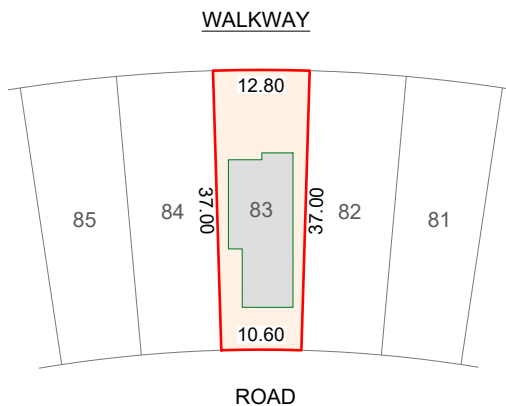
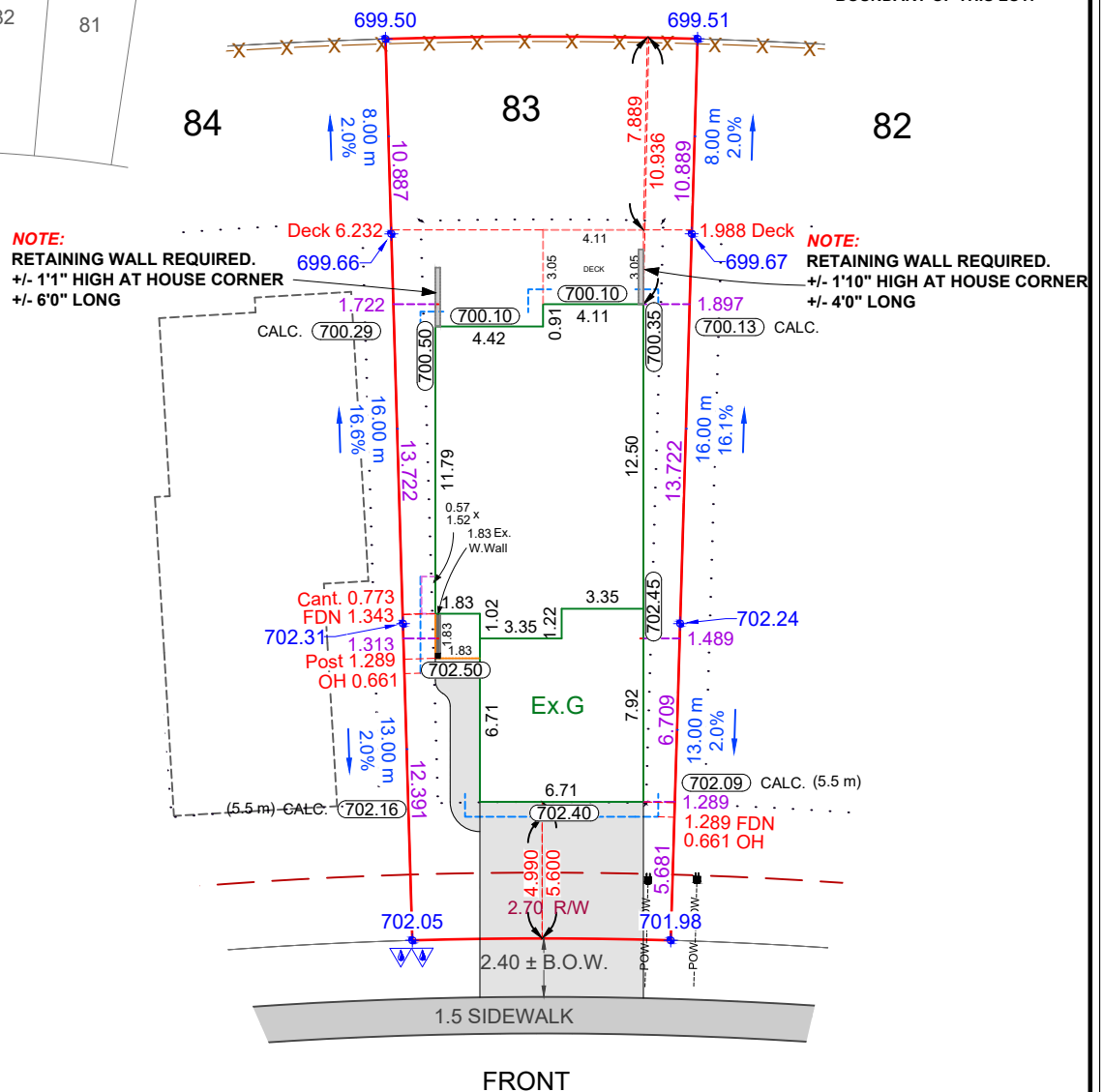


PLOT PLAN



NOTE:
DEVELOPER FENCE WILL BE
CONSTRUCTED WITHIN THE
BOUNDARY OF THIS LOT.
















ELEVATION DETAILS	
HOUSE TYPE:	2 STOREY
FINISHED FLOOR:	703.19
BOTTOM OF FOOTING:	699.94
BASEMENT HEIGHT:	9'0"
FINISHED GRADE AT-FRONT STEP:	702.50
3 RISE DOWN 6"	
FINISHED GRADE AT-BACK OF HOUSE:	
700.10 - WALKOUT	
GRADE BELOW-BACK/SIDE DOOR SILL:	
GRADE BELOW-BASEMENT WINDOWS:	WELL AS REQ'D
TOP OF CONCRETE BASEMENT WALL:	702.89
GARAGE FLOOR:	*SEE NOTES*
SANITARY SEWER SERVICE INVERT:	699.30
FOOTING SIZE:	0.20

NOTES

- BUILDER/OWNER RESPONSIBLE TO ENSURE BACK FILL LEVELS MEET ALL CODES.
- BUILDER / OWNER IS LIABLE FOR ANY COSTS INCURRED DUE TO AN ERROR IN THE ABOVE PLAN IF CONSTRUCTION STARTS PRIOR TO THIS PLAN BEING APPROVED BY THE LOCAL APPROVING AUTHORITY
- ALL DISTANCES SHOWN ARE IN METER AND DECIMALS THEREOF.
- ALL DIMENSIONS AND SERVICES SHOWN MUST BE CONFIRMED BY CONTRACTOR PRIOR TO EXCAVATION.
- ALL DIMENSIONS SHOWN TO FOUNDATION WALL, FINAL EXTERIOR CLADDING MAY ALTER DIMENSIONS
- THE ELEVATION OF THIS HOUSE HAS BEEN DESIGNED SO THAT IT WILL BE IN CONFORMANCE WITH THE LOT GRADING PLAN.
- CANTILEVER SUBJECT TO ALL BUILDING CODE REGULATION: BUILDER/OWNER RESPONSIBLE TO ENSURE COMPLIANCE.
- 💧 RAIN WATER LEADERS NOT REQUIRED.
- GARAGE SLAB AT OVERHEAD DOOR RECOMMENDED TO BE SET 1'7" BELOW TOP OF CONCRETE FOUNDATION WALL.
- SLAB ELEVATION: 702.40 GARAGE FOOTING: 700.77

DETAILS	
- LOT AREA: 432.97 m ² (4660.4 ft ²)	
- HOUSE AREA: 160.34 m ² (1725.8 ft ²)	
- HOUSE COVERAGE: 37.03 %	
- DECK AREA: 12.54 m ² (135.0 ft ²)	
- DECK COVERAGE: 2.90 %	
- TOTAL COVERAGE: 39.93 %	
- DRIVEