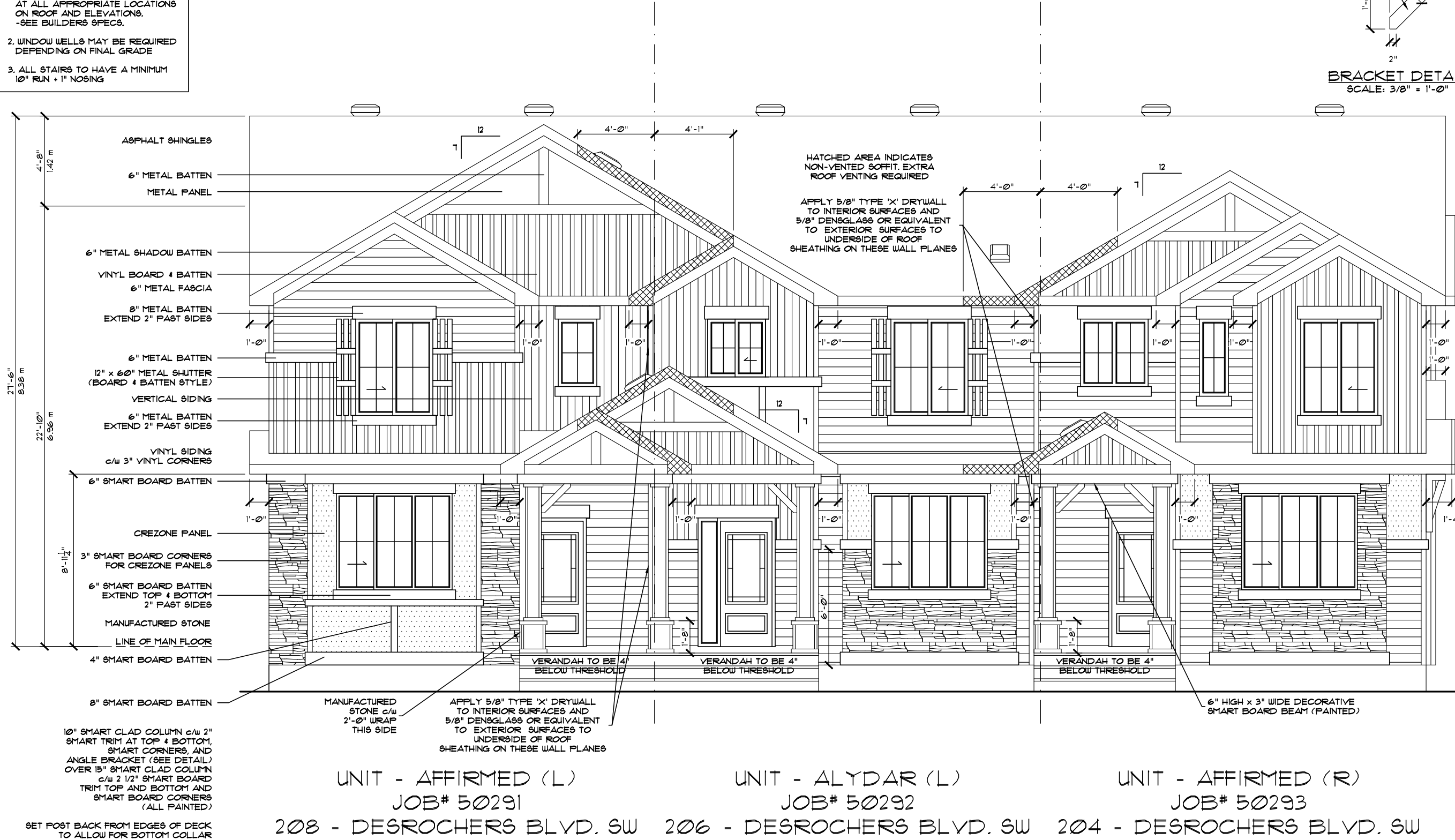


- NOTE!
1. FLASHING IS TO BE INSTALLED AT ALL APPROPRIATE LOCATIONS ON ROOF AND ELEVATIONS.
-SEE BUILDERS SPECS.

2. WINDOW WELLS MAY BE REQUIRED DEPENDING ON FINAL GRADE

3. ALL STAIRS TO HAVE A MINIMUM 10" RUN + 1" NOSING



UNIT - AFFIRMED (L)
JOB# 50291

UNIT - ALYDAR (L)
JOB# 50292

UNIT - AFFIRMED (R)
JOB# 50293

208 - DESROCHERS BLVD. SW

206 - DESROCHERS BLVD. SW

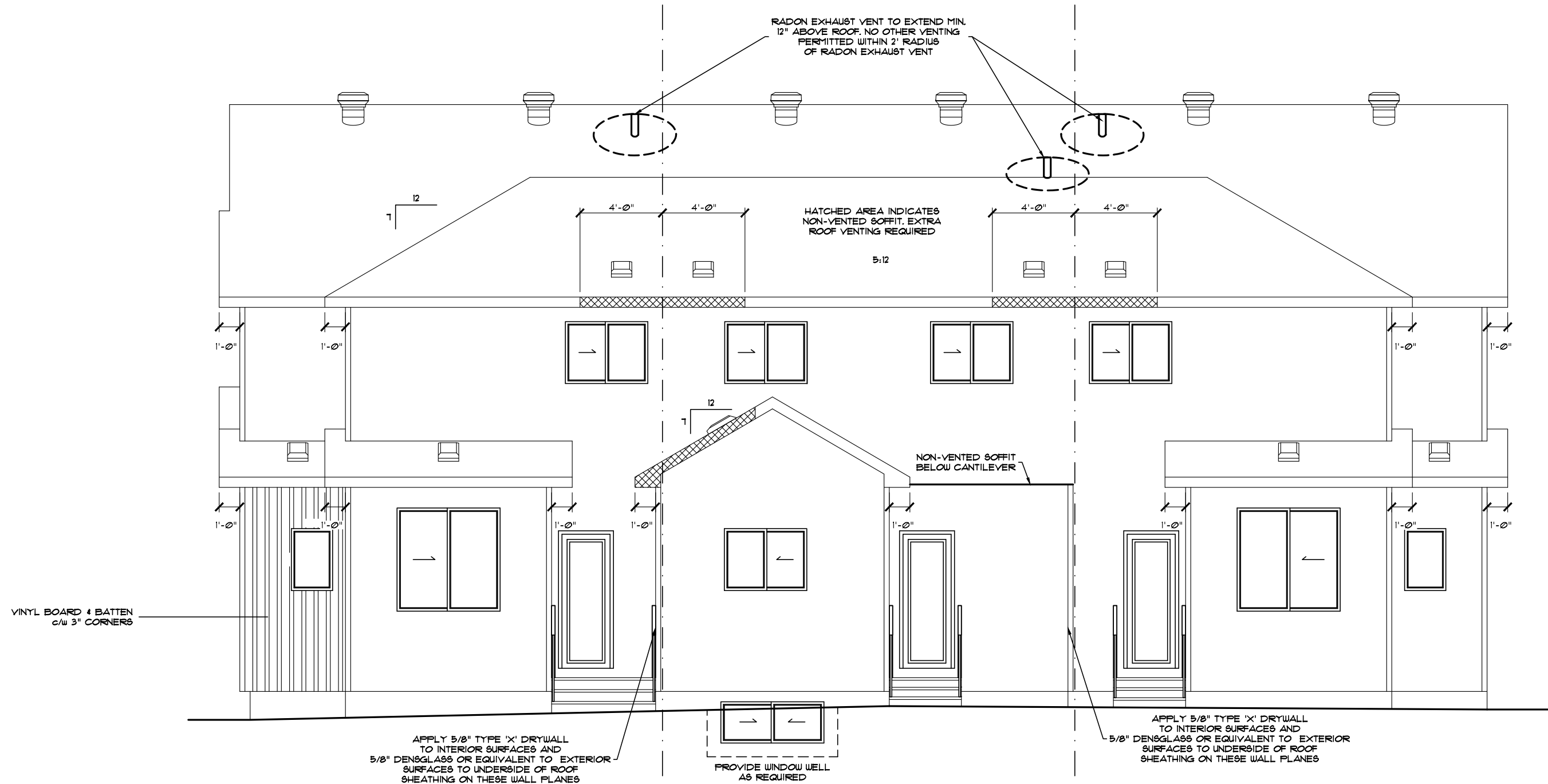
204 - DESROCHERS BLVD. SW

FRONT ELEVATION

** ALL WINDOWS TO BE LOW E **
** TRI-PANE WINDOWS **
THROUGHOUT

(UNLESS NOTED OTHERWISE)

Model: AFFIRMED-ALYDAR 3 (NR) (SHELL3AA-N2)		Page	1	13
Date: January 6, 2022		PACESETTER DESIGN SERIES		
Address: 208, 206 & 204 - DESROCHERS BLVD. SW EDMONTON, AB Job #: 50291, 50292 & 50293 Drawn By: Krizel Vargas		SCALE: 3/16" = 1'-0"		
		Main:	649 Sq.Ft. UNIT - AFFIRMED (L) 634 Sq.Ft. UNIT - ALYDAR (L)	648 Sq.Ft. UNIT - AFFIRMED (R)
		Upper:	661 Sq.Ft. UNIT - AFFIRMED (L) 633 Sq.Ft. UNIT - ALYDAR (L)	663 Sq.Ft. UNIT - AFFIRMED (R)
		Total:	1310 Sq.Ft. UNIT - AFFIRMED (L) 1261 Sq.Ft. UNIT - ALYDAR (L)	1311 Sq.Ft. UNIT - AFFIRMED (R)
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UNIT - AFFIRMED (R)
JOB# 50293
204 - DESROCHERS BLVD. SW

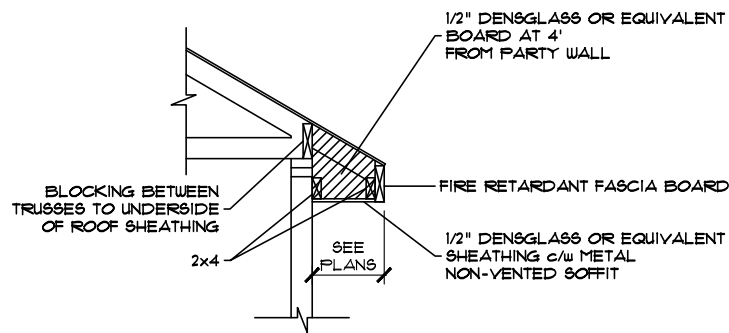
UNIT - ALYDAR (L)
JOB# 50292
206 - DESROCHERS BLVD. SW

UNIT - AFFIRMED (L)
JOB# 50291
208 - DESROCHERS BLVD. SW

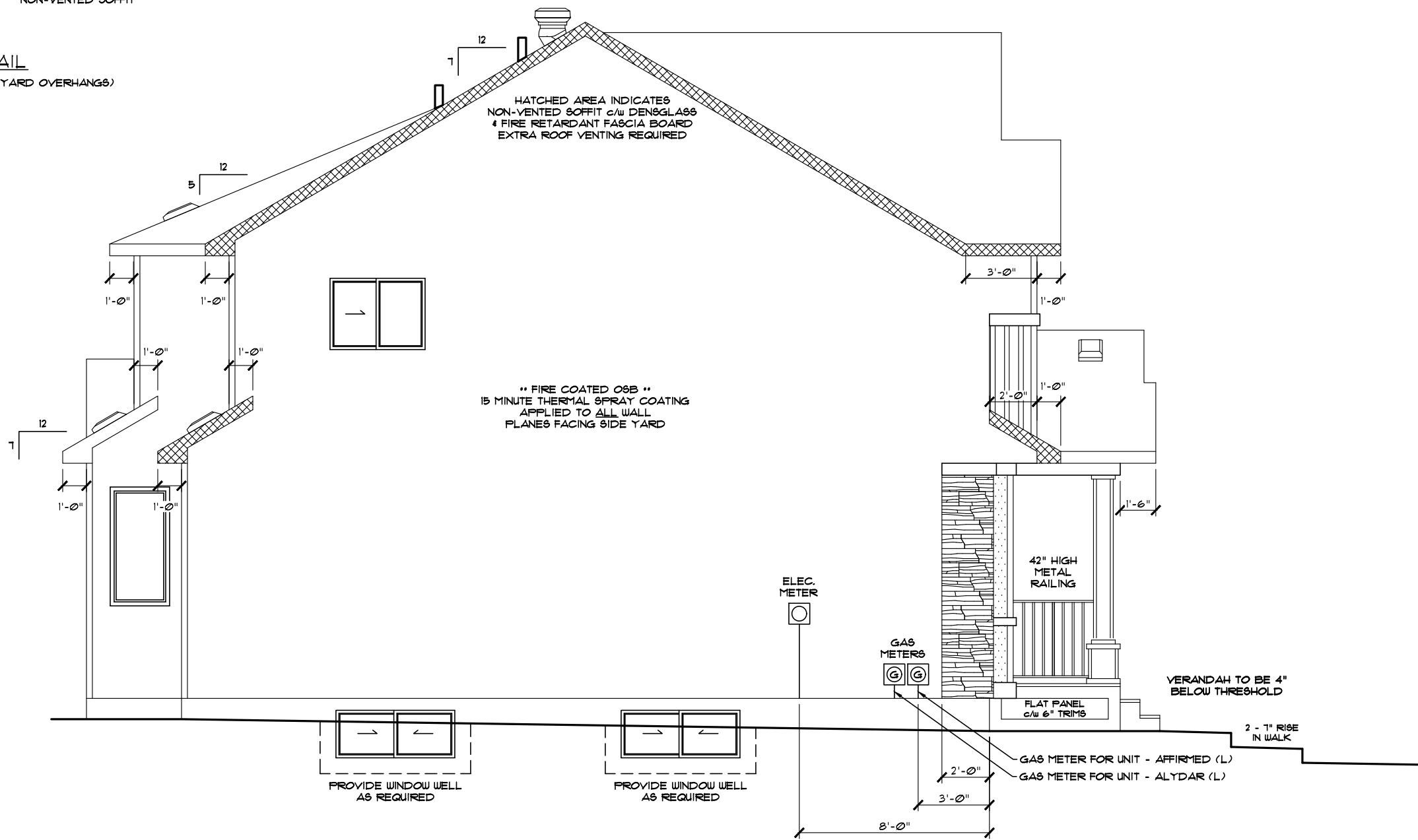
REAR ELEVATION
** ALL WINDOWS TO BE LOW E **
** TRI-PANE WINDOWS **
THROUGHOUT

(UNLESS NOTED OTHERWISE)

Address: 208, 206 & 204 - DESROCHERS BLVD. SW EDMONTON, AB 10, 11 & 12 / 08 / 182-2690		Model: AFFIRMED-ALYDAR 3 (NR) (SHELL3AA-N2)		Page
Job #: 50291, 50292 & 50293		Date: January 6, 2022		
Drawn By: Krizel Vargas	These blueprints are the property of Pacesetter Homes Ltd. 3203 - 93 Street, Edmonton, Alberta T6N 0B2. All rights reserved, including the right of reproduction in whole or in part, in any form, without the written permission of Pacesetter Homes Ltd.	Main:		PACESETTER DESIGN SERIES
		Upper:		
		Total:		 A QUALICO Company
		649 Sq.Ft. UNIT - AFFIRMED (L) 634 Sq.Ft. UNIT - ALYDAR (L)	648 Sq.Ft. UNIT - AFFIRMED (R)	2
		661 Sq.Ft. UNIT - AFFIRMED (L) 663 Sq.Ft. UNIT - ALYDAR (L)	663 Sq.Ft. UNIT - AFFIRMED (R)	13
		1310 Sq.Ft. UNIT - AFFIRMED (L) 1261 Sq.Ft. UNIT - ALYDAR (L)	1311 Sq.Ft. UNIT - AFFIRMED (R)	



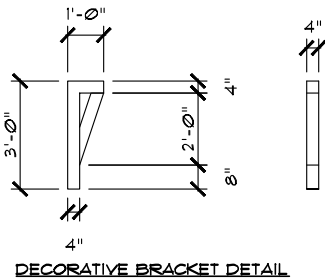
OVERHANG DETAIL
(4' ON EACH SIDE OF PARTY WALLS & SIDEYARD OVERHANGS)



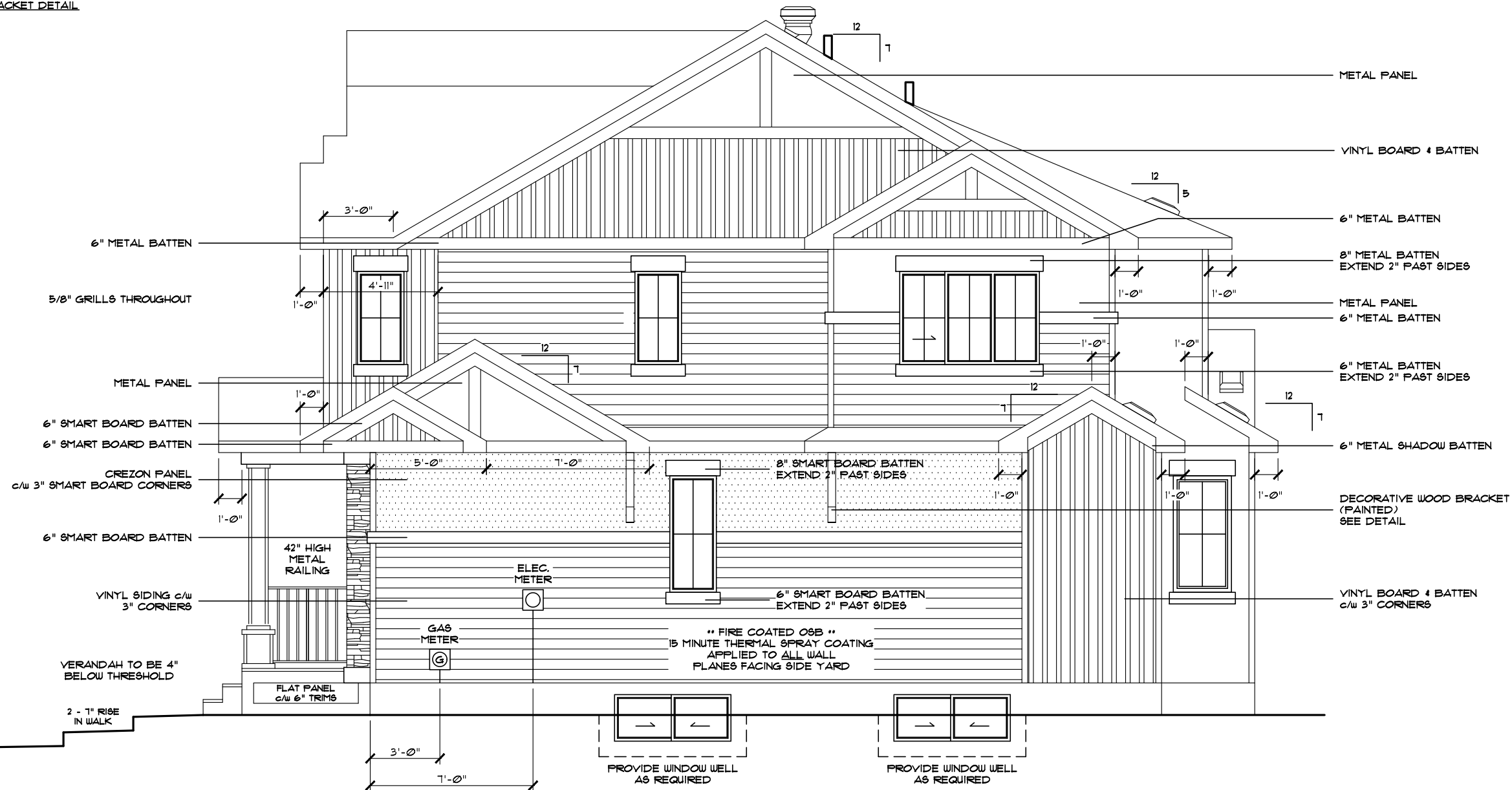
LEFT ELEVATION
** ALL WINDOWS TO BE LOW E **
** TRI-PANE WINDOWS **
THROUGHOUT

(UNLESS NOTED OTHERWISE)

Address: 208, 206 & 204 - DESROCHERS BLVD. SW EDMONTON, AB 10, 11 & 12 / 08 / 182-2690		Model: AFFIRMED-ALYDAR 3 (NR) (SHELL3AA-N2)		Page
Job #: 50291, 50292 & 50293		Date: January 6, 2022		
Drawn By: Krizel Vargas	Main:		PACESETTER DESIGN SERIES	
	Upper:		 A QUALICO Company	
	Total:			
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DECORATIVE BRACKET DETAIL



RIGHT ELEVATION
** ALL WINDOWS TO BE LOW E **
** TRI-PANE WINDOWS **
THROUGHOUT

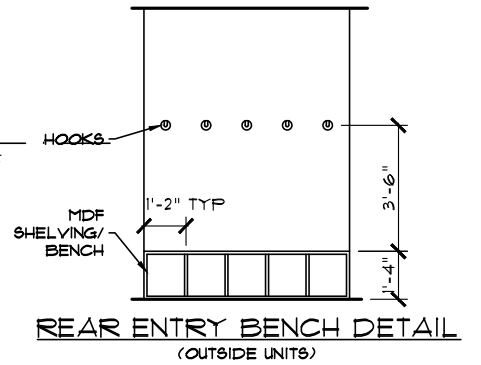
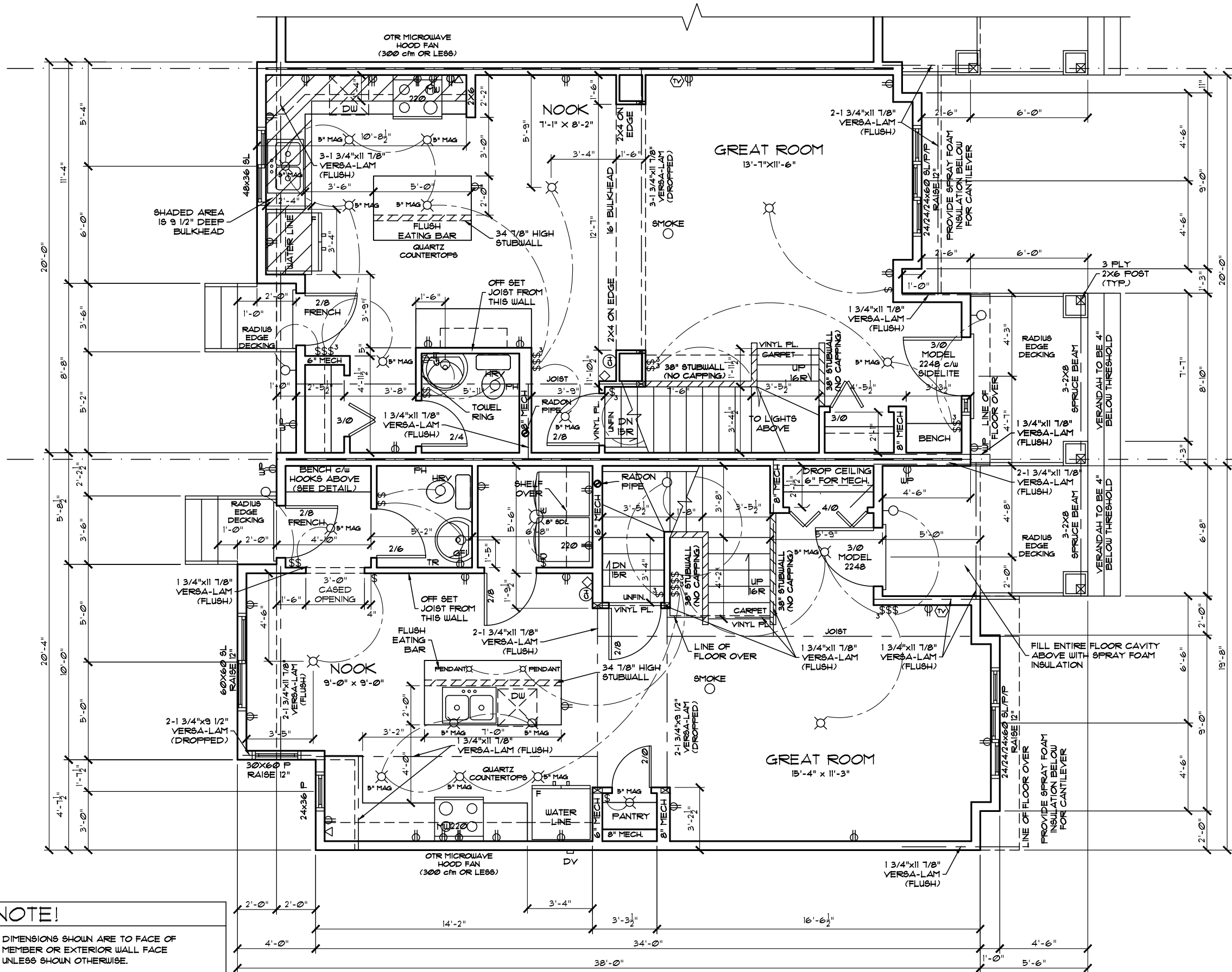
(UNLESS NOTED OTHERWISE)

Model: AFFIRMED-ALYDAR 3 (NR) (SHELL3AA-N2)		Page	
Date: January 6, 2022		4	
PACESETTER DESIGN SERIES			
Address: 208, 206 & 204 - DESROCHERS BLVD. SW EDMONTON, AB		SCALE: 3/16" = 1'-0"	
Job #: 50291, 50292 & 50293		Main: 649 Sq.Ft. UNIT - AFFIRMED (L) 94 Ft. 634 Sq.Ft. UNIT - ALYDAR (L) 648 Sq.Ft. UNIT - AFFIRMED (R)	
Drawn By: Krizel Vargas		Upper: 661 Sq.Ft. UNIT - AFFIRMED (L) 94 Ft. 663 Sq.Ft. UNIT - ALYDAR (L) 663 Sq.Ft. UNIT - AFFIRMED (R)	
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NOTE!

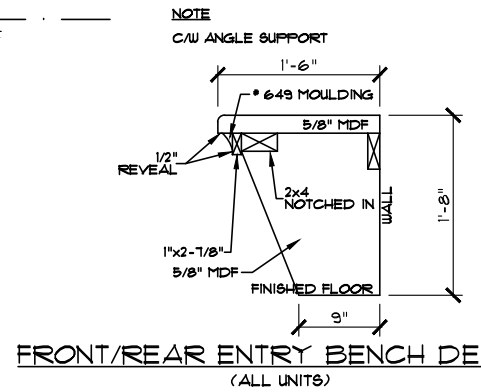
1. DIMENSIONS SHOWN ARE TO FACE OF MEMBER OR EXTERIOR WALL FACE UNLESS SHOWN OTHERWISE.

2. ALL BEAMS AND LINTELS ARE TO BE 2-2X10 SPRUCE UNLESS NOTED OTHERWISE.

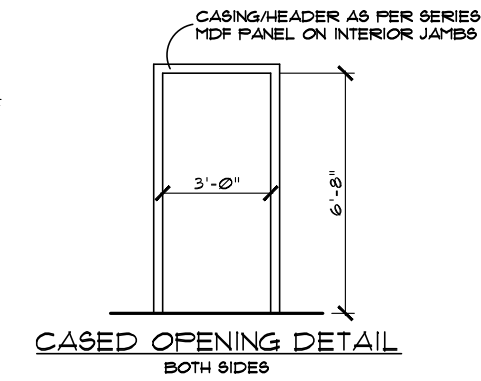


UNIT - ALYDAR (L)
JOB# 50292
206 - DESROCHERS BLVD. SW

PARTIAL MAIN FLOOR PLAN

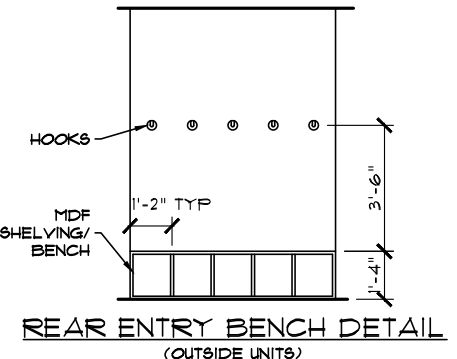
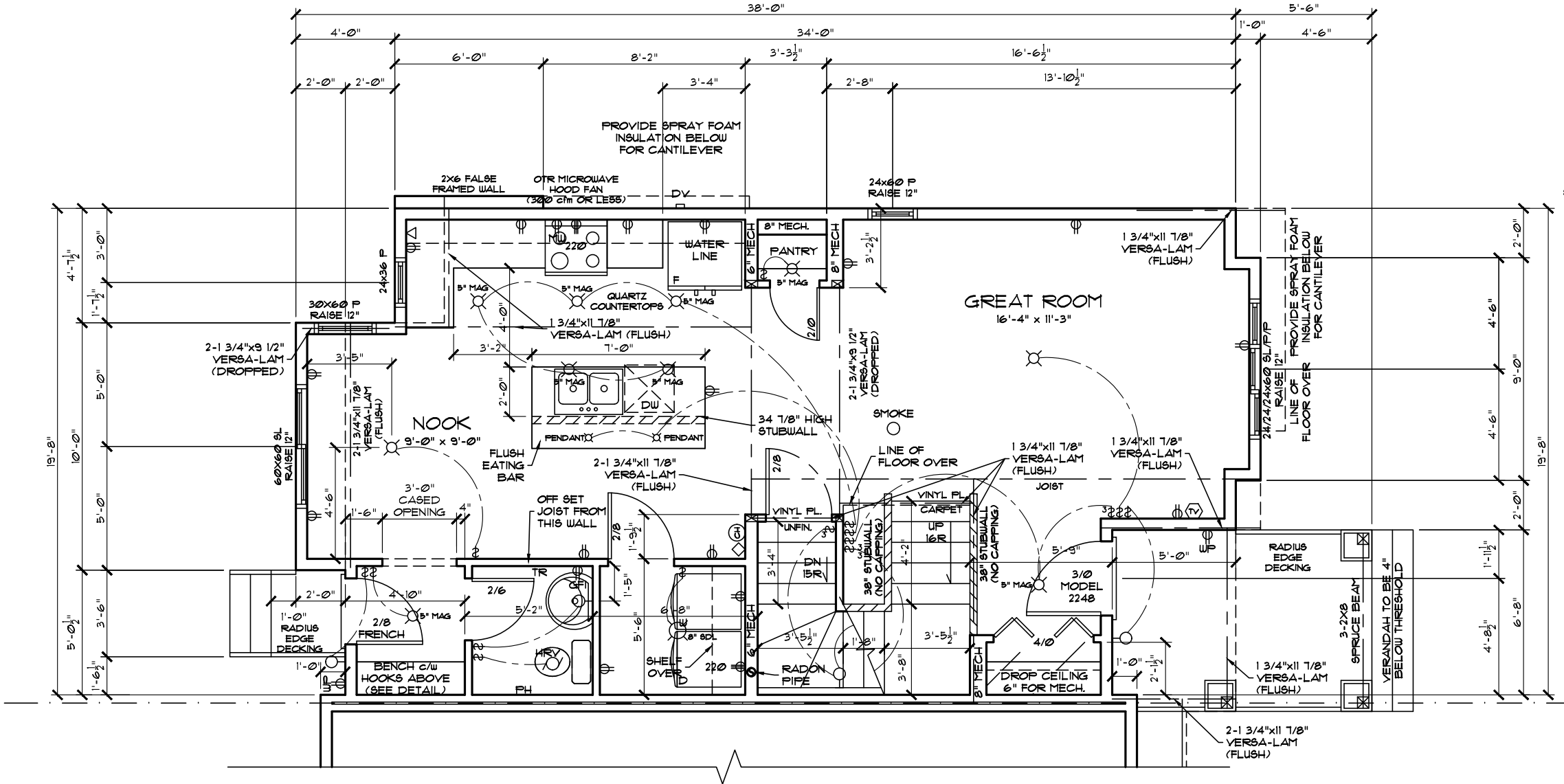


UNIT - AFFIRMED (L)
JOB# 50291
208 - DESROCHERS BLVD. SW



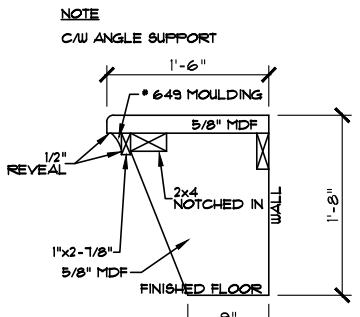
Model: AFFIRMED-ALYDAR 3 (NR) (SHELL3AA-N2)		Page 5	
Date: January 6, 2022		PAGES	
SCALE: 3/16" = 1'-0"		PAGES	
Main: 649 Sq.Ft. UNIT - AFFIRMED (L) 648 Sq.Ft. UNIT - AFFIRMED (R)		PAGES	
Upper: 661 Sq.Ft. UNIT - AFFIRMED (L) 663 Sq.Ft. UNIT - AFFIRMED (R)		PAGES	
Total: 1310 Sq.Ft. UNIT - AFFIRMED (L) 1311 Sq.Ft. UNIT - AFFIRMED (R)		PAGES	
Address: 208, 206 & 204 - DESROCHERS BLVD. SW EDMONTON, AB		Job #: 50291, 50292 & 50293	
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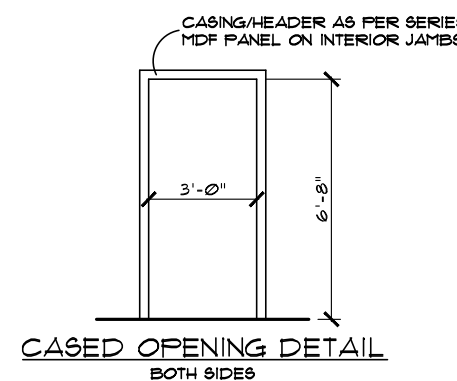


UNIT - AFFIRMED (R)
JOB# 50293
204 - DESROCHERS BLVD. SW

PARTIAL MAIN FLOOR PLAN



FRONT/REAR ENTRY BENCH DETAIL
(ALL UNITS)



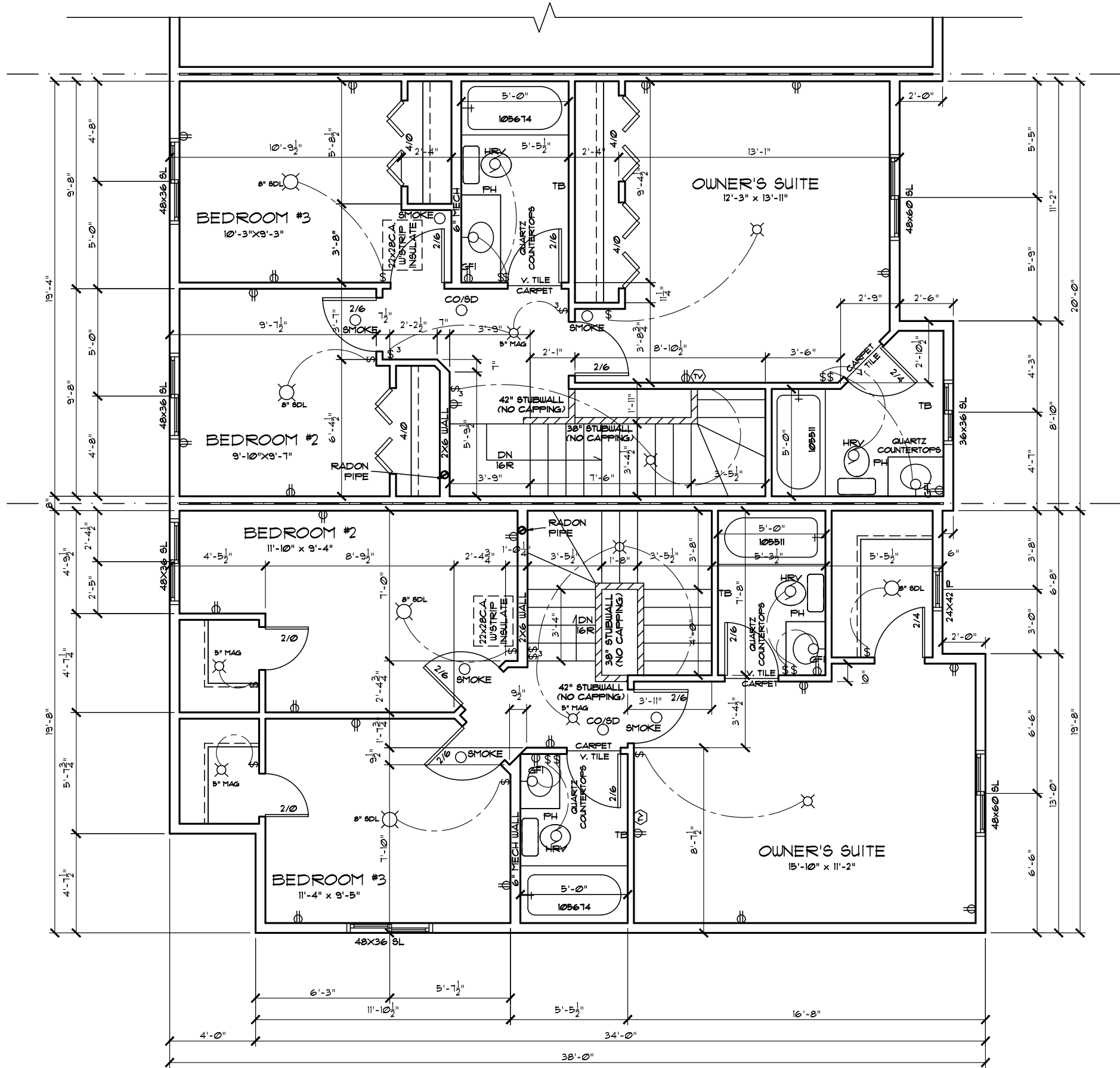
CASED OPENING DETAIL
BOTH SIDES

NOTE!

1. DIMENSIONS SHOWN ARE TO FACE OF MEMBER OR EXTERIOR WALL FACE UNLESS SHOWN OTHERWISE.

2. ALL BEAMS AND LINTELS ARE TO BE 2-2X10 SPRUCE UNLESS NOTED OTHERWISE.

Model: AFFIRMED-ALYDAR 3 (NR) (SHELL3AA-N2)		Page	
Address: 208, 206 & 204 - DESROCHERS BLVD. SW EDMONTON, AB		Date: January 6, 2022	
Job #: 50291, 50292 & 50293		SCALE: 3/16" = 1'-0"	
Drawn By: Krizel Vargas	Main:	649 Sq.Ft. UNIT - AFFIRMED (L) 94 Sq.Ft. UNIT - ALYDAR (L) 648 Sq.Ft. UNIT - AFFIRMED (R)	
	Upper:	661 Sq.Ft. UNIT - AFFIRMED (L) 94 Sq.Ft. UNIT - ALYDAR (L) 663 Sq.Ft. UNIT - AFFIRMED (R)	
	Total:	1310 Sq.Ft. UNIT - AFFIRMED (L) 94 Sq.Ft. UNIT - ALYDAR (L) 1311 Sq.Ft. UNIT - AFFIRMED (R)	
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Pacesetter DESIGN SERIES		6	
13			



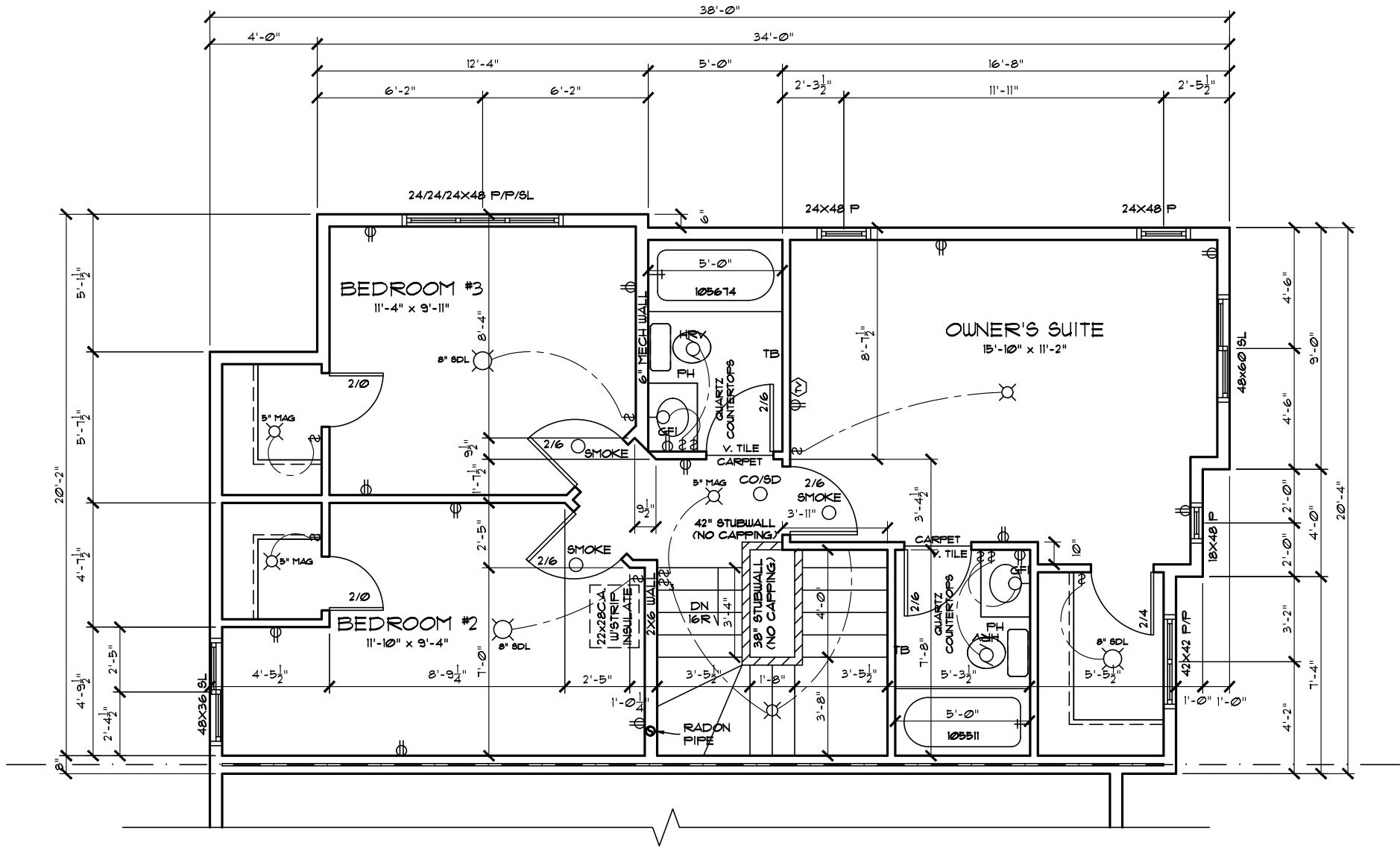
UNIT - ALYDAR (L)
JOB# 50292
206 - DESROCHERS BLVD. SW

PARTIAL UPPER
FLOOR PLAN

UNIT - AFFIRMED (L)
JOB# 50291
208 - DESROCHERS BLVD. SW

LEGEND			
	CEILING LIGHT		WALL LIGHT
	ELEC. PLUG		SMOKE DETECTOR
	220 PLUG		SD/CO DETECTOR
	USB PAIRED PLUG		VAC. ROUGH IN
	TELEPHONE		BATHROOM FAN
	TV/CAT5E		CHIME
	THERMOSTAT		SINGLE SWITCH
	3 WAY SWITCH		OTTO SWITCH
	WEEPING TILE		ELEC. WIRING
	TEE		SPEAKER
	GAS METER		
ELECTRICAL LOCATIONS SUBJECT TO CHANGE AS REQUIRED BY CODE			

Address: 208, 206 & 204 - DESROCHERS BLVD. SW EDMONTON, AB		Model: AFFIRMED-ALYDAR 3 (NR) (SHELL3AA-N2)	
Job #: 50291, 50292 & 50293		Date: January 6, 2022	
Drawn By: Krizel Vargas		PAGES	
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		Upper: 661 Sq.Ft. UNIT - AFFIRMED (L) 663 Sq.Ft. UNIT - AFFIRMED (R)	
		Total: 1310 Sq.Ft. UNIT - AFFIRMED (L) 1311 Sq.Ft. UNIT - AFFIRMED (R)	
		PACESSETTER DESIGN SERIES	
		Pacesetter HOMES A QUALICO Company	
		Page 7 13	

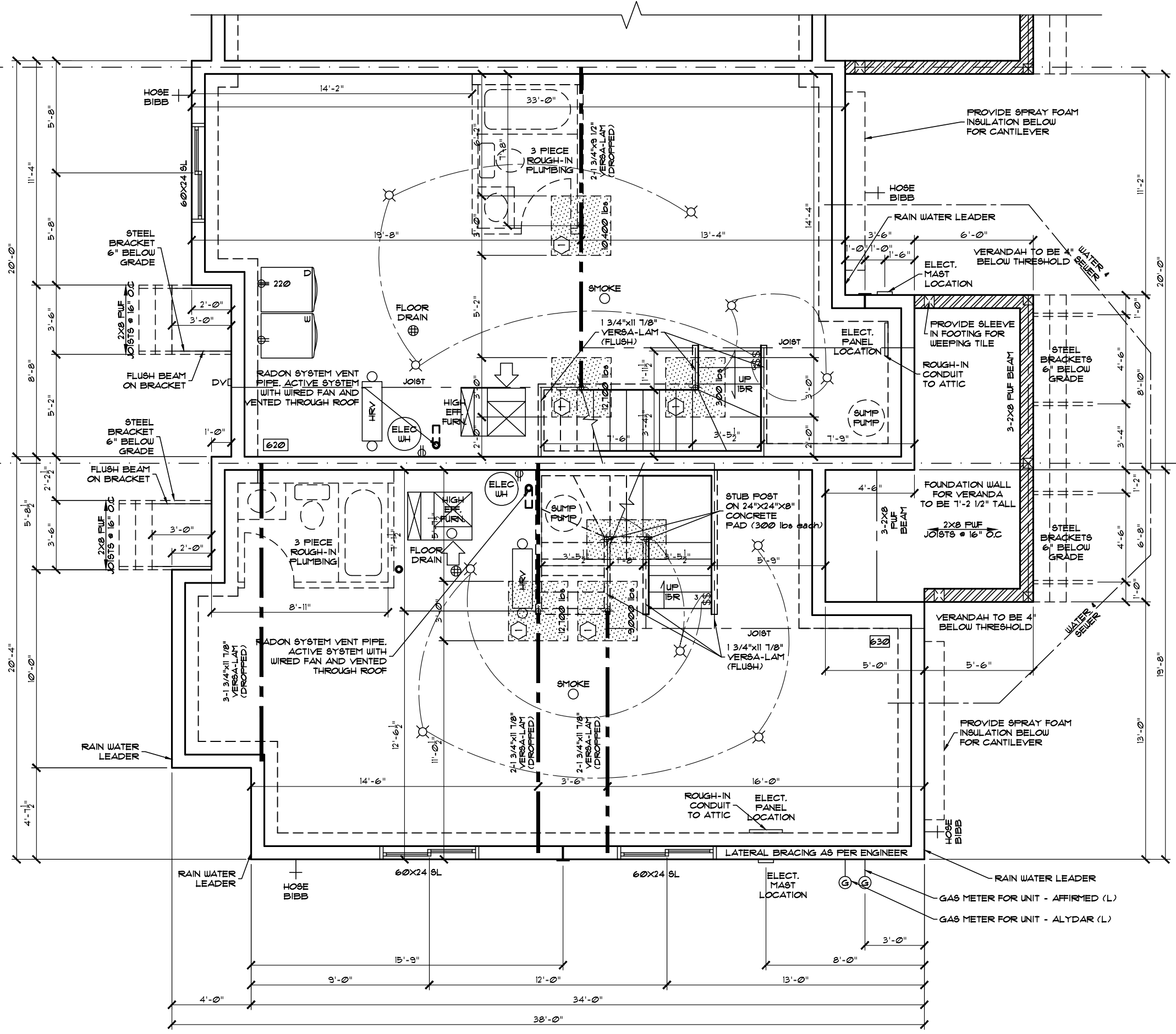


UNIT - AFFIRMED (R)
JOB# 50293
204 - DESROCHERS BLVD. SW

PARTIAL UPPER
FLOOR PLAN

LEGEND			
	CEILING LIGHT		WALL LIGHT
	ELEC. PLUG		SMOKE DETECTOR
	220 PLUG		SD/CO DETECTOR
	USB PAIRED PLUG		VAC. ROUGH IN
	TELEPHONE		BATHROOM FAN
	TV/CAT5E		CHIME
	THERMOSTAT		SINGLE SWITCH
	3 WAY SWITCH		OTTO SWITCH
	WEEPING TILE TEE		ELEC. WIRING
	GAS METER		SPEAKER
ELECTRICAL LOCATIONS SUBJECT TO CHANGE AS REQUIRED BY CODE			

Address: 208, 206 & 204 - DESROCHERS BLVD. SW EDMONTON, AB 10, 11 & 12 / 08 / 182-2690		Model: AFFIRMED-ALYDAR 3 (NR) (SHELL3AA-N2)	
Job #: 50291, 50292 & 50293		Date: January 6, 2022	Page 8
Drawn By: Krizel Vargas	Main:		PACESETTER DESIGN SERIES
	Upper:		
	Total:		
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		649 Sq.Ft. UNIT - AFFIRMED (L) 634 Sq.Ft. UNIT - ALYDAR (L)	94 Sq.Ft. 648 Sq.Ft. UNIT - AFFIRMED (R)
		661 Sq.Ft. UNIT - AFFIRMED (L) 633 Sq.Ft. UNIT - ALYDAR (L)	94 Sq.Ft. 663 Sq.Ft. UNIT - AFFIRMED (R)
		1307 Sq.Ft. UNIT - AFFIRMED (L) 1267 Sq.Ft. UNIT - ALYDAR (L)	94 Sq.Ft. 1311 Sq.Ft. UNIT - AFFIRMED (R)
		 A QUALICO Company	
		13	



	MAXIMUM CAPACITY # 8'S" EXT.	CONC. PAD DIMENSIONS (l x w x d)	AMOUNT & SIZE OF REBAR
1	16,875 LBS	36"x36"x10"	5-10 M
2	20,810 LBS	40"x40"x10"	6-10 M
3	28,160 LBS	46"x46"x10"	6-10 M
4	37,120 LBS	54"x54"x11"	8-10 M

REBAR TO BE EQUALLY SPACED
ALONG LENGTH & WIDTH OF PAD

PAD LEGEND
(BASED ON WESURE COLUMNS)

UNIT - ALYDAR (L)
JOB# 50292
206 - DESROCHERS BLVD. SW

PARTIAL
FOUNDATION
PLAN

UNIT - AFFIRMED (L)
JOB# 50291
208 - DESROCHERS BLVD. SW

**** ALL FROST WALLS TO BE ****
8" THICK INCLUDING AIR GAP
(UNLESS NOTED OTHERWISE)

Model: AFFIRMED-ALYDAR 3 (NR) (SHELL3AA-N2)

Address: 208, 206 & 204 - DESROCHERS BLVD. SW EDMONTON, AB
10, 11 & 12 / 08 / 182-2690

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Date: January 6, 2022

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Drawn By: Krizel Vargas

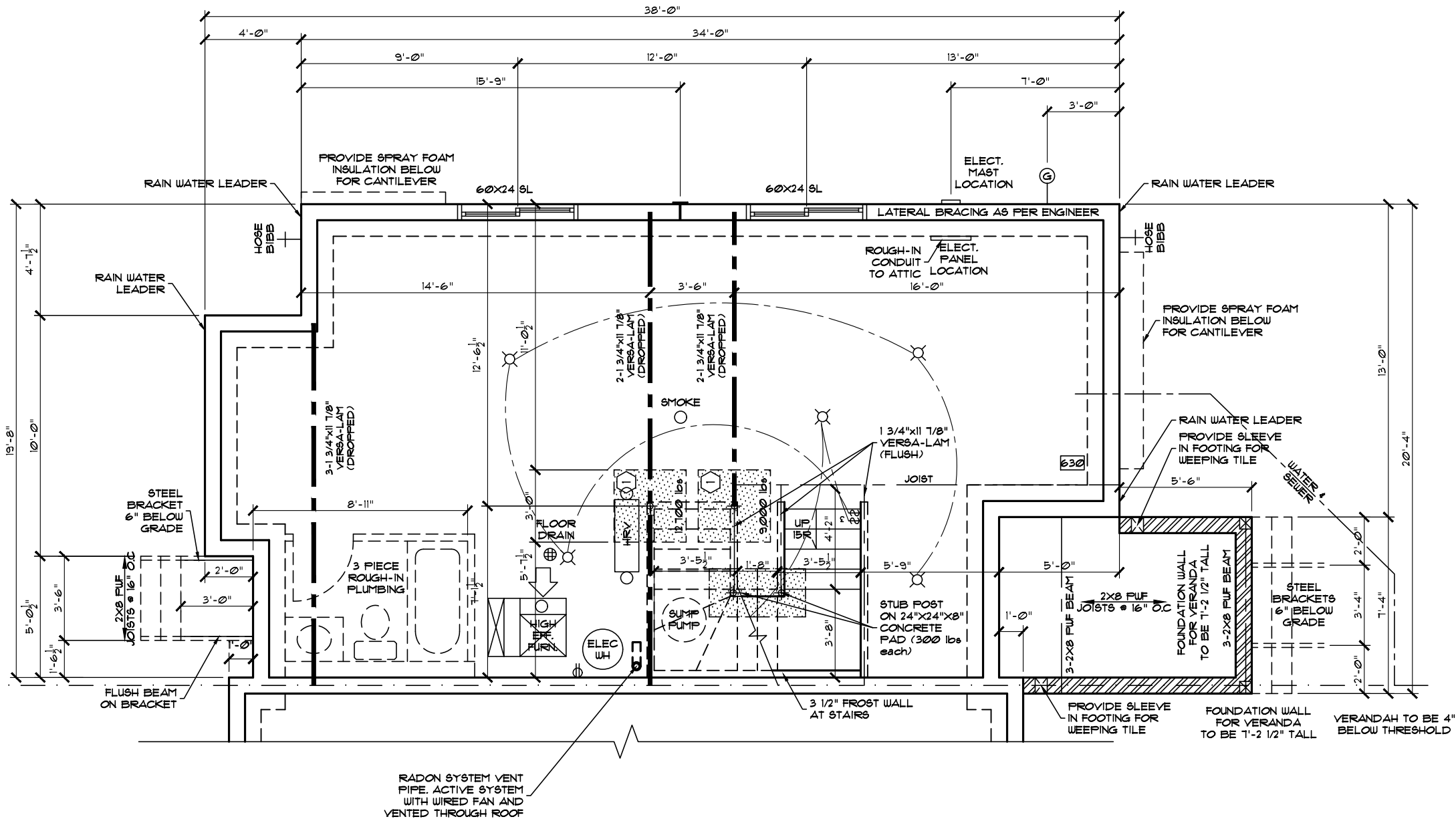
UNIT - AFFIRMED (L)
649 Sq.Ft. UNIT - AFFIRMED (L)
634 Sq.Ft. UNIT - ALYDAR (L)
648 Sq.Ft. UNIT - AFFIRMED (R)

UNIT - AFFIRMED (L)
661 Sq.Ft. UNIT - AFFIRMED (L)
663 Sq.Ft. UNIT - ALYDAR (L)
663 Sq.Ft. UNIT - AFFIRMED (R)

UNIT - AFFIRMED (L)
1310 Sq.Ft. UNIT - AFFIRMED (L)
1261 Sq.Ft. UNIT - ALYDAR (L)
1311 Sq.Ft. UNIT - AFFIRMED (R)

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	MAXIMUM CAPACITY @ 8'5\"/>
1	16,875 LBS
2	20,810 LBS
3	28,160 LBS
4	37,120 LBS

CONC. PAD DIMENSIONS (l x w x d)	AMOUNT & SIZE OF REBAR
36"x36"x10"	5-10 M
40"x40"x10"	6-10 M
46"x46"x10"	6-10 M
54"x54"x11"	8-10 M

REBAR TO BE EQUALLY SPACED ALONG LENGTH & WIDTH OF PAD

PAD LEGEND
(BASED ON WESURE COLUMNS)

UNIT - AFFIRMED (R)
JOB# 50293
204 - DESROCHERS BLVD. SW

PARTIAL
FOUNDATION
PLAN

**** ALL FROST WALLS TO BE ****
8" THICK INCLUDING AIR GAP

(UNLESS NOTED OTHERWISE)

Address: 208, 206 & 204 - DESROCHERS BLVD. SW EDMONTON, AB

Job #: 50291, 50292 & 50293

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Main: 649 Sq.Ft. UNIT - AFFIRMED (L) 94 Ft. 634 Sq.Ft. UNIT - ALYDAR (L) 648 Sq.Ft. UNIT - AFFIRMED (R)

Upper: 661 Sq.Ft. UNIT - AFFIRMED (L) 94 Ft. 663 Sq.Ft. UNIT - ALYDAR (L) 663 Sq.Ft. UNIT - AFFIRMED (R)

Total: 1310 Sq.Ft. UNIT - AFFIRMED (L) 94 Ft. 1311 Sq.Ft. UNIT - ALYDAR (L) 1311 Sq.Ft. UNIT - AFFIRMED (R)

Model: AFFIRMED-ALYDAR 3 (NR) (SHELL3AA-N2)

Date: January 6, 2022

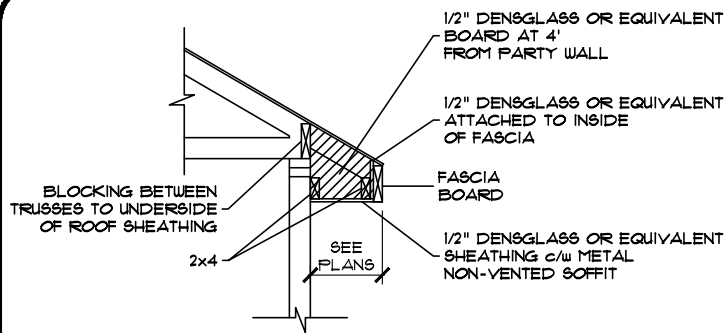
PACESSETTER DESIGN SERIES



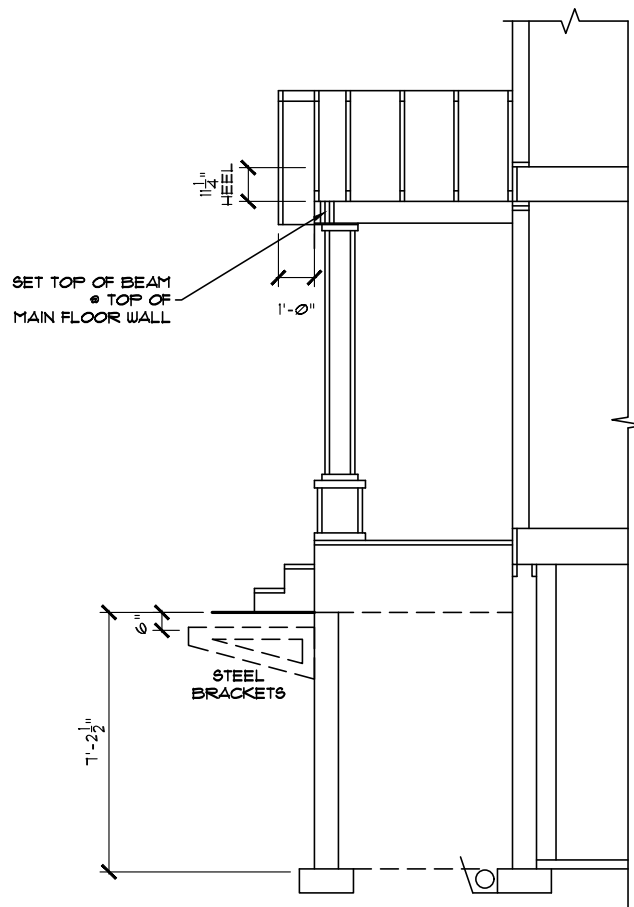
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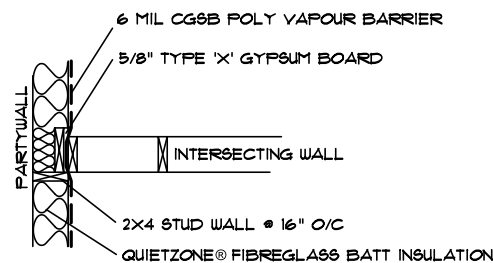
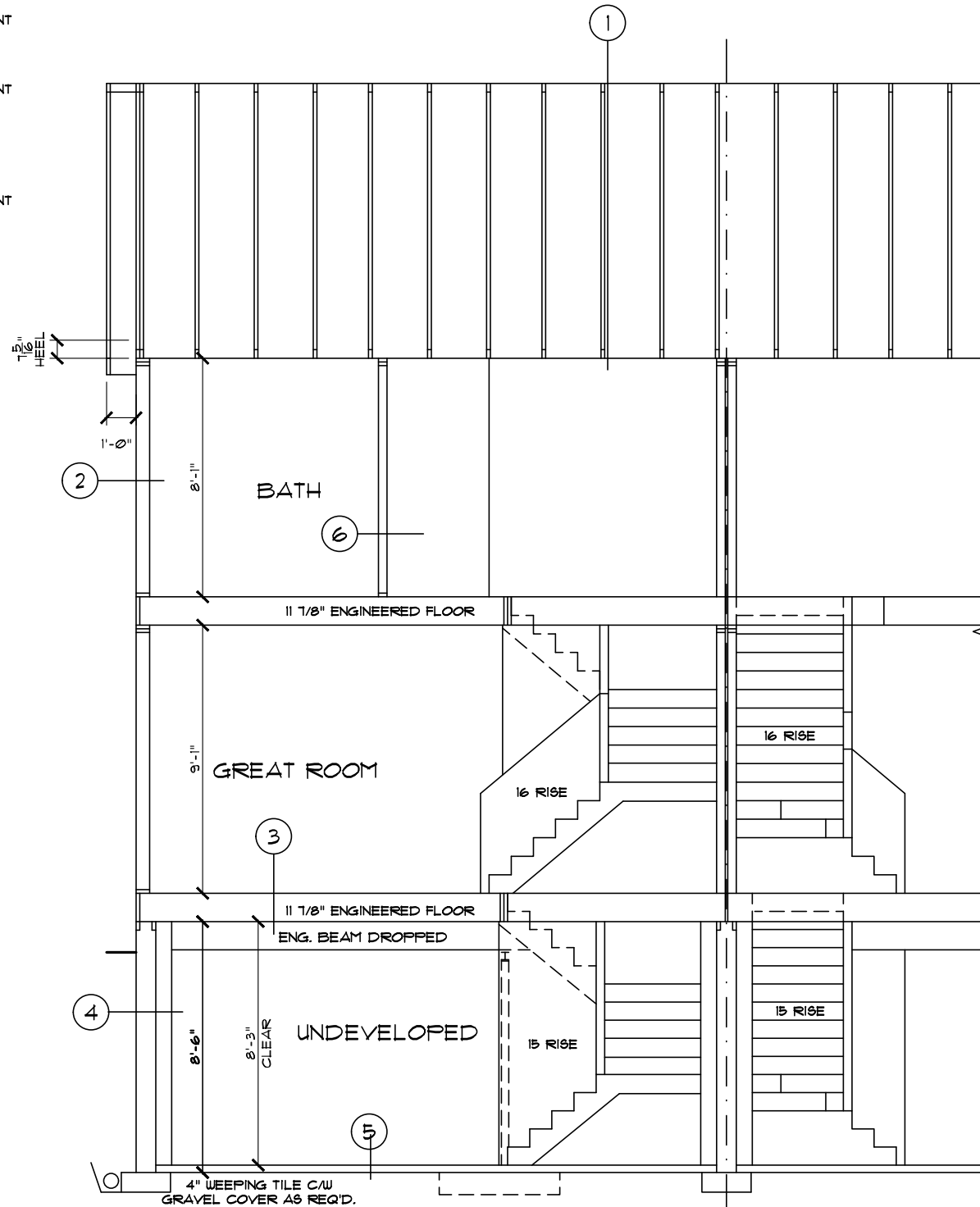
OVERHANG DETAIL
(4' ON EACH SIDE OF PARTY WALLS)



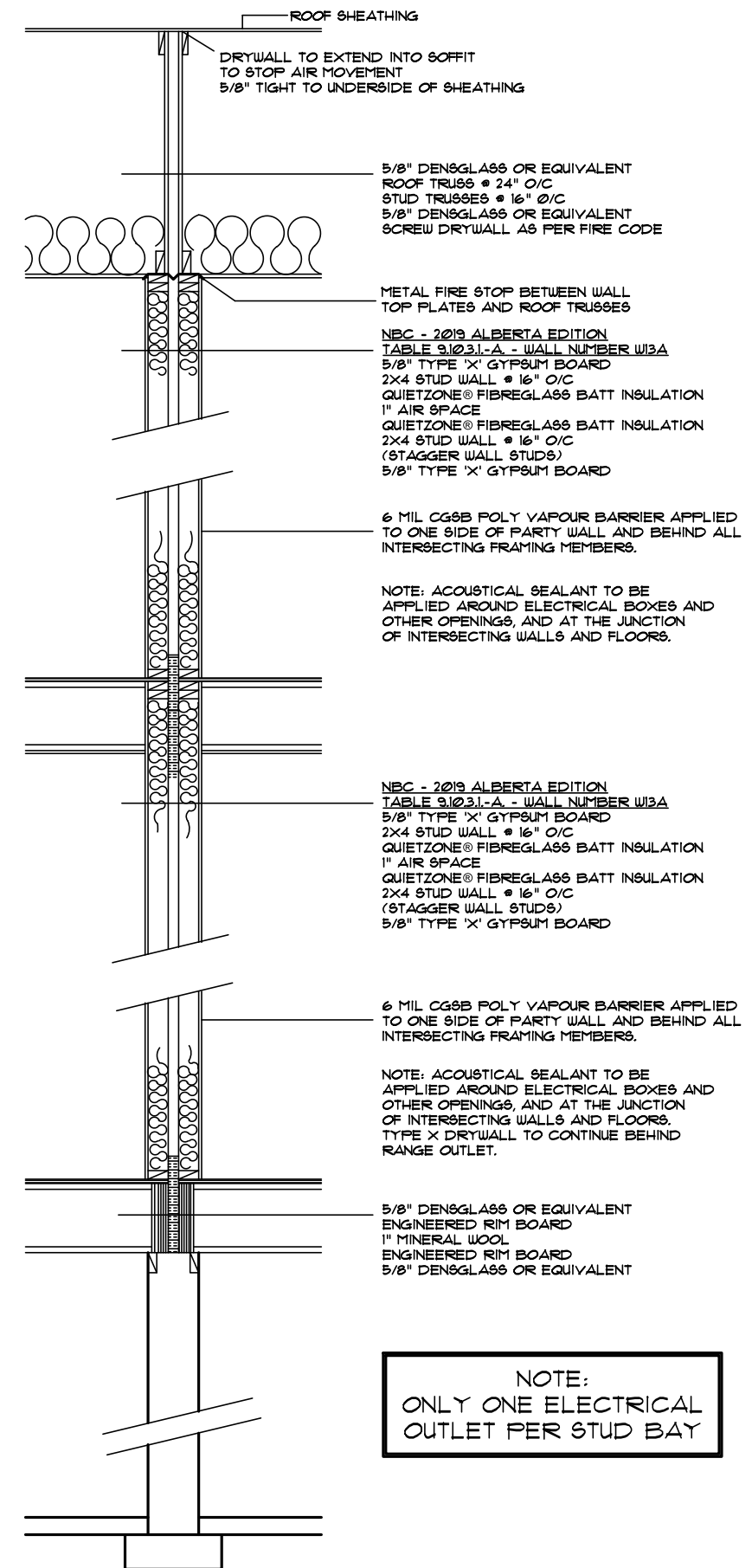
PARTIAL BUILDING SECTION

NOTES

- TRADES ARE RESPONSIBLE FOR CHECKING ALL DIMENSIONS & NOTES AND REPORTING ANY DISCREPANCIES TO THE DESIGNER PRIOR TO CONSTRUCTION.
- ALL LOADBEARING LINTELS TO BE 2-2x10 #2 SPRUCE UNLESS NOTED OTHERWISE
 - FINAL EXTERIOR GRADES MAY VARY
 - WINDOW AND DOOR SIZES SHOWN ARE APPROXIMATE ONLY. EXACT ROUGH OPENINGS TO BE SUPPLIED BY MANUFACTURER PRIOR TO CONSTRUCTION.
 - MECHANICAL LAYOUT AND SPECS. SUPPLIED BY OTHERS.
 - ROOF SHALL BE VENTED WITH AN UNOBSTRUCTED VENT AREA OF NOT LESS THAN 1/300 OF THE CEILING AREA.
 - ALL EXTERIOR WALLS WHERE MONO TRUSSES ARE ATTACHED SHALL BE SEALED & PAPERED BEFORE INSTALLING TRUSSES
 - THE AREAS REQUIRING VENTILATION WITHIN THE ROOF SPACE OR ATTIC SHALL CONFORM TO NBC - 2019 ALBERTA EDITION 9.19.1.
 - ATTIC ACCESS TO BE WEATHERSTRIPPED & INSULATED AS PER NBC - 2019 ALBERTA EDITION 9.19.2.1.
 - STEP FOOTING FOR WALKOUTS SHALL BE MAX. RISE 24" & MINIMUM HORIZONTAL DISTANCE OF 24" AS PER NBC - 2019 ALBERTA EDITION 9.15.8.3.
 - COMBUSTION AIR SHALL BE PROVIDED FOR FIREPLACE AS PER NBC - 2019 ALBERTA EDITION 9.22.1.4.
 - SMOKE ALARMS TO CONFORM TO NBC - 2019 ALBERTA EDITION 9.10.19.
 - IF WEeping TILE IS REQUIRED SLAB ON GROUND SHALL BE DAMPROOFED AS PER NBC - 2019 ALBERTA EDITION 9.13.4.
 - EXACT LOCATION OF MECHANICAL, ELECTRICAL, AND PLUMBING EQUIPMENT SUBJECT TO CHANGE DUE TO SITE CONDITIONS.
 - GARAGE ENTRY STAIRS MAY VARY IN NUMBER OF RISERS AND LOCATION DUE TO SITE CONDITIONS
 - ELEVATIONS, FLOOR LAYOUT AND ROOM DIMENSIONS ARE SUBJECT TO CHANGE DUE TO SITE CONDITIONS
 - DRIVEWAYS, SIDEWALKS, AND PARKING PADS SUBJECT TO CHANGE DUE TO SITE CONDITIONS



INTERSECTING WALL @
PARTY WALL DETAIL



NOTE:
ONLY ONE ELECTRICAL
OUTLET PER STUD BAY

Address: 208, 206 & 204 - DESROCHERS BLVD. SW EDMONTON, AB

Model: AFFIRMED-ALYDAR 3 (NR) (SHELL3AA-N2)

Job #: 50291, 50292 & 50293

Date: January 6, 2022

Page

Drawn By: Krizel Vargas

PACESETTER DESIGN SERIES

Date: January 6, 2022

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Main:	649 Sq.Ft. UNIT - AFFIRMED (L) 634 Sq.Ft. UNIT - ALYDAR (L)	648 Sq.Ft. UNIT - AFFIRMED (R)
Upper:	661 Sq.Ft. UNIT - AFFIRMED (L) 633 Sq.Ft. UNIT - ALYDAR (L)	663 Sq.Ft. UNIT - AFFIRMED (R)
Total:	1310 Sq.Ft. UNIT - AFFIRMED (L) 1267 Sq.Ft. UNIT - ALYDAR (L)	1311 Sq.Ft. UNIT - AFFIRMED (R)

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PACESETTER DESIGN SERIES
(EFFECTIVE THERMAL RESISTANCE OF ASSEMBLIES)

1 ROOF ASSEMBLIES

UPPER FLOOR ROOF (6.90 RSI)
ASPHALT SHINGLES
3/8" O.S.B. SHEATHING c/w 'H'CLIPS
ENGINEERED WOOD TRUSSES @24" o/c
R-40 LOOSE FILL INSULATION
6 mil CGSB POLY VAPOR BARRIER
1/2" C.D. DRYWALL

UPPER FLOOR VAULTED CEILING (4.06 RSI)
IF REQUIRED AS PER PLANS
ASPHALT SHINGLES
3/8" O.S.B. SHEATHING c/w 'H'CLIPS
ENGINEERED WOOD TRUSSES @24" o/c
R-40 BATT INSULATION
6 mil CGSB POLY VAPOR BARRIER
1/2" C.D. DRYWALL

2 EXTERIOR WALL ASSEMBLIES

STANDARD EXTERIOR WALL (2.71 RSI)
**INCLUDES EXTERIOR WALLS OF ATTACHED GARAGE,
IF APPLICABLE**

EXTERIOR CLADDING AS PER PLAN
BUILDING PAPER (AS REQ'D)
3/8" O.S.B. SHEATHING
2X6 STUDS @ 24" o/c
R-20 BATT INSULATION
6 mil CGSB POLY VAPOR BARRIER
1/2" DRYWALL

EXTERIOR TALL WALL (2.63 RSI)
IF REQUIRED AS PER PLANS
EXTERIOR CLADDING AS PER PLAN
BUILDING PAPER (AS REQ'D)
3/8" O.S.B. SHEATHING (1/2" DENSGLASS
OR EQUIVALENT FOR 2L)
2X6 STUDS AS PER ENGINEER'S DETAIL
R-20 BATT INSULATION
6 mil CGSB POLY VAPOR BARRIER
1/2" DRYWALL

ATTACHED GARAGE/HOUSE WALL (2.25 RSI)
IF REQUIRED AS PER PLANS
1/2" DRYWALL (FIRE TAPED)
3/8" O.S.B. SHEATHING
2X6 STUDS @ 24" o/c
R-20 BATT INSULATION
6 mil CGSB POLY VAPOR BARRIER
1/2" DRYWALL

EXTERIOR CANTILEVERED WALL (2.78 RSI)
WITHIN 12m SIDE YARD SETBACK
IF REQUIRED AS PER PLANS
EXTERIOR CLADDING AS PER PLAN
BUILDING PAPER (AS REQ'D)
5/8" DENSGLASS OR EQUIVALENT
2X6 STUDS AT 24" o/c
R-20 BATT INSULATION
6 mil CGSB POLY VAPOR BARRIER
1/2" DRYWALL

EXTERIOR ZERO LOT LINE WALL (2.69 RSI)
WITHIN 12m SIDE YARD SETBACK
IF REQUIRED AS PER PLANS
EXTERIOR CLADDING AS PER PLAN
BUILDING PAPER (AS REQ'D)
1/2" DENSGLASS OR EQUIVALENT
2X6 STUDS AT 16" o/c
R-20 BATT INSULATION
6 mil CGSB POLY VAPOR BARRIER
5/8" TYPE 'X' DRYWALL

EXTERIOR PARTY WALL JOGG (3.51 RSI)
IF REQUIRED AS PER PLANS
EXTERIOR CLADDING AS PER PLAN
BUILDING PAPER (AS REQ'D)
5/8" DENSGLASS OR EQUIVALENT
2X4 STUDS AT 16" o/c
R-12 BATT INSULATION
1" AIR SPACE
2X4 STUDS AT 16" o/c
R-12 BATT INSULATION
6 mil CGSB POLY VAPOR BARRIER
5/8" TYPE 'X' DRYWALL

3 FLOOR ASSEMBLIES

INTERIOR FLOOR (N/A RSI)
FLOOR FINISH AS SPECIFIED
3/8" U-LAY IN LINO AREAS
23/32" T&G OSB SUBFLOOR GLUED AND SCREWED
ENGINEERED WOOD JOISTS AS PER MANUFACTURER

FLOOR OVER UNHEATED SPACE (6.61 RSI)
FLOOR FINISH AS SPECIFIED
3/8" U-LAY IN LINO AREAS
23/32" T&G OSB SUBFLOOR GLUED AND SCREWED
6 mil CGSB POLY VAPOR BARRIER
ENGINEERED WOOD JOISTS AS PER MANUFACTURER
R-40 1/2lb OPEN-CELL SPRAY FOAM INSULATION
1/2" DRYWALL

CANTILEVERED MAIN FLOOR (5.18 RSI)
IF REQUIRED AS PER PLANS
FLOOR FINISH AS SPECIFIED
3/8" U-LAY IN LINO AREAS
23/32" T&G OSB SUBFLOOR GLUED AND SCREWED
6 mil CGSB POLY VAPOR BARRIER
ENGINEERED WOOD JOISTS AS PER MANUFACTURER
R-28 2lb CLOSED-CELL SPRAY FOAM INSULATION
3/8" OSB SHEATHING
NON-VENTED METAL SOFFIT

CANTILEVERED UPPER FLOOR (6.79 RSI)
IF REQUIRED AS PER PLANS
FLOOR FINISH AS SPECIFIED
3/8" U-LAY IN LINO AREAS
23/32" T&G OSB SUBFLOOR GLUED AND SCREWED
6 mil CGSB POLY VAPOR BARRIER
ENGINEERED WOOD JOISTS AS PER MANUFACTURER
R-40 2lb CLOSED-CELL SPRAY FOAM INSULATION
3/8" OSB SHEATHING
NON-VENTED METAL SOFFIT

4 BASEMENT WALL ASSEMBLIES

FOUNDATION W/ FROST WALL (2.23 RSI)
UNLESS NOTED OTHERWISE ON PLANS
PARGING ABOVE GRADE
DAMP-PROOFING ON EXTERIOR OF FOUNDATION WALLS (TO COMPLY
WITH NBC - 2019 ALBERTA EDITION 9.13.2.3.(2XaXIII))
8" CONC FOUNDATION WALL C/W 2 ROWS OF 2-#10 BARS
STUDS @24" o/c
R-20 BATT INSULATION
6 mil CGSB POLY VAPOR BARRIER
1/2" DRYWALL (FINISHED AREAS)
18"X 8" CONCRETE STRIP FOOTING OR AS REQUIRED BY ENGINEER'S
REPORT
TELEPOST PAD FOOTINGS AS PER PLAN
WINDOWS OVER 48 INCHES IN LENGTH TO BE BRACED AS PER
ENGINEER'S DETAIL
OPEN TO BELOW AREA WALLS WILL BE REINFORCED AS PER
ENGINEER'S DETAIL

5 BASEMENT FLOOR ASSEMBLY (0.19 RSI)

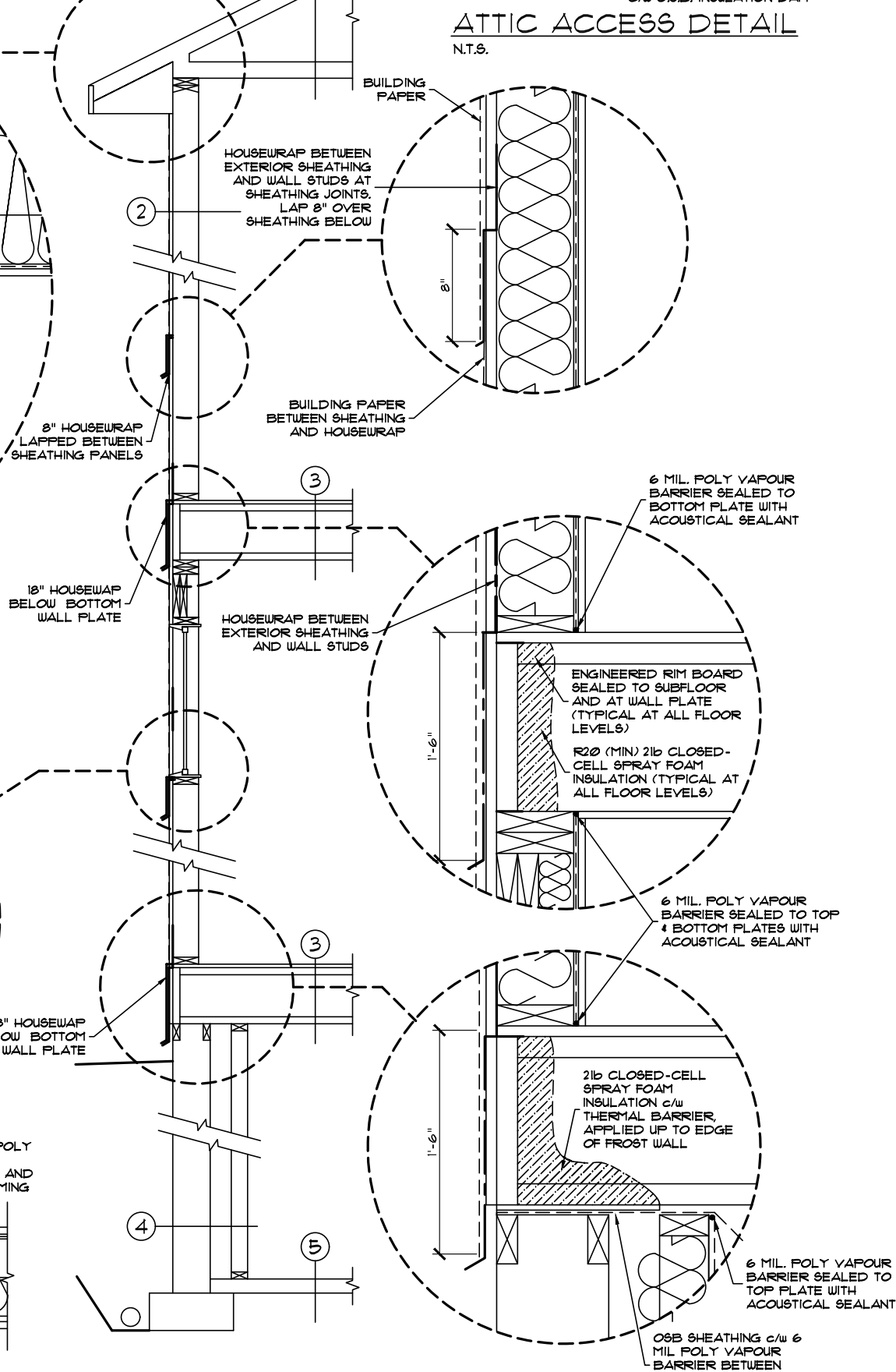
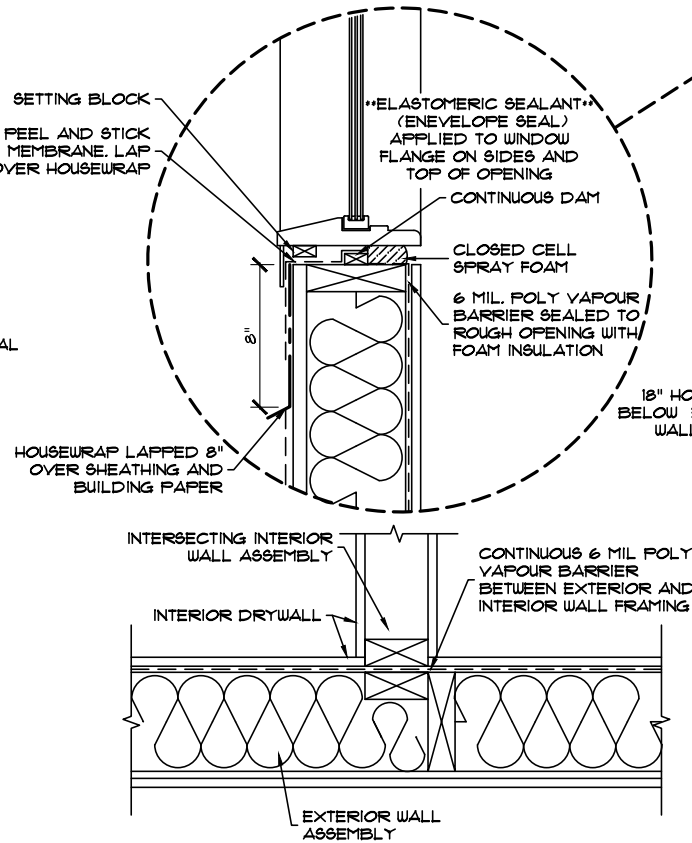
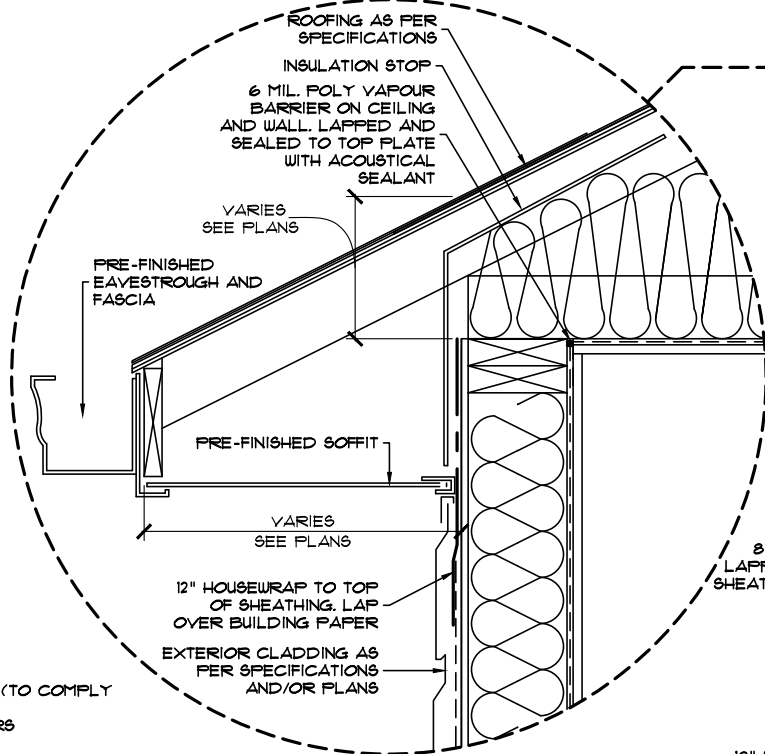
CUFOLX CONCRETE FORMS USED AS A BASE BELOW
THE BASEMENT CONCRETE SLAB.
REFER TO ENGINEER DETAILS
ACTIVE SUB SLAB DEPRESSURIZATION SYSTEM
FOR RADON GAS EXTRACTION
3" CONCRETE SLAB - ALL SEAMS & PENETRATIONS TO
BE SEALED WITH FLEXIBLE SEALANT AS PER NBC -
2019 ALBERTA EDITION - 9.25.3.3.(5)

6 INTERIOR WALL ASSEMBLIES (N/A RSI)

1/2" DRYWALL
2X4" STUDS @ 24" O.C. (OR DEEPER
STUD IF REQUIRED ON PLANS)
1/2" DRYWALL

1 RSI VALUE EXCLUDES FINISHED CLADDING
2 RSI VALUE EXCLUDES INTERIOR FINISHED FLOOR MATERIAL

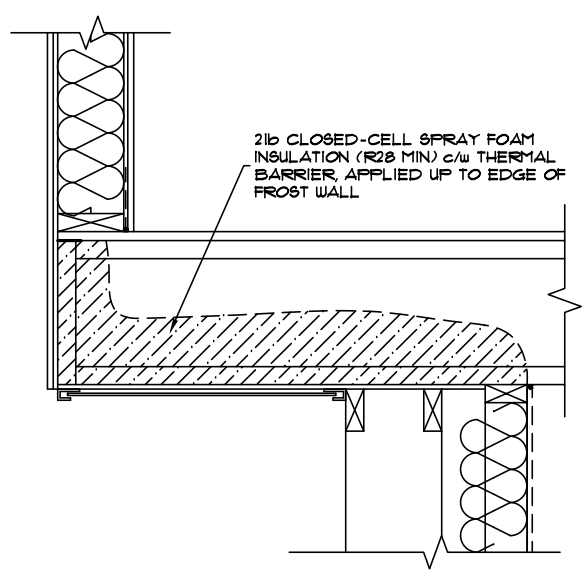
** ALL WINDOWS/DOORS TO BE AS PER U-VALUES BELOW OR LESS **			
TYPE / OPERATION	GLAZING**	SERIES	U-VALUE (W/m²K)
PICTURE	H82 / H85 W/ ARGON	6500	1.14
SLIDER	H82 / H85 W/ ARGON	6500	1.31
SINGLE HUNG	H82 / H85 W/ ARGON	6500	1.31
CASEMENT	H82 / H85 W/ ARGON	9100	1.19
AWNING	H82 / H85 W/ ARGON	9100	1.19
BASEMENT SLIDER	H82 W/ ARGON	5600	1.31
EXTERIOR DOOR w/ GLAZING	H81 W/ ARGON	--	1.36
EXTERIOR PATIO/GARDEN DOOR w/o GLAZING	H81 W/ ARGON	--	1.48
EXTERIOR DOOR w/o GLAZING	--	--	0.85
**H81 GLAZING=DUAL PANE (CLEAR / LOW-E) H82 GLAZING=TRIPLE PANE (CLEAR/CLEAR/LOW-E) H85 GLAZING=TRIPLE PANE (CLEAR/CLEAR/SUNSTOP)			



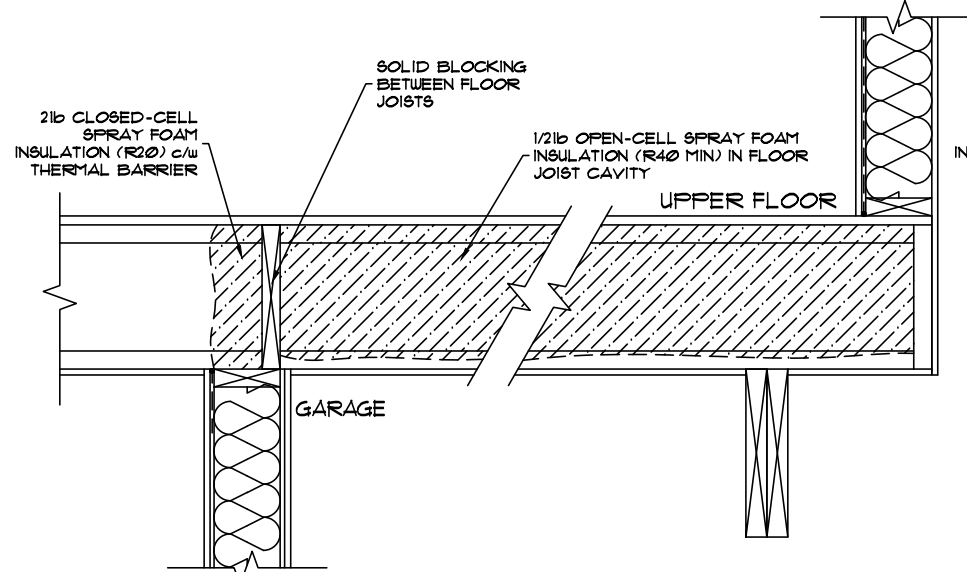
Address: 208, 206 & 204 - DESROCHERS BLVD. SW EDMONTON, AB
10, 11 & 12 / 08 / 182-2690

Model: AFFIRMED-ALYDAR 3 (NR) (SHELL3AA-N2)

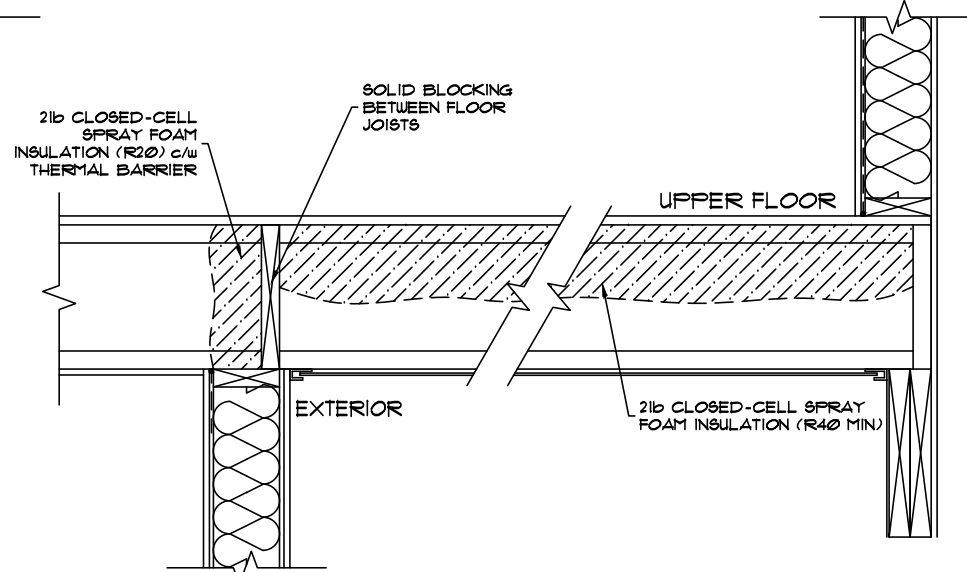
Job #: 50291, 50292 & 50293		SCALE: 3/16" = 1'-0"		Date: January 6, 2022	Page
Drawn By: Krizel Vargas		Main:		PACESSETTER DESIGN SERIES	12
		649 sq.ft. UNIT - AFFIRMED (L) 9sq.ft.			
		634 sq.ft. UNIT - ALTYDAR (L) 648 sq.ft. UNIT - AFFIRMED (R)			
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		661 sq.ft. UNIT - AFFIRMED (L) 9sq.ft.			
		633 sq.ft. UNIT - ALTYDAR (L) 663 sq.ft. UNIT - AFFIRMED (R)			
		Total:			
		1310 sq.ft. UNIT - AFFIRMED (L) 9sq.ft.			
		1261 sq.ft. UNIT - ALTYDAR (L) 1311 sq.ft. UNIT - AFFIRMED (R)			



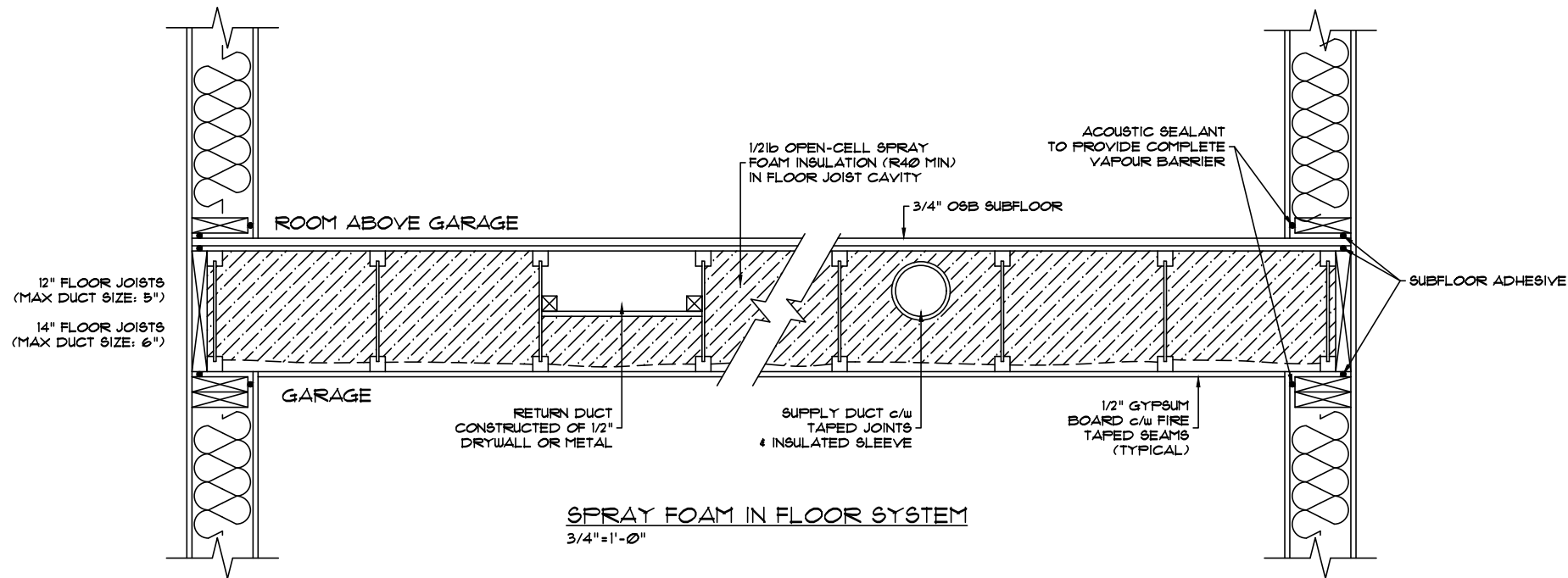
MAIN FLOOR CANTILEVER DETAIL - 3FT OR LESS
3/4"=1'-0"



FLOOR ABOVE UNHEATED SPACE DETAIL
3/4"=1'-0"



LARGE EXTERIOR OVERHANG DETAIL
3/4"=1'-0"

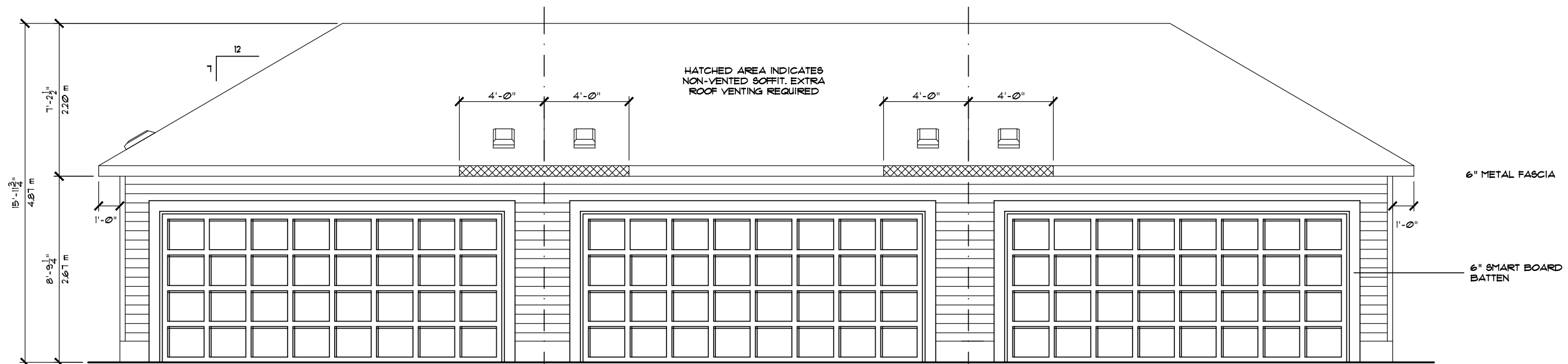


SPRAY FOAM IN FLOOR SYSTEM
3/4"=1'-0"

Address: 208, 206 & 204 - DESROCHERS BLVD. SW EDMONTON, AB 10, 11 & 12 / 08 / 182-2690		Model: AFFIRMED-ALYDAR 3 (NR) (SHELL3AA-N2)	
Job #: 50291, 50292 & 50293		Date: January 6, 2022	Page 13
Drawn By: Krizel Vargas	Main:		PACESETTER DESIGN SERIES  A QUALICO Company
	Upper:		
	Total:		
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NOTE!

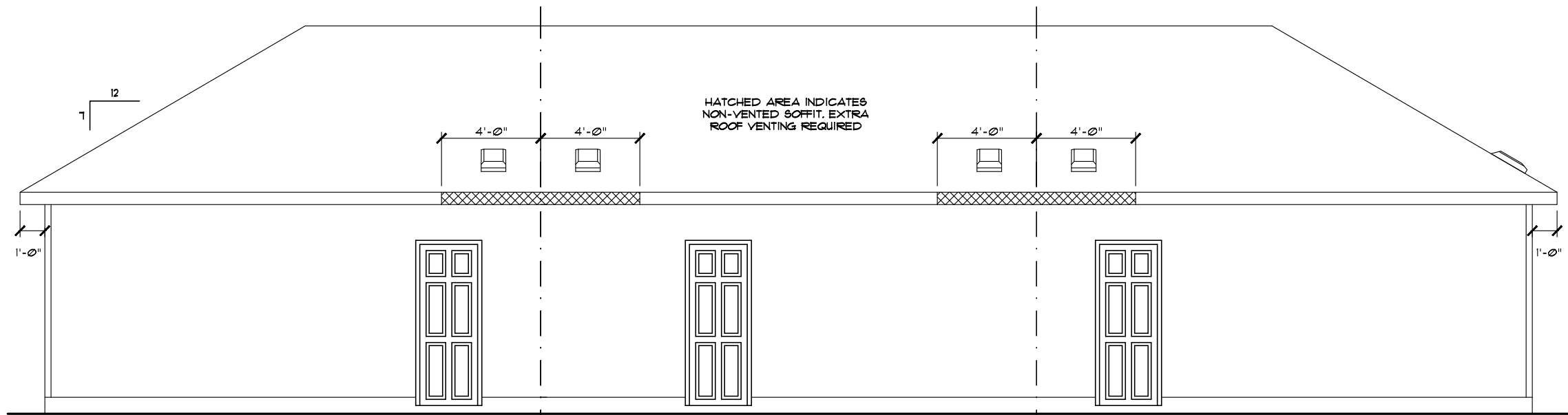
1. FLASHING IS TO BE INSTALLED
AT ALL APPROPRIATE LOCATIONS
ON ROOF AND ELEVATIONS
(SEE BUILDERS SPECS).



UNIT - AFFIRMED (R) JOB# 50293 204 - DESROCHERS BLVD. SW
UNIT - ALYDAR (L) JOB# 50292 206 - DESROCHERS BLVD. SW
UNIT - AFFIRMED (L) JOB# 50291 208 - DESROCHERS BLVD. SW

GARAGE FRONT ELEVATION

Address: 208, 206 & 204 - DESROCHERS BLVD. SW EDMONTON, AB 10, 11 & 12 / 08 / 182-2690		Model: AFFIRMED-ALYDAR 3 (NR) (SHELL3AA-N2)	
Job #: 50291, 50292 & 50293		SCALE: 3/16" = 1'-0"	Date: January 6, 2022
Drawn By: Krizel Vargas	Main:		PACESETTER DESIGN SERIES
	Upper:		 A QUALICO Company
	Total:		
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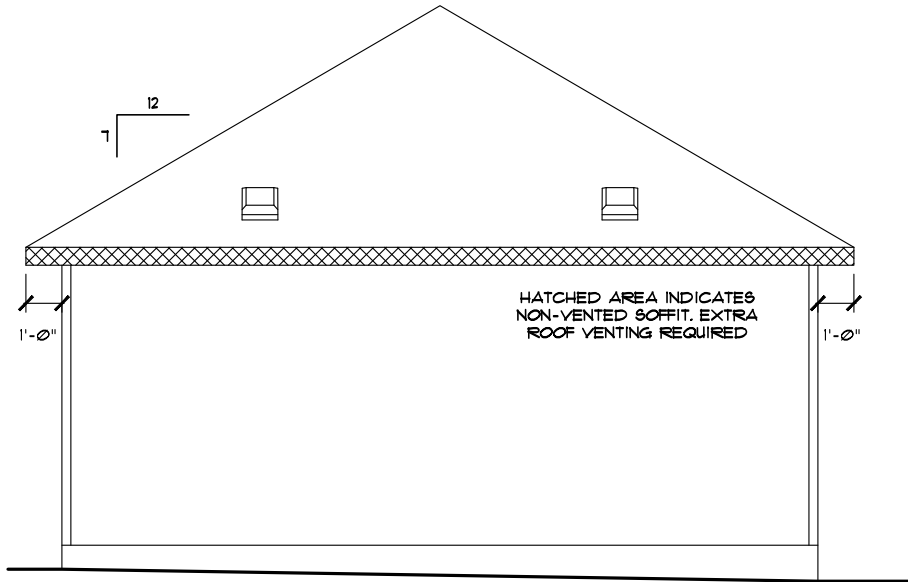
UNIT - AFFIRMED (L)
JOB# 50291
208 - DESROCHERS BLVD. SW

UNIT - ALYDAR (L)
JOB# 50292
206 - DESROCHERS BLVD. SW

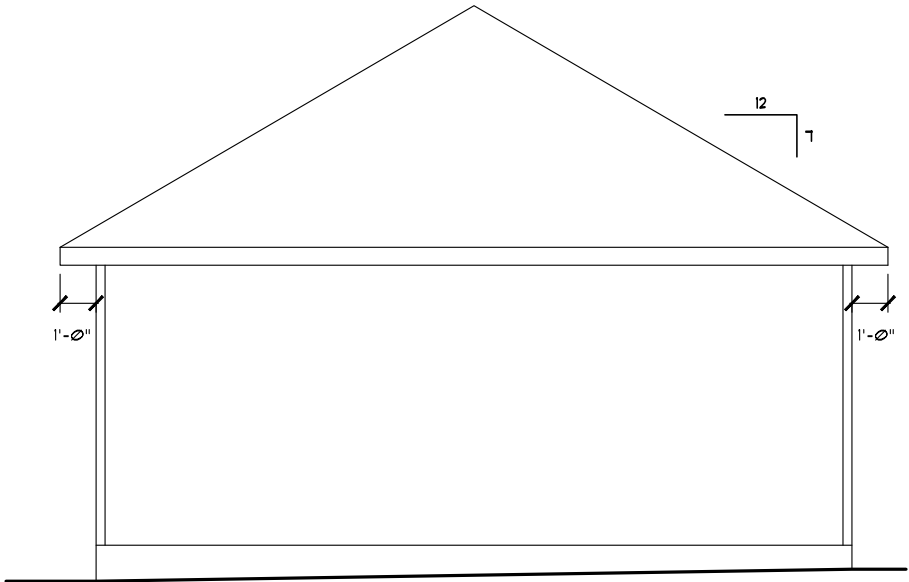
UNIT - AFFIRMED (R)
JOB# 50293
204 - DESROCHERS BLVD. SW

GARAGE REAR ELEVATION

Address: 208, 206 & 204 - DESROCHERS BLVD. SW EDMONTON, AB 10, 11 & 12 / 08 / 182-2690		Model: AFFIRMED-ALYDAR 3 (NR) (SHELL3AA-N2)	
Job #: 50291, 50292 & 50293		Date: January 6, 2022	Page 2
Drawn By: Krizel Vargas	SCALE: 3/16" = 1'-0"		PACESETTER DESIGN SERIES  A QUALICO Company
	Main:	649 Sq.Ft. UNIT - AFFIRMED (L) 648 Sq.Ft. UNIT - AFFIRMED (R)	
	Upper:	661 Sq.Ft. UNIT - AFFIRMED (L) 663 Sq.Ft. UNIT - AFFIRMED (R)	
Total:		1310 Sq.Ft. UNIT - AFFIRMED (L) 1311 Sq.Ft. UNIT - AFFIRMED (R)	
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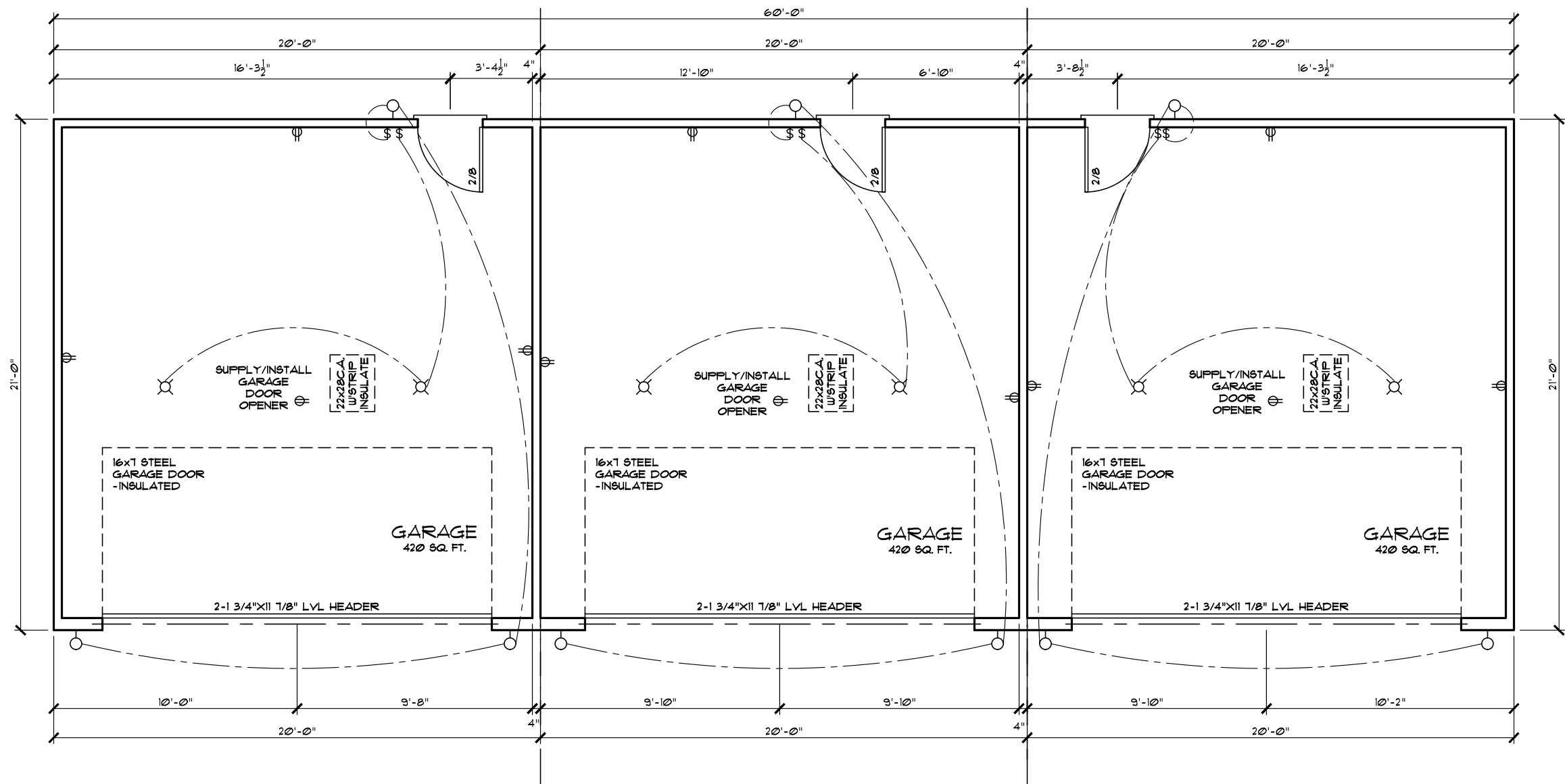


LEFT ELEVATION
(GARAGE)



RIGHT ELEVATION
(GARAGE)

Address: 208, 206 & 204 - DESROCHERS BLVD. SW EDMONTON, AB 10, 11 & 12 / 08 / 182-2690		Model: AFFIRMED-ALYDAR 3 (NR) (SHELL3AA-N2)	
Job #:50291, 50292 & 50293		Date: January 6, 2022	Page 3
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	Main:	649 Sq.Ft. UNIT - AFFIRMED (L) 648 Sq.Ft. UNIT - AFFIRMED (R)	
	Upper:	661 Sq.Ft. UNIT - AFFIRMED (L) 663 Sq.Ft. UNIT - AFFIRMED (R)	
Total:		1310 Sq.Ft. UNIT - AFFIRMED (L) 1311 Sq.Ft. UNIT - AFFIRMED (R)	



UNIT - AFFIRMED (R) UNIT - ALYDAR (L) UNIT - AFFIRMED (L)
JOB# 50293 JOB# 50292 JOB# 50291
204 - DESROCHERS BLVD. SW 206 - DESROCHERS BLVD. SW 208 - DESROCHERS BLVD. SW

GARAGE FLOOR PLAN

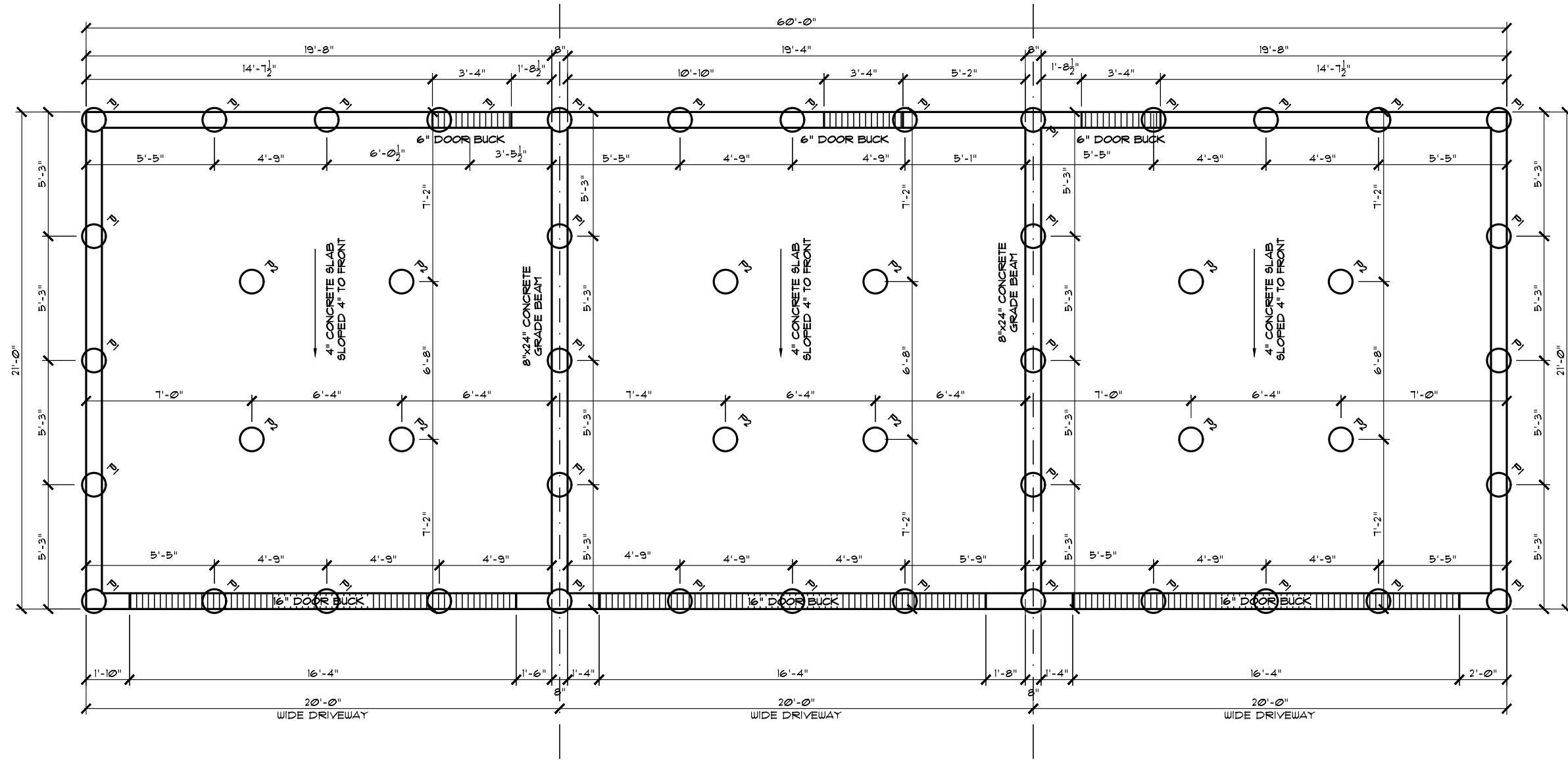
NOTE!

1. DIMENSIONS SHOWN ARE TO FACE OF MEMBER OR EXTERIOR WALL FACE UNLESS SHOWN OTHERWISE.

Address: 208, 206 & 204 - DESROCHERS BLVD. SW EDMONTON, AB 10, 11 & 12 / 08 / 182-2690		Model: AFFIRMED-ALYDAR 3 (NR) (SHELL3AA-N2)	
Job #: 50291, 50292 & 50293		Date: January 6, 2022	Page 4
Drawn By: Krizel Vargas	SCALE: 3/16" = 1'-0"		PACESETTER DESIGN SERIES
	Main:	649 Sq.Ft. UNIT - AFFIRMED (L) 634 Sq.Ft. UNIT - ALYDAR (L) 648 Sq.Ft. UNIT - AFFIRMED (R)	 A QUALICO Company
	Upper:	661 Sq.Ft. UNIT - AFFIRMED (L) 633 Sq.Ft. UNIT - ALYDAR (L) 663 Sq.Ft. UNIT - AFFIRMED (R)	
Total:		1310 Sq.Ft. UNIT - AFFIRMED (L) 1261 Sq.Ft. UNIT - ALYDAR (L) 1311 Sq.Ft. UNIT - AFFIRMED (R)	

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PILE LEGEND			
	DIAM.	PILE DEPTH	AMOUNT & SIZE OF REBAR
⌀1	12"	12'-0"	2-15 M
⌀2	12"	12'-0"	2-10 M
⌀3	12"	15'-0"	2-15 M



UNIT - AFFIRMED (R) UNIT - ALYDAR (L) UNIT - AFFIRMED (L)
JOB# 50293 JOB# 50292 JOB# 50291
204 - DESROCHERS BLVD. SW 206 - DESROCHERS BLVD. SW 208 - DESROCHERS BLVD. SW

GARAGE FOUNDATION PLAN

Address: 208, 206 & 204 - DESROCHERS BLVD. SW EDMONTON, AB 10, 11 & 12 / 08 / 182-2690		Model: AFFIRMED-ALYDAR 3 (NR) (SHELL3AA-N2)	
Job #: 50291, 50292 & 50293		SCALE: 3/16" = 1'-0"	Date: January 6, 2022
Drawn By: Krizel Vargas	Main:		PACESETTER DESIGN SERIES
	Upper:		 A QUALICO Company
	Total:		
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- 1

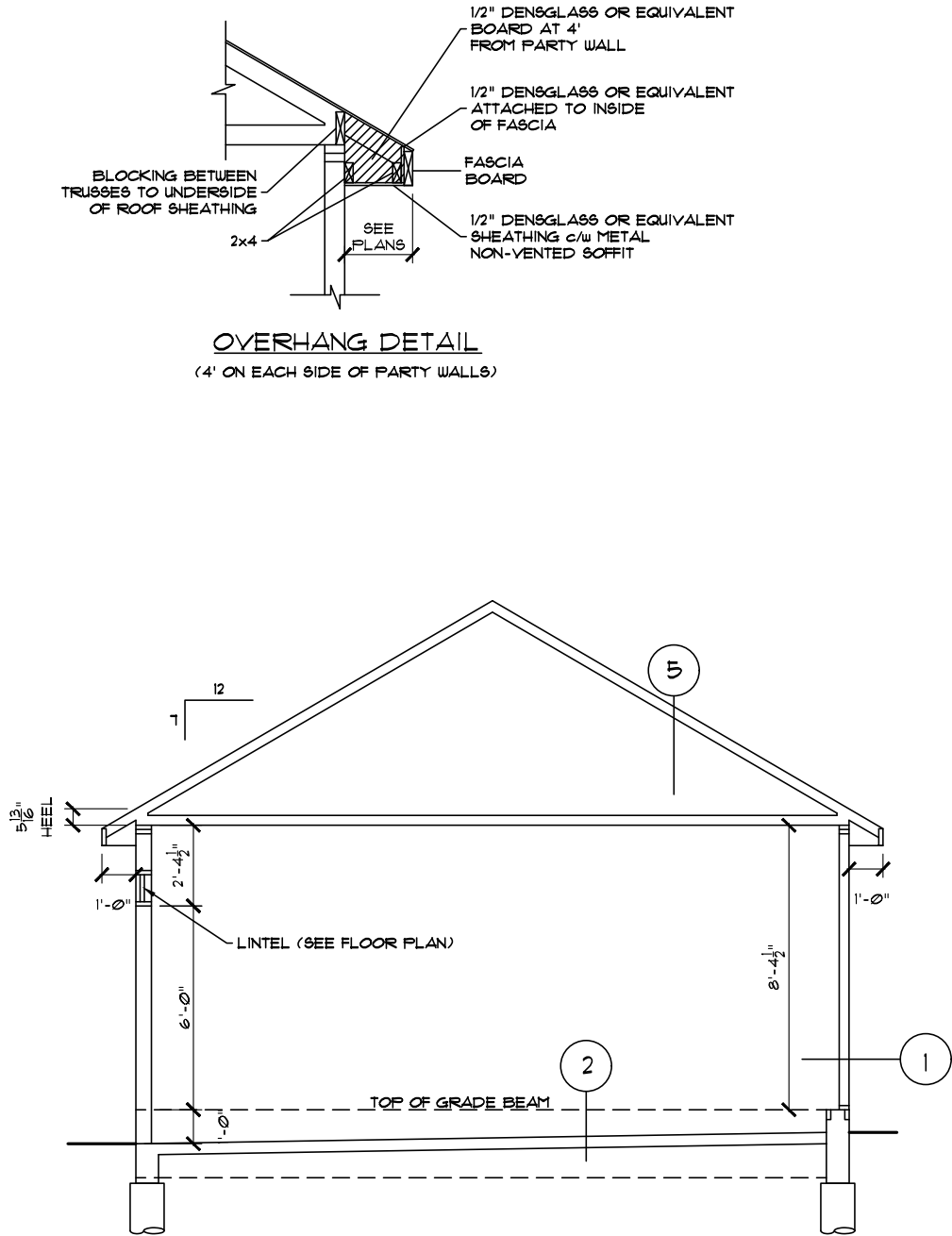
EXTERIOR WALL
VINYL SIDING W/PRE-FINISHED METAL BATTENS
BUILDING PAPER (AS REQ'D)
3/8" OSB SHEATHING
2 X 4 STUDS @ 16" O.C.
BATT INSULATION(OPTIONAL)
6 MIL POLY V.B.
1/2 DRYWALL (OPTIONAL)
- 2

4" CONCRETE SLAB ON GRADE
10M REBARS @ 24" O.C. EACH WAY
6" SAND FILL
- 3

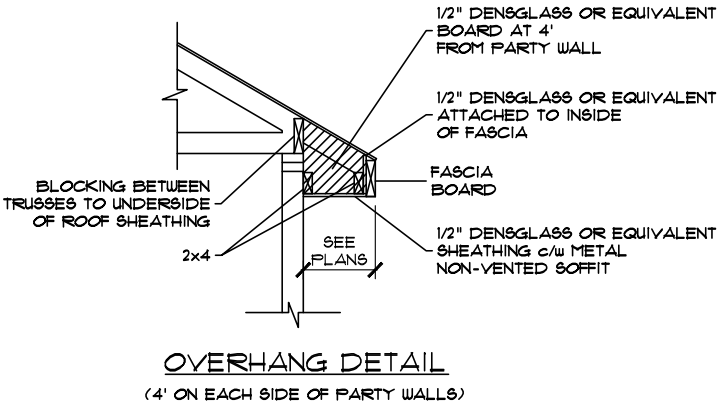
FIRE WALL
5/8" TYPE "X" GYP. B'D.
2x4 STUDS @ 16"O.C.
BATT INSULATION
5/8" TYPE "X" GYP. B'D.
(10 HOUR FIRE RATING)
- 4

ATTIC SEPARATION
5/8" TYPE "X" GYP. B'D.
ENGIN. TRUSS
5/8" TYPE "X" GYP. B'D.
(10 HOUR FIRE RATING)
- 5

ROOF CONSTRUCTION
ASPHALT SHINGLES
3/8" O.S.B. SHEATHING c/w 'H'CLIPS
ENGINEERED WOOD TRUSSES @24" o/c

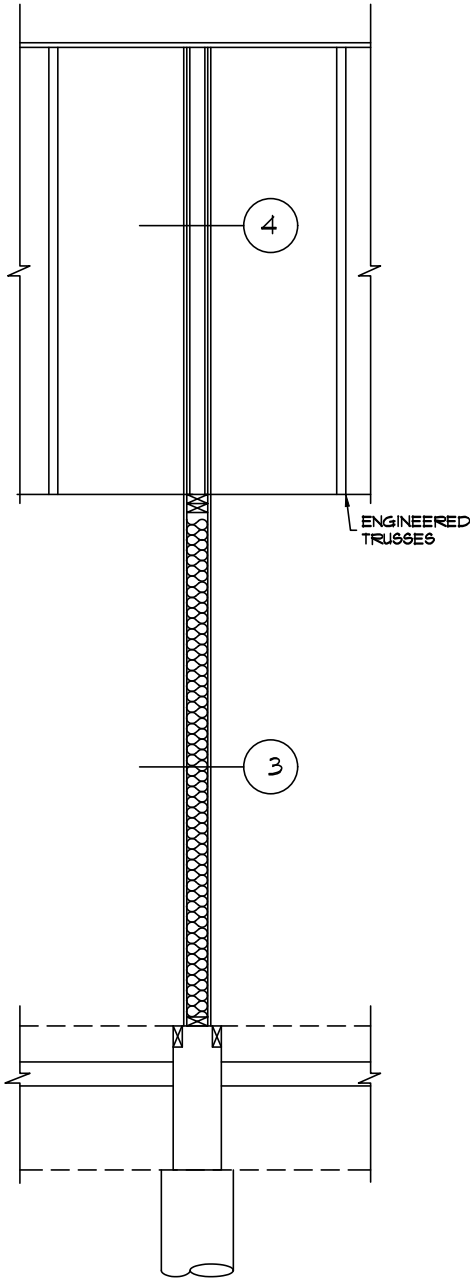


GARAGE SECTION



OVERHANG DETAIL

(4' ON EACH SIDE OF PARTY WALLS)



GARAGE PARTY
WALL DETAIL

Address: 208, 206 & 204 - DESROCHERS BLVD. SW EDMONTON, AB 10, 11 & 12 / 08 / 182-2690		Model: AFFIRMED-ALYDAR 3 (NR) (SHELL3AA-N2)	
Job #: 50291, 50292 & 50293		Date: January 6, 2022	Page 6
Drawn By: Krizel Vargas	Main:		PACESETTER DESIGN SERIES  A QUALICO Company
	Upper:		
	Total:		
	SCALE: 3/16" = 1'-0"		
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		Upper: 661 Sq.Ft. UNIT - AFFIRMED (L) 94 Sq.Ft. UNIT - AFFIRMED (R) 633 Sq.Ft. UNIT - ALYDAR (L) 663 Sq.Ft. UNIT - AFFIRMED (R)	
		Total: 1310 Sq.Ft. UNIT - AFFIRMED (L) 94 Sq.Ft. UNIT - AFFIRMED (R) 1261 Sq.Ft. UNIT - ALYDAR (L) 1311 Sq.Ft. UNIT - AFFIRMED (R)	