

PURCHASER(S) FINAL APPROVAL FORM

June 10, 2022

Job # 31049 New Home Address: 5708 Cautley Crescent SW ; 05/38/202-2817

Purchaser(s): Moyosore Oluwaseye Fagbemigun and Tinuola Oluwayemisi Fagbemigun

Phone: (587) 589-9943 (H) (C) Email: link2moyo@yahoo.com

House Model: COLUMBIA Specification: INSPIRE SERIES Subdivision: CRIMSON - RSL

Sales Area Manager: BILJANA SPASOJEVIC

To ensure your home meets or exceeds your expectations, review of the plans prior to commencing construction is required. We request that you verify the following details:

- 1. The drawings are accurate of all requested changes with the exception of any pending electrical changes. (Electrical changes are the only permissible interior change at this stage).
- 2. The exterior color chart and elevation(s) accurately represent the correct exterior colors, products and applicable changes previously made. Purchaser accepts and acknowledges that all front and/or high visibility side/rear elevations (as applicable), setbacks, and concrete applications, are subject to final architectural approval. Any exterior changes requested moving forward, are also subject to architectural resubmission approval and the purchaser will be responsible for the associated \$500.00 resubmission fee.
- 3. The purchaser has received a full explanation of site conditions including but not limited to lot size, location of the house on the lot, driveway shape/size, right-of-ways, retaining walls, easements, fixtures, street furniture, and neighboring structures. Purchaser is aware that, if required, retaining walls are not included in the purchase price and are the sole responsibility of the purchaser.
- 4. Trail Appliance and Design Q selections, colors, and finishings have been finalized. Purchaser accepts and acknowledges that no further changes to appliance dimensions will be permitted once client plans are completed.

In the event the purchaser is providing their own appliances, ensuring the selected appliances fit within the standard openings will be the responsibility of the purchaser(s).

- 5. The purchaser accepts and acknowledges that any conversation about possession up until the 35 day written notice is provided, is to be considered an estimation only.
- 6. Purchaser understands that there are two (2) scheduled visits during construction: at completion of rough-ins; and at cabinet installation. Purchaser will be contacted to book these appointments. Please note these will be weekday appointments and Alberta Workplace and Safety rules must be adhered to.
- 7. The Purchaser accepts and acknowledges that there will be no further changes past the purchaser final plan approval stage.

The Purchaser(s) hereby acknowledge that they have read, understood, and agree to the above terms of the contract.

DocuSigned by: Moyosore Fagbemigun 0B85BDB4737645D...

Moyosore Oluwaseye Fagbemigun signed on 3/31/2023

DocuSigned by: Tinuola Fagbemigun AA3012B442534EA...

Tinuola Oluwayemsi Fagbemigun signed on 3/31/2023

DocuSigned by: Mike Rudnisky 4/3/2023 5C33D060EA2142C

Authorized Signatory Pacesetter Homes (Edmonton)

Office Use only:

DS kll



EXTERIOR COLOR CHART

Job #:	31049	New Home Address:	5708 Cautley Crescent SW
Purchaser(s):	Moyo Oluwaseye Fagbemigun		
Phone:	587-589-9943	Email:	link2moyo@yahoo.com
House Model:	Columbia	Specification:	Inspire
Area Sales Manager:	Billie Spasojevic	Subdivision	CRIMSON

Elevation Selected: Prairie Keswick

FINISH	MATERIAL	MANUFACTURER	COLOR
Roofing	Asphalt shingles	IKO Cambridge	Driftwood
Primary Siding	Vinyl	Royal	Brownstone
Secondary Siding	NA	NA	NA
Siding Profile			Profile: Dutchlap
Siding Corners	Vinyl	Royal	Brownstone
Board & Batten	Vinyl	Royal	Linen
Vertical Siding	NA	NA	NA
Brick or Stone	NA	NA	NA
Soffit & Fascia	Metal	Royal	Cactus
Eavestrough & Downspouts	Metal	Royal	Cactus
Trims & Surrounds	Smartboard	Painted to Match Royal	Metal Cactus
Shadowboards	Smartboard	Painted to Match Royal	Metal Cactus
Shakes	NA	NA	NA
Crezone Panels	NA	NA	NA
Metal Panels	NA	NA	NA
Front Door	NA	Painted to match	** see special comments
Garage Door	NA	painted to match Royal	Metal Cactus
Windows	Vinyl	All weather	White
Window Grills	NA	NA	White/Narrow
Louvers	NA	NA	NA
Shutters	NA	NA	NA

EXTERIOR COLOR CHART

Page 2 of 2

FINISH	MATERIAL	MANUFACTURER	COLOR
Keystones	NA	NA	NA
Brackets	NA	NA	NA
Dentils	NA	NA	NA
Gable Trusses/Battens	NA	NA	NA
Post/Column	NA	painted to match Royal	Vinyl Linen
Post/Column Collar	NA	painted to match Royal	Metal Cactus
Front Verandah Railing	Metal	Home-Rail Ltd.	Sabal Grey
Front Verandah Skirting	Concrete	NA	Concrete
Front Verandah Steps (risers and stringers ONLY)	Concrete	NA	Concrete
Special Comments	FRONT ENTRY DOOR: DULUX, DLX1046-7 Purple Basil		

Please note: Additional costs associated with any premium selection or upgrade indicated above are the responsibility of the purchaser.

The Purchaser(s) hereby acknowledge that they have read, understood and agree to the above terms of the contract.

DocuSigned by:

Moyosore Fagbemigun

0B85BDB4737645D...

Buyer Signature

Buyer Name: Moyosore Fagbemigun

DocuSigned by:

Mike Rudnisky

5C33D060FA2142C...

2/21/2023

Authorized Signatory Pacesetter Homes Ltd.

Signed on

DocuSigned by:

Tinuola Fagbemigun

AA3012B442534EA...

Co-Buyer Signature

Co-Buyer Name: Tinuola Fagbemigun

DS

CB

DS

KV

DS

VB

ERRORS AND OMMISIONS

Home plan perusal and confirmation is essential prior to home construction. However, errors and omissions may occur on the plans. Such errors and omissions are overruled by any addendums, specifications and the offer to purchase. The buyer will not be responsible for such errors and omissions

DS

MP

DS

TF

Customer Initial:_____

DS

[Signature]

**Reserved Colours: View Data****Database Information**

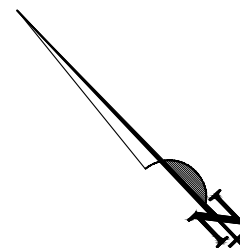
Lot	Lot 5, Block 38, Phase 3 (202 2817), Crimson	Civic Address	5708 Cautley Cresnet SW
Builder	Pacesetter Homes	Sales Contact	Billie Spasojevic
Original Submission Date	12 Feb 2023	Expires	15 Aug 2023
Model Name	Columbia	Elevation	

Model Comments

Feb 14/23 - Please see notes on email sent Feb. 14/23. Thanks. AS
Feb 13/23 - Please provide larger elevation image, to fill the space, as we are not able to clearly identify the finishes on the model.
Thanks. AS

Top**Colour Reservation History**

Date/Time	Event	User
17 Feb 2023 10:35	Reserved Colours Approved	Ashleigh Scott



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such ^{DS} errors and omissions ^{DS}

MF TF

Plan view of a proposed 1.5m sidewalk and easement area. The diagram shows a central sidewalk (2.40m B.O.W.) flanked by easements (1.50m each) and a 2.00m R/W. It includes various elevation points (e.g., 93.35, 92.54, 93.42), distances (e.g., 10.00m, 17.00m, 12.306m), and features like a 1.52m Ex. W. Wall and a 0.61m x 1.52m 2nd Flr. area. The area is divided into sections 5 and 6.

FRONT

DETAILS	
- LOT AREA:	333.19 m ² (3586.4 ft ²)
- HOUSE AREA:	136.99 m ² (1474.5 ft ²)
- HOUSE COVERAGE:	41.11 %
- DRIVEWAY AREA:	46.33 m ² (498.7 ft ²)
CITY OF EDMONTON LANDSCAPING REQUIREMENTS:	
1 New Deciduous Tree :	50 mm Caliper
1 New Coniferous Tree :	2.5 m Height
4 New Shrubs	

LEGAL INFORMATION		
LOT	BLOCK	PLAN NUM.
5	38	202 2817
CIVIC ADDRESS:		
5708 CAUTLEY CRESCENT SW		
LOCATION		SUBDIVISION
EDMONTON		CHAPPELLE

DWG DETAILS			
Rev. No.	Date:	Drafted By:	Description
PP	3/6/23	AMACDONALD	
BUILDER/OWNER: PACESETTER HOMES			
MODEL: COLUMBIA (P-K) (STANDARD)			
JOB NUM.: 31049			
LOT ZONING: RI D		SCALE: 1:300	

THE RESIDENCE OF FAGBEMIGUN

05 / 38 / 202 2817

CRIMSON

Home plan perusal and confirmation is essential prior to home construction. However, errors and omissions may occur on the plans. Such errors and omissions are overruled by any addendums, specifications and the offer to purchase. The builder will not be responsible for such errors and omissions.

Customer Initial: _____

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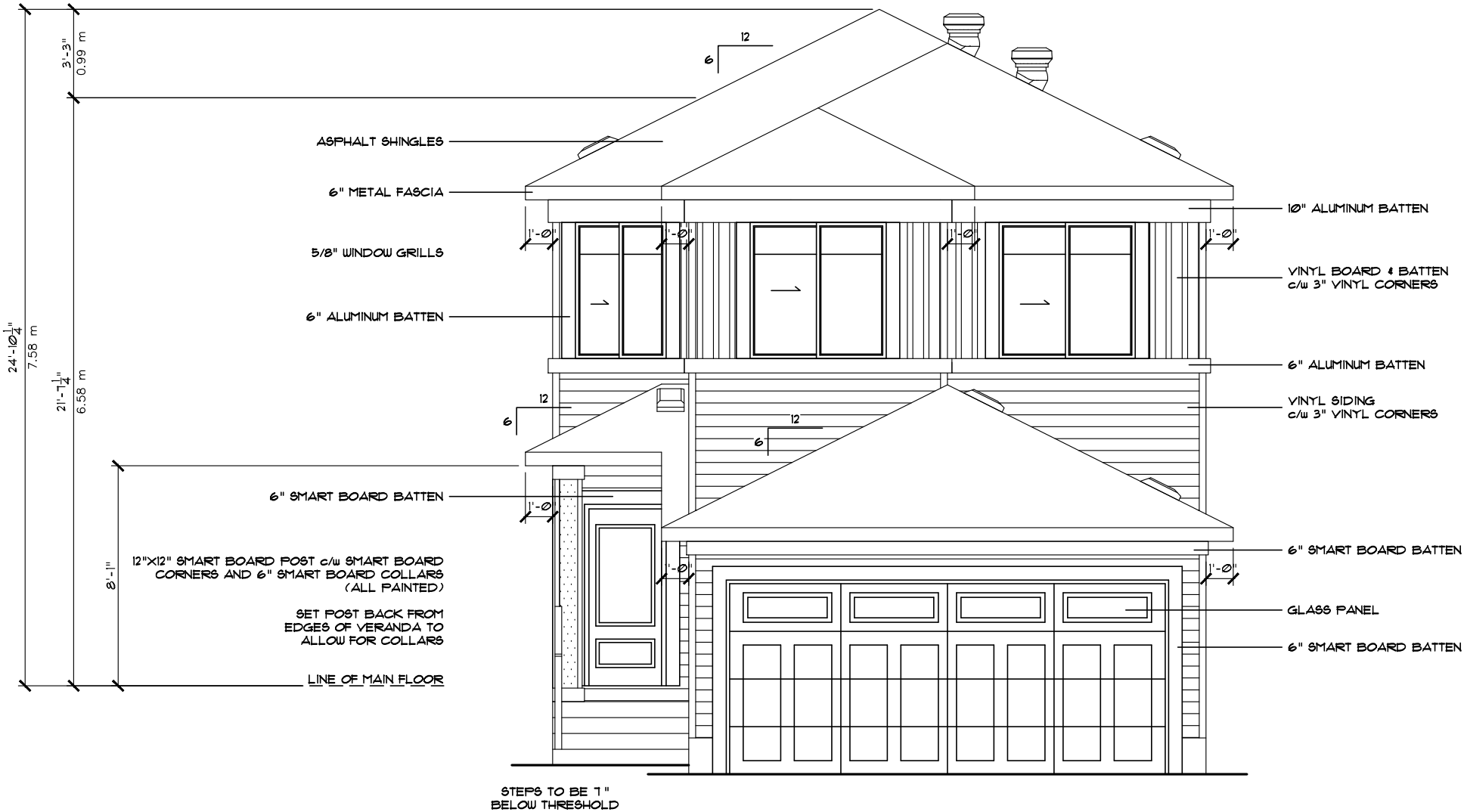
ERRORS AND OMMISIONS

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Customer Initial: _____



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NOTE!

1. FLASHING IS TO BE INSTALLED AT ALL APPROPRIATE LOCATIONS ON ROOF AND ELEVATIONS. -SEE BUILDERS SPECS.

2. WINDOW WELLS MAY BE REQUIRED DEPENDING ON FINAL GRADE

3. ALL STAIRS TO HAVE A MINIMUM 10" RUN + 1" NOSING

FRONT ELEVATION

**** ALL WINDOWS TO BE LOW E ****

**** TRI-PANE WINDOWS ****

THROUGHOUT

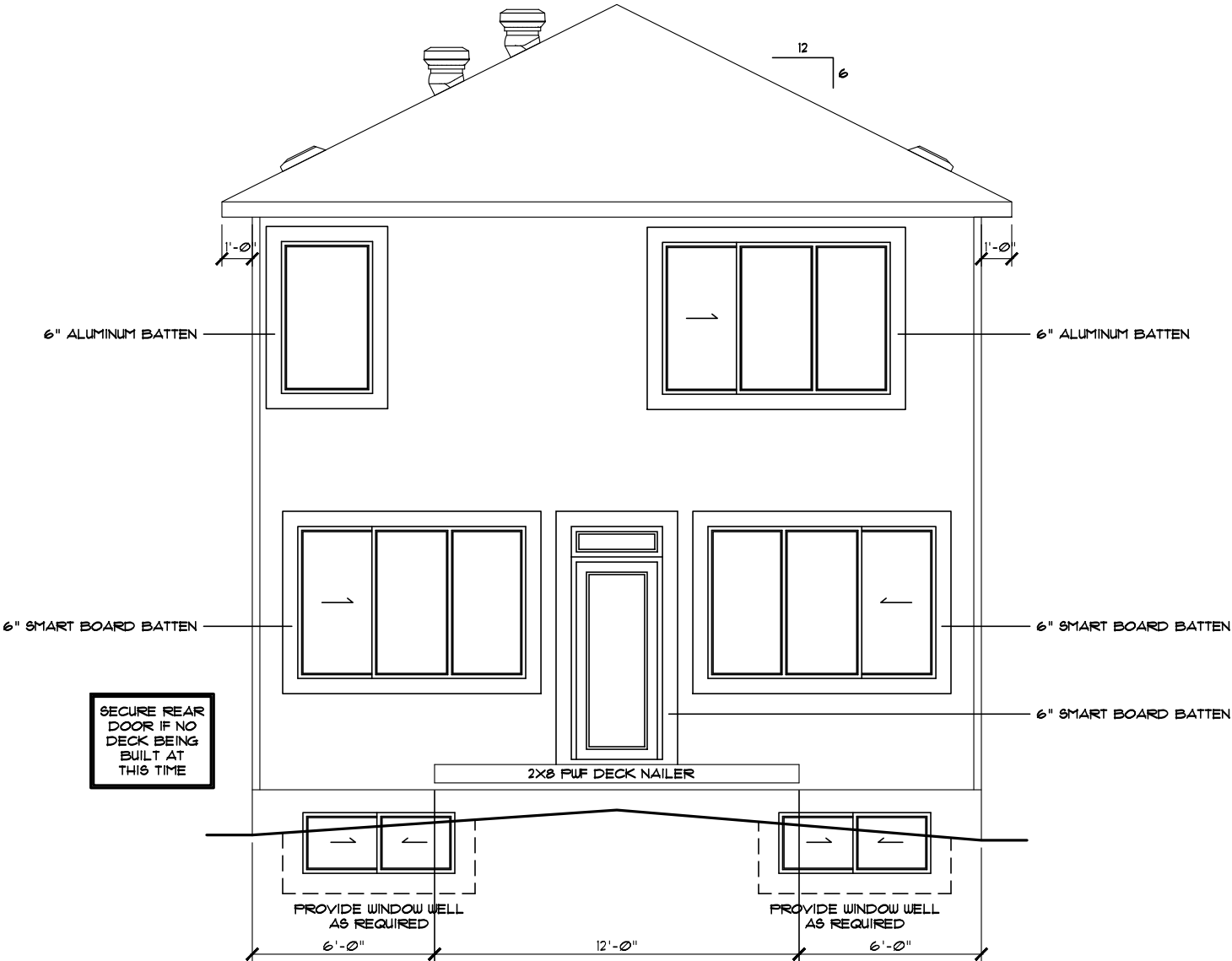
(UNLESS NOTED OTHERWISE)

Customer: FAGBEMIGUN		Job #: 31049		PACESSETTER INSPIRE SERIES		Page
Address: 5108 CAUTLEY CRESCENT SW EDMONTON, AB		Model: COLUMBIA (P-K)		Market.		Pacesetter HOMES A QUALICO Company
Drawn By: Bryce Stabel		SCALE: 3/16" = 1'-0"		Const.	1031 \$F	
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		BSMT. DEVL.: 0 sq.ft.		Upper Fl.	2282 \$F	
Square footage is based on floor area		Total		2162 \$F	2282 \$F	

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Customer Initial: _____

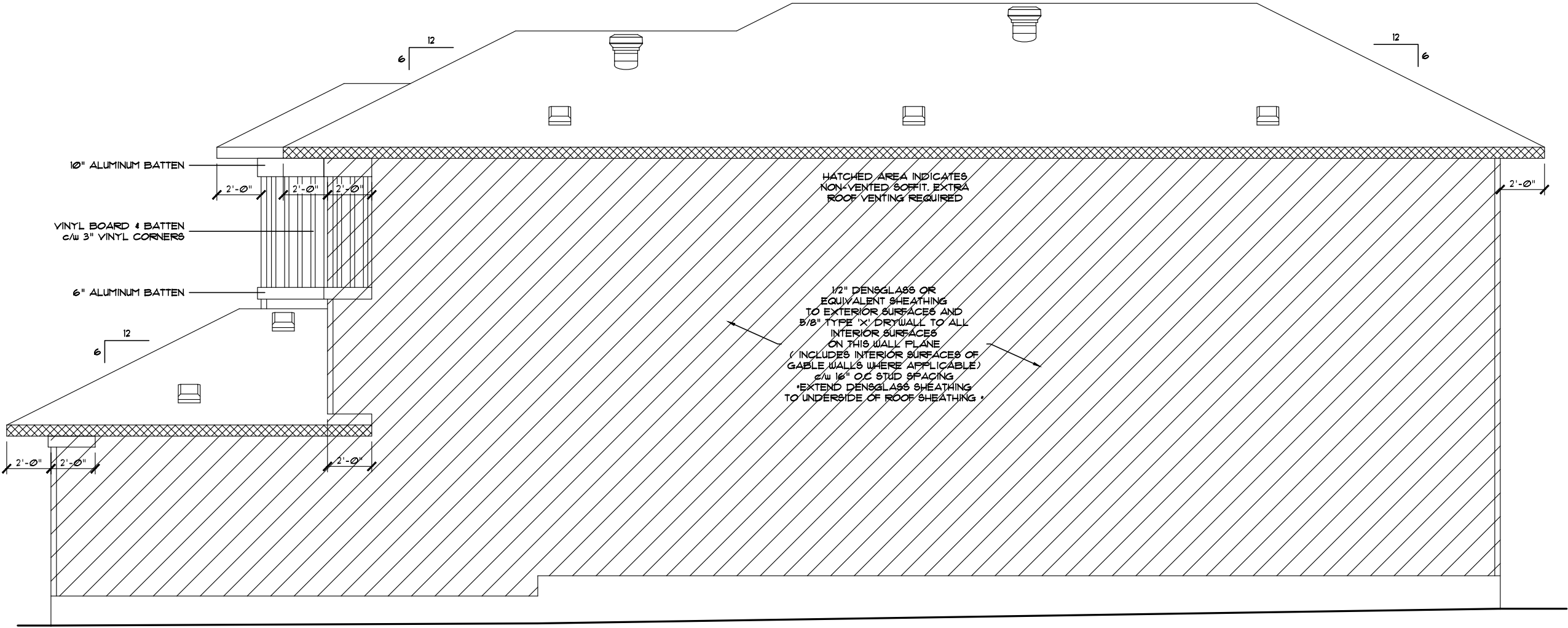


REAR ELEVATION

**** ALL WINDOWS TO BE LOW E ****
**** TRI-PANE WINDOWS ****
THROUGHOUT

(UNLESS NOTED OTHERWISE)

Customer: FAGBEMIGUN		PAGES		Page	
Address: 5108 CAUTLEY CRESCENT SW EDMONTON, AB		FACESETTER INSPIRE SERIES		2	
Model: columbia (P-K)		Job #: 31049		10	
SCALE: 3/16" = 1'-0"		Main Fl.		Market.	
Date: March 15, 2023		Upper Fl.		1031 SF	
BSMT. DEVL.: 0 sq.Ft.		Total		1250 SF	
Drawn By: Bryce Stabel		2162 SF		2282 SF	
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Square footage is based on floor area		Pacesetter INSPIRE SERIES		Pacesetter HOMES	



**** NO VENTING PERMITTED ON ZLL SIDE ****

RIGHT ELEVATION

**** ALL WINDOWS TO BE LOW E ****
**** TRI-PANE WINDOWS ****
THROUGHOUT

(UNLESS NOTED OTHERWISE)

ERRORS AND OMMISIONS

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Customer Initial: MP TS

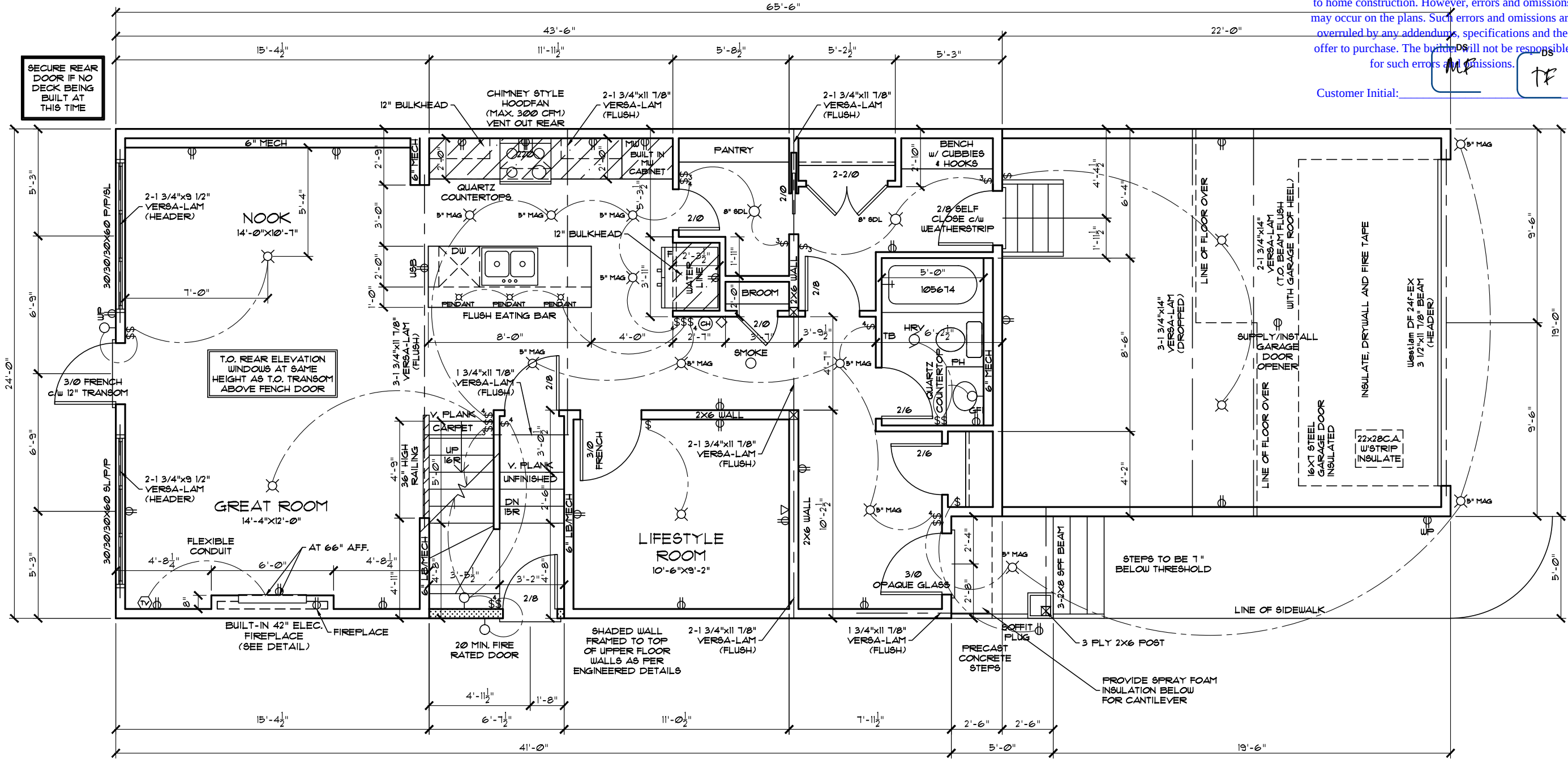
Customer: FAGBEMIGUN		PAGES		Page 4 of 10	
Address: 5108 CAUTLEY CRESCENT SW EDMONTON, AB 05 / 38 / 202 2817		FACESETTER INSPIRE SERIES		Pacesetter HOMES A QUALICO Company	
Drawn By: Bryce Stabel		Job #: 31049		Market.	
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Scale: 3/16" = 1'-0"		Main Fl.		1031 \$F	
Date: March 15, 2023		Upper Fl.		1250 \$F	
BSMT. DEVL.: 0 sq.Ft.		Total		2282 \$F	
Square footage is based on floor area					

**** NO VENTING PERMITTED ON ZLL SIDE ****

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Customer Initial: MP TF



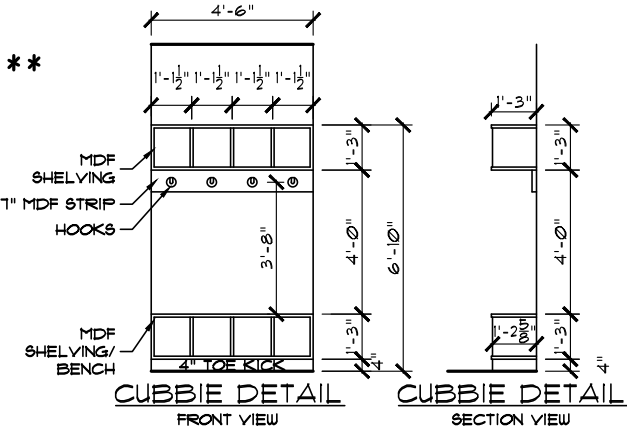
**** CALIFORNIA KNOCKDOWN CEILING ****

MAIN FLOOR PLAN

NOTE!

1. DIMENSIONS SHOWN ARE TO FACE OF MEMBER OR EXTERIOR WALL FACE UNLESS SHOWN OTHERWISE.

2. ALL BEAMS AND LINTELS ARE TO BE 2-2X10 SPRUCE UNLESS NOTED OTHERWISE.



LEGEND	
	CEILING LIGHT
	ELEC. PLUG
	220 PLUG
	USB PAIRED PLUG
	TELEPHONE
	TV/CAT5E
	THERMOSTAT
	3 WAY SWITCH
	WEEPING TILE
	TEE
	GAS METER
	WALL LIGHT
	SMOKE DETECTOR
	SD/CO DETECTOR
	VAC. ROUGH IN
	BATHROOM FAN
	CHIME
	SINGLE SWITCH
	ELEC. WIRING
	SPEAKER

ELECTRICAL LOCATIONS SUBJECT TO CHANGE AS REQUIRED BY CODE

Customer: FAGBEMIGUN

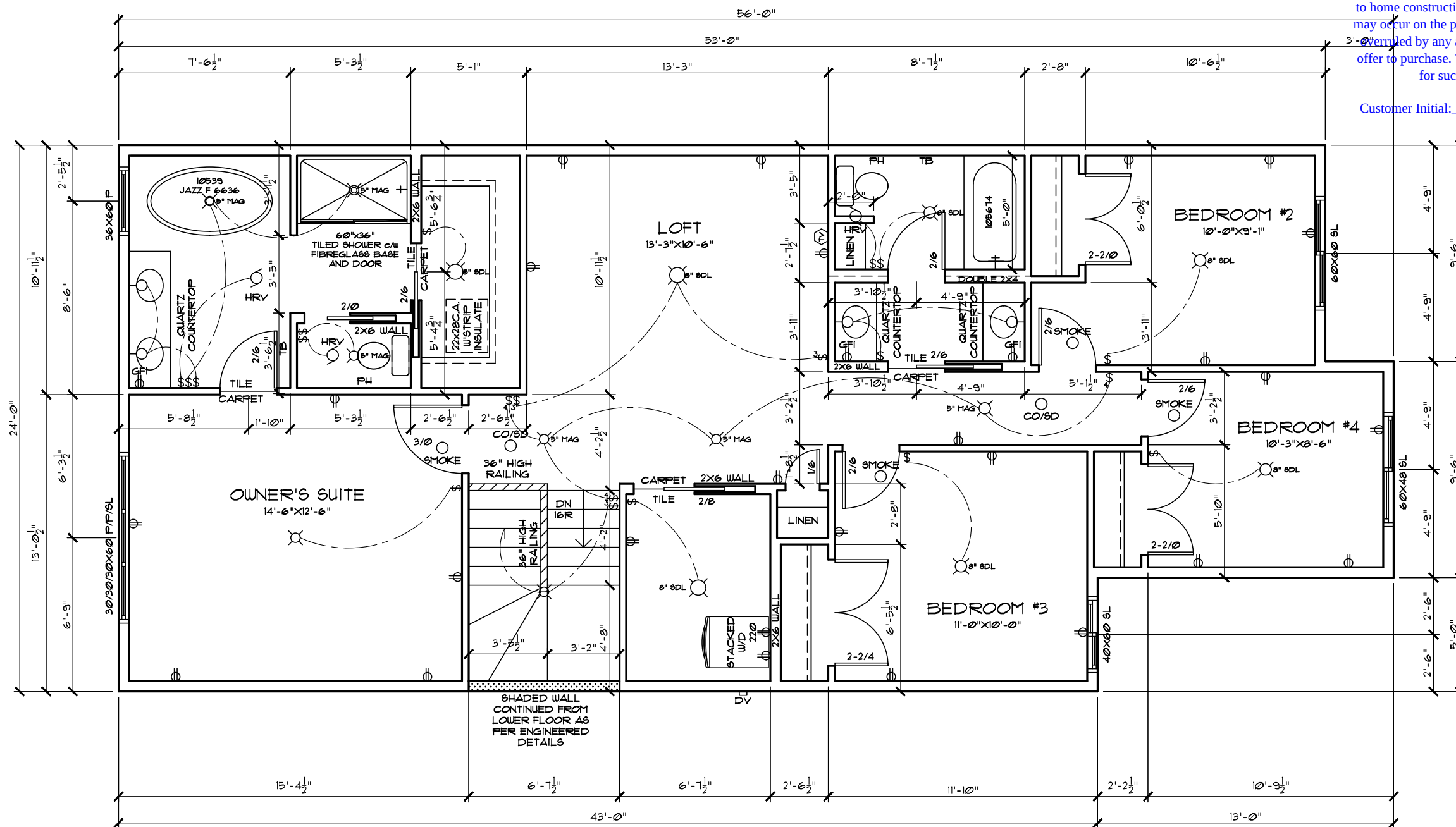
PAGES		PAGE	
PACESSETTER INSPIRE SERIES		5	
Job #: 31049		Pacesetter HOMES	
Model: COLUMBIA (P-K)		A QUALICO Company	
SCALE: 3/16" = 1'-0"		Market.	
Date: March 15, 2023		Const.	
BSMT. DEVL.: 0 sq.ft.		Main Fl.	
Square footage is based on floor area		Upper Fl.	
		Total	
		1031 SF	
		1250 SF	
		2282 SF	

**** NO VENTING PERMITTED ON ZLL SIDE ****

ERRORS AND OMMISIONS

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Customer Initial: _____



**** CALIFORNIA KNOCKDOWN CEILING ****

UPPER FLOOR PLAN

LEGEND

	CEILING LIGHT		WALL LIGHT
	ELEC. PLUG		SMOKE DETECTOR
	220V PLUG		SD/CO DETECTOR
	USB PAIRED PLUG		VAC. ROUGH IN
	TELEPHONE		BATHROOM FAN
	TV/CAT5E		CHIME
	THERMOSTAT		SINGLE SWITCH
	3 WAY SWITCH		ELEC. WIRING
	WEEPING TILE TEE		SPEAKER
	GAS METER		

ALL LEGEND SYMBOLS ARE SUBJECT TO CHANGE AS REQUIRED BY CODE

Address: 5108 CAUTLEY CRESCENT SW EDMONTON, AB 05 / 38 / 202 2817		Customer: FAGBEMIGUN			
Drawn By: Bryce Stabel		Model: COLUMBIA (P-K)		Job #: 31049	
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		Date: March 15, 2023		Main Fl. 910 SF	
		BSMNT. DEVL.: 0 Sq.Ft.		Upper Fl. 1192 SF	
Square footage is based on floor area		Total		2282 SF	
				PACESETTER INSPIRE SERIES	
					
				A QUALICO Company	
				Page 6	

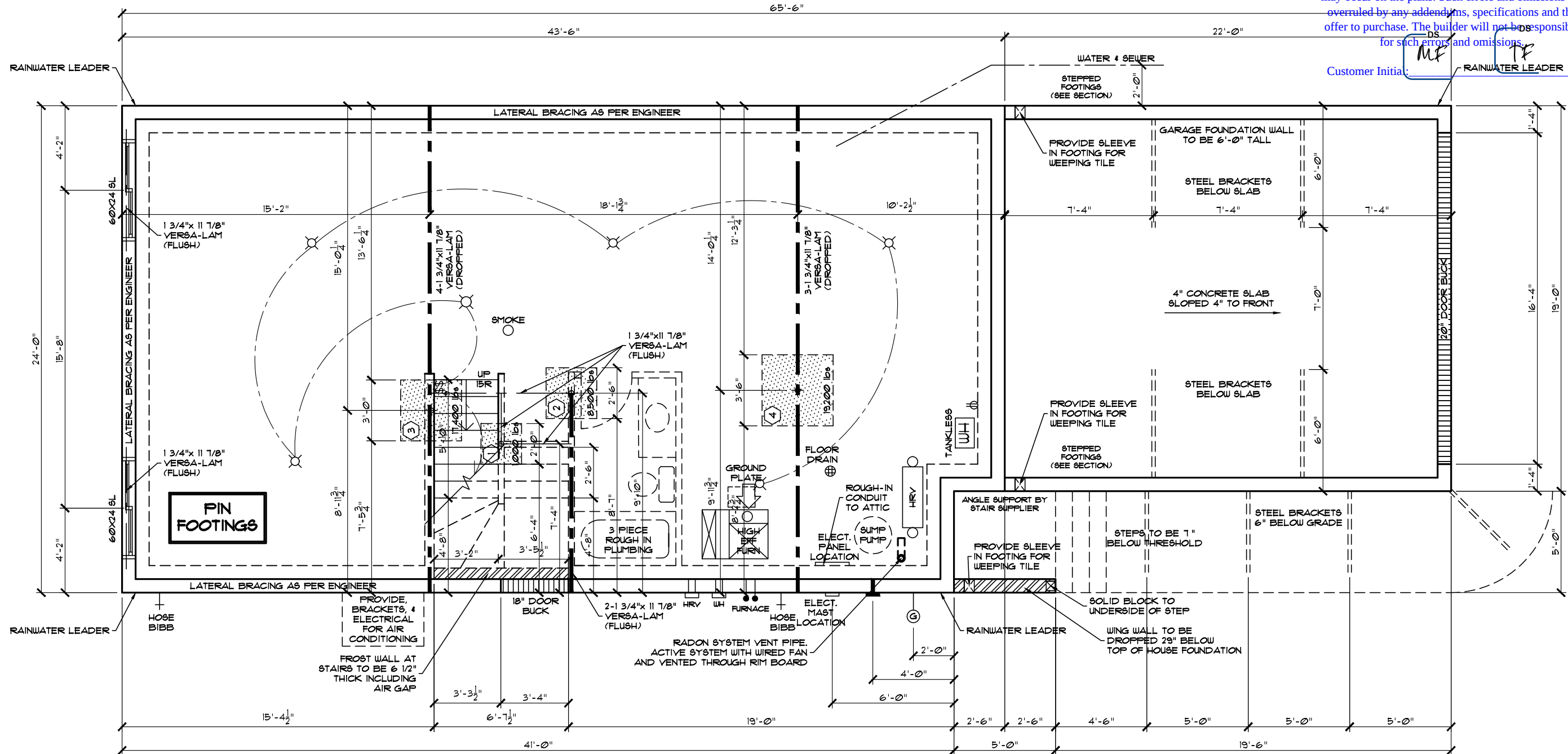
**** NO VENTING PERMITTED ON ZLL SIDE ****

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Customer Initial:

RAINWATER LEADER



	MAXIMUM CAPACITY (20MPa Conc.)	CONC. PAD DIMENSIONS (1 x w x d)	AMOUNT & SIZE OF REBAR
①	8,350 LBS	24"x24"x9"	2-10 M
②	13,050 LBS	30"x30"x9"	3-10 M
③	18,800 LBS	36"x36"x9"	4-10 M
④	25,580 LBS	42"x42"x9"	5-10 M
⑤	33,420 LBS	48"x48"x10"	7-10 M

REBAR SPACING AS PER MITEK'S DETAIL

PAD LEGEND

(BASED ON MITEK COLUMNS)

FOUNDATION PLAN

**** ALL FROST WALLS TO BE ****
8" THICK INCLUDING AIR GAP

(UNLESS NOTED OTHERWISE)

Customer: FAGBEMIGUN

Address: 5708 CAUTLEY CRESCENT SW EDMONTON, AB
05 / 38 / 202 2817

Drawn By: Bryce Stabel

Model: COLUMBIA (P-K)

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SCALE: 3/16"=1'-0"

Date: March 15, 2023

Square footage is based on floor area

BSMNT. DEVL.: 0 Sq.Ft.

Total	
-------	--

	2282 SF
--	---------

	2282 SF
--	---------

	2282 SF
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PACSETER INPIRE SERIES

A QUALICO® Company

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NOTES

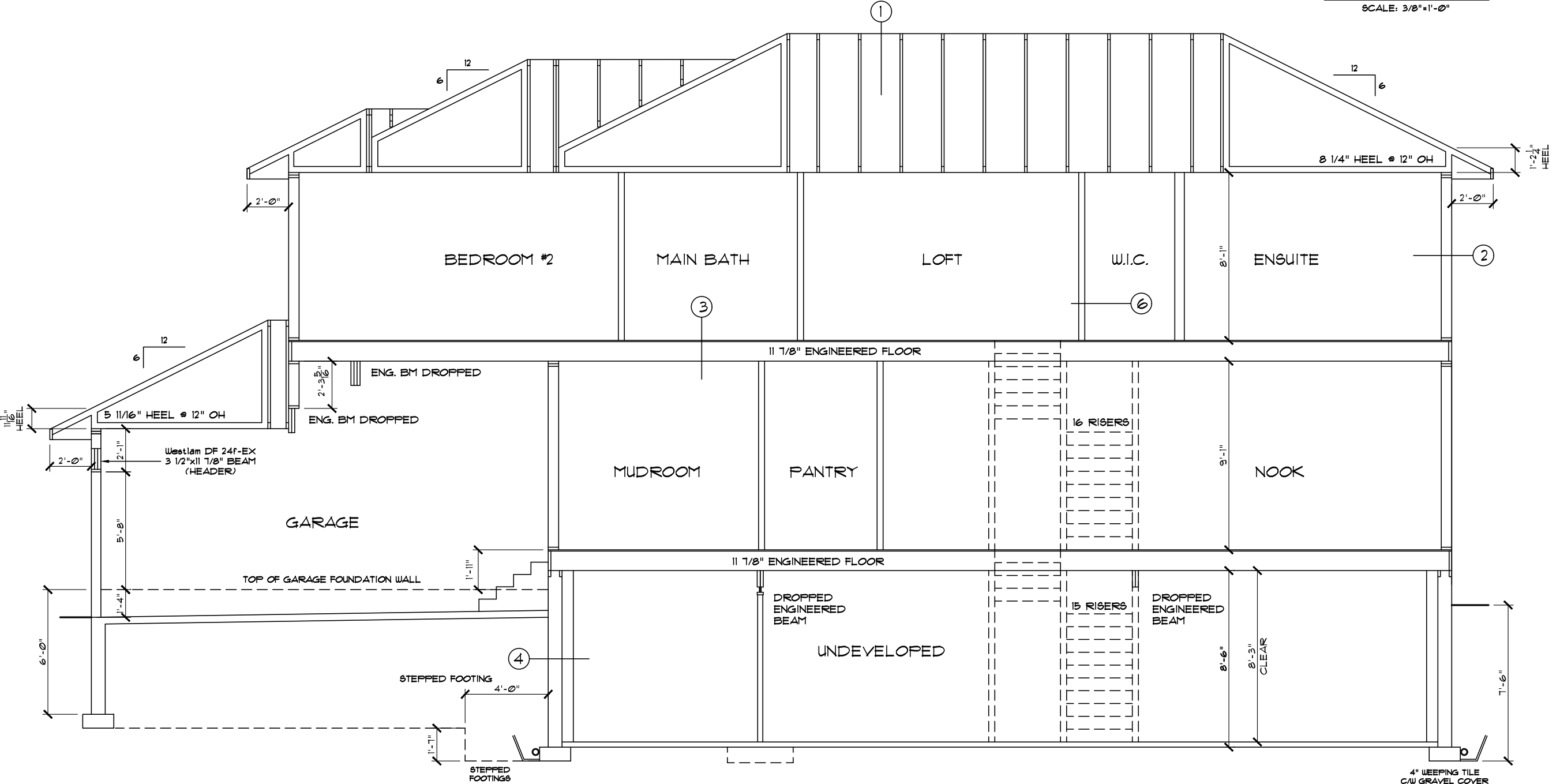
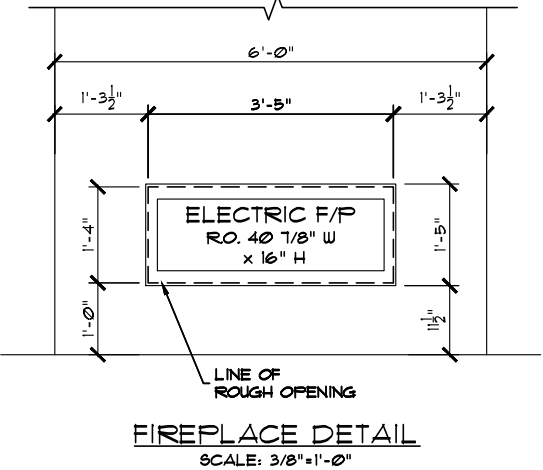
- TRADES ARE RESPONSIBLE FOR CHECKING ALL DIMENSIONS & NOTES AND REPORTING ANY DISCREPANCIES TO THE DESIGNER PRIOR TO CONSTRUCTION.
- ALL LOADBEARING LINTELS TO BE 2-2x10 #2 SPRUCE UNLESS NOTED OTHERWISE
 - FINAL EXTERIOR GRADES MAY VARY
 - WINDOW AND DOOR SIZES SHOWN ARE APPROXIMATE ONLY. EXACT ROUGH OPENINGS TO BE SUPPLIED BY MANUFACTURER PRIOR TO CONSTRUCTION.
 - MECHANICAL LAYOUT AND SPECS. SUPPLIED BY OTHERS.
 - ROOF SHALL BE VENTED WITH AN UNOBSTRUCTED VENT AREA OF NOT LESS THAN 1/300 OF THE CEILING AREA.
 - ALL EXTERIOR WALLS WHERE MONO TRUSSES ARE ATTACHED SHALL BE SEALED & PAPERED BEFORE INSTALLING TRUSSES
 - THE AREAS REQUIRING VENTILATION WITHIN THE ROOF SPACE OR ATTIC SHALL CONFORM TO NBC - 2019 ALERTA EDITION 9.19.1.
 - ATTIC ACCESS TO BE WEATHERSTRIPPED & INSULATED AS PER NBC - 2019 ALERTA EDITION 9.19.2.1.
 - STEP FOOTING FOR WALKOUTS SHALL BE MAX. RISE 24" & MINIMUM HORIZONTAL DISTANCE OF 24" AS PER NBC - 2019 ALERTA EDITION 9.15.8.3.
 - COMBUSTION AIR SHALL BE PROVIDED FOR FIREPLACE AS PER NBC - 2019 ALERTA EDITION 9.22.1.4.
 - SMOKE ALARMS TO CONFORM TO NBC - 2019 ALERTA EDITION 9.10.19.
 - IF WEEPING TILE IS REQUIRED SLAB ON GROUND SHALL BE DAMPROOFED AS PER NBC - 2019 ALERTA EDITION 9.13.4.
 - EXACT LOCATION OF MECHANICAL, ELECTRICAL, AND PLUMBING EQUIPMENT SUBJECT TO CHANGE DUE TO SITE CONDITIONS.
 - GARAGE ENTRY STAIRS MAY VARY IN NUMBER OF RISERS AND LOCATION DUE TO SITE CONDITIONS
 - ELEVATIONS, FLOOR LAYOUT AND ROOM DIMENSIONS ARE SUBJECT TO CHANGE DUE TO SITE CONDITIONS
 - DRIVEWAYS, SIDEWALKS, AND PARKING PADS SUBJECT TO CHANGE DUE TO SITE CONDITIONS

****SEE PAGE 9 FOR KEYNOTES****

ERRORS AND OMMISIONS

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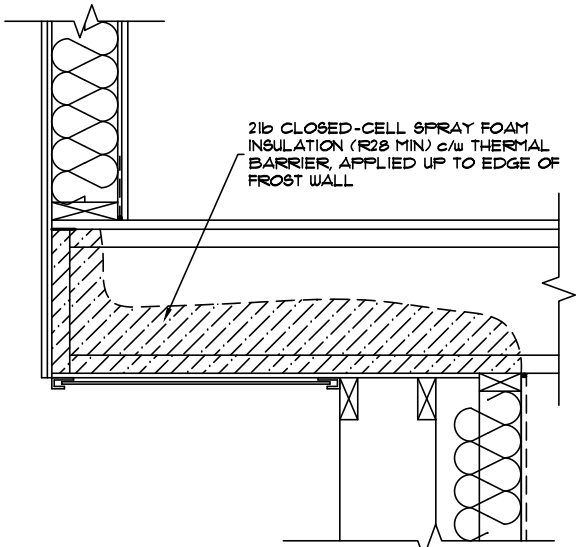
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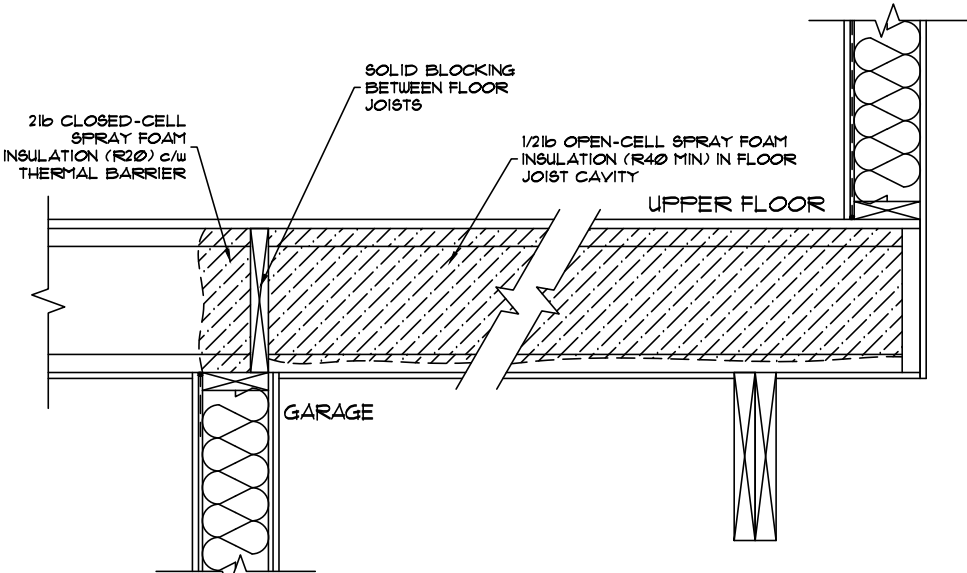
BUILDING SECTION

Customer: FAGBEMIGUN		Page	
Address: 5108 CAUTLEY CRESCENT SW EDMONTON, AB		PACESSETTER INSPIRE SERIES	
Drawn By: Bryce Stabel		Job #: 31049	
Model: COLUMBIA (P-K)		Market.	
SCALE: 3/16" = 1'-0"		Const.	1031 \$F
Date: March 15, 2023		Main Fl.	970 \$F
BSMT. DEVL.: 0 sq.Ft.		Upper Fl.	1192 \$F
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Square footage is based on floor area		2282 \$F	

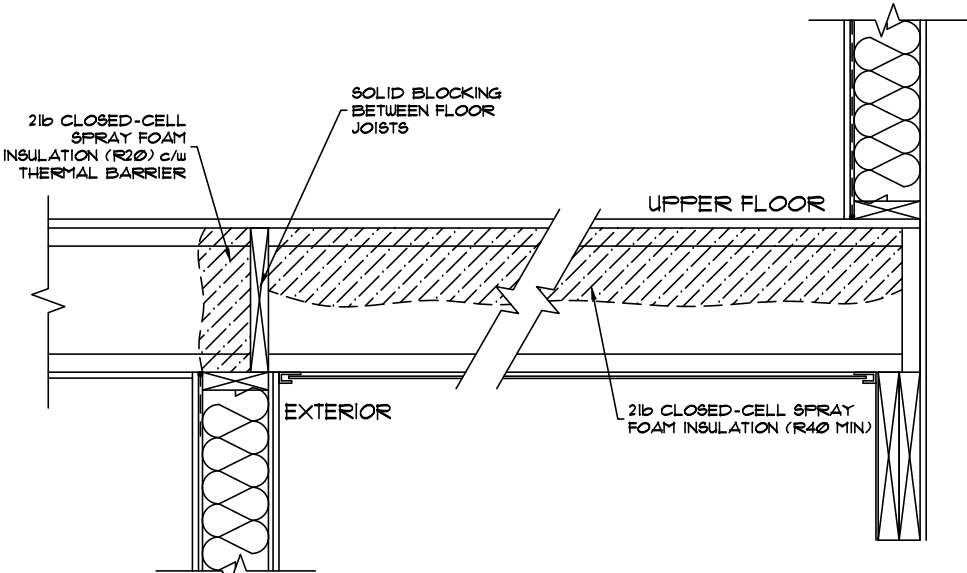




MAIN FLOOR CANTILEVER DETAIL - 3FT OR LESS
3/4"=1'-0"

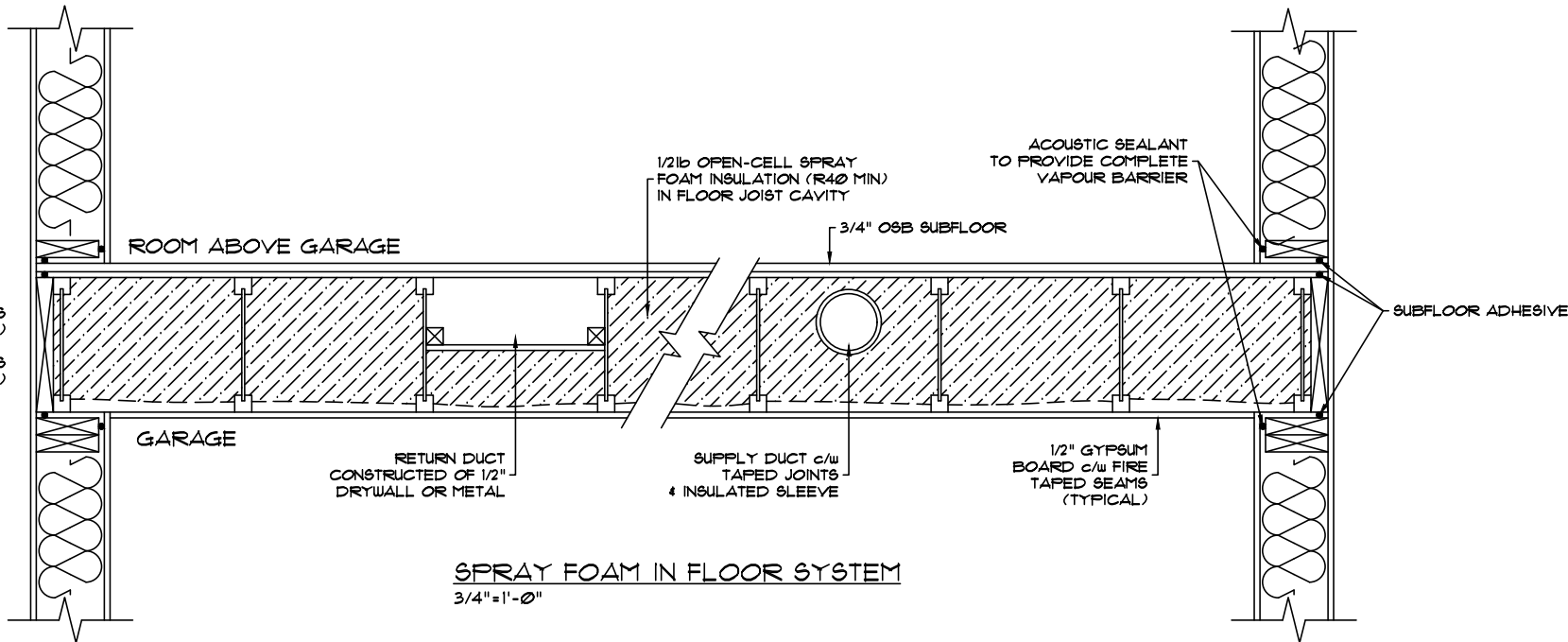


FLOOR ABOVE UNHEATED SPACE DETAIL
3/4"=1'-0"



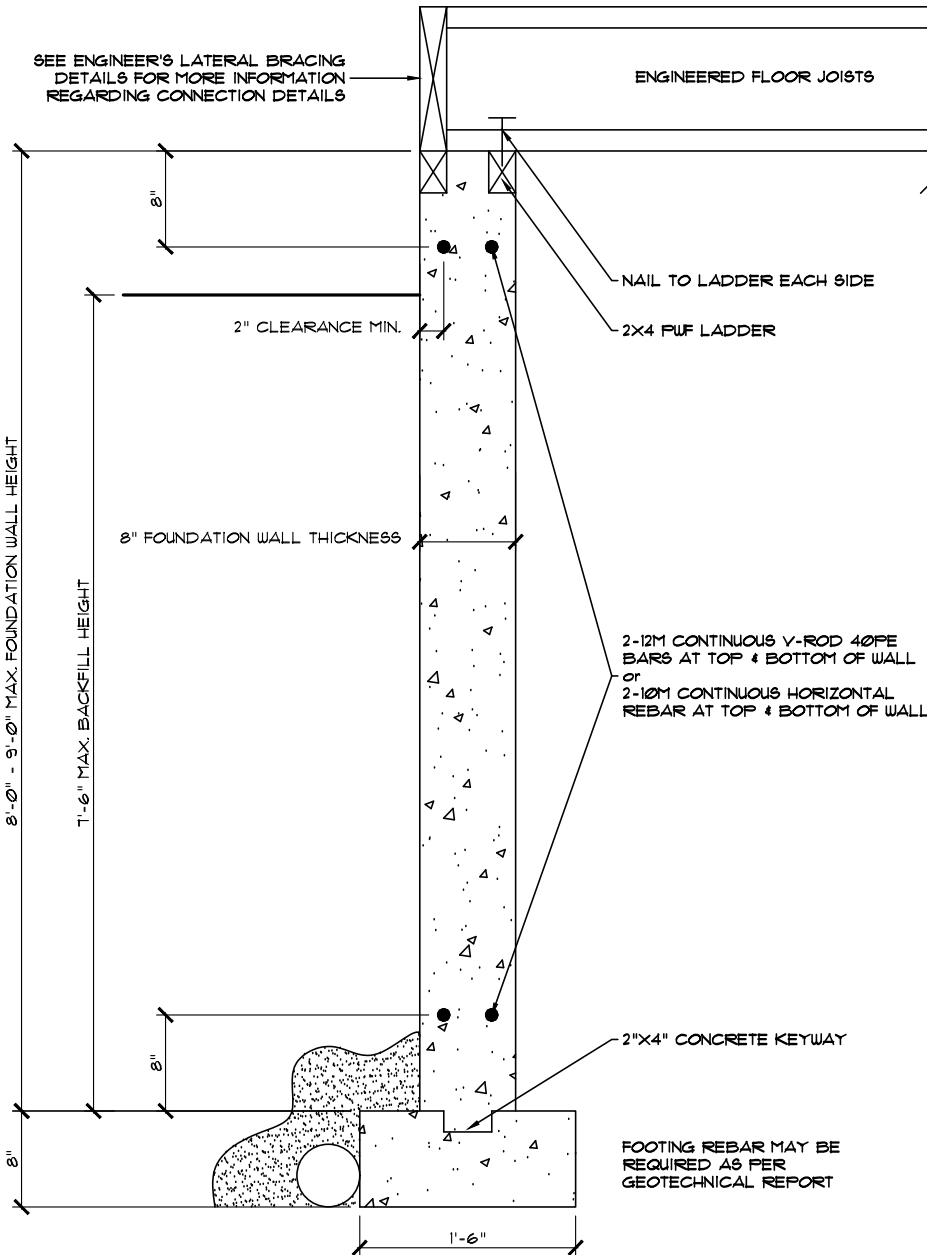
LARGE EXTERIOR OVERHANG DETAIL
3/4"=1'-0"

12" FLOOR JOISTS
(MAX DUCT SIZE: 5")
14" FLOOR JOISTS
(MAX DUCT SIZE: 6")



SPRAY FOAM IN FLOOR SYSTEM
3/4"=1'-0"

SEE ENGINEER'S LATERAL BRACING
DETAILS FOR MORE INFORMATION
REGARDING CONNECTION DETAILS



GENERAL NOTES

- ALL OF THE CONSTRUCTION SHOULD BE IN ACCORDANCE WITH THE CURRENT NATIONAL BUILDING CODE (NBC - 2019 ALBERTA EDITION).
- SEE MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION / SUPPORT OF ENGINEERED FLOOR JOISTS.
- CONCRETE:
 - 32 MPA TYPE 50 (H6) OR SPECIFIED IN SULPHATE TEST REPORT
 - ALL CONCRETE EXPOSED TO FREEZE/THAW CYCLE HAS A MINIMUM AIR ENTRAINMENT OF 5-7%
 - INTERNAL VIBRATION WITH 3180mm (125") MECHANICAL VIBRATOR
 - MAXIMUM CONCRETE FORM PRESSURE (HURD, THUNMAN) 29KPa
- REINFORCING DETAIL:
 - IT IS DESIGNED TO CSA A23.3-94
 - IT REINFORCES TO CSA CAN-A23.1-M90 AND CSA G30.12.M11
 - ITS STRENGTH IS 400 Mpa
- PROVIDE WEEPING TILES AROUND FOOTINGS c/w DRAIN GRAVEL.
- FOOTING SIZES AS PER CURRENT NBC AND/OR GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.

NOTES:

THE CONTRACTOR TO VERIFY ALL DIMENSIONS AND DATA NOTED ON THE STRUCTURAL DRAWING WITH CONDITIONS ON SITE. THE CONTRACTOR IS TO CO-ORDINATE ALL OF THE DIMENSIONS WITH THE ARCHITECTURAL DRAWINGS AND IS HELD RESPONSIBLE FOR REPORTING ANY DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK. VARIATIONS AND MODIFICATIONS TO WORK SHOWN ON THE STRUCTURAL DRAWINGS SHALL NOT BE CARRIED OUT WITHOUT WRITTEN PERMISSION FROM THE ENGINEER. THIS DRAWING IS NOT TO BE SCALED.

THIS DETAIL IS VALID WHEN BACKFILL SOILS ARE SAND / GRAVEL OR LOW PLASTIC.

IF BACKFILL SOILS ARE MEDIUM TO HIGH PLASTIC THEN ENGINEER SHOULD BE CONTACTED.

FOUNDATION WALL DETAIL
3/4"=1'-0"

ERRORS AND OMMISIONS

Home plan perusal and confirmation is essential prior to home construction. However, errors and omissions may occur on the plans. Such errors and omissions are overuled by any addendums, specifications and the offer to purchase. The builder will not be responsible for such errors and omissions.

Customer Initial: MF TF

Customer: FAGBEMIGUN

Address: 5108 CAUTLEY CRESCENT SW EDMONTON, AB

Drawn By: Bryce Stabel

Model: columbia (P-K)

Job #: 31049

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SCALE: 3/16" = 1'-0"

Date: March 15, 2023

Market: 1031 \$F

Const. 910 \$F

Main Fl. 1192 \$F

Upper Fl. 2162 \$F

Total 2282 \$F

BSMT. DEVL.: 0 sq.Ft.

Square footage is based on floor area

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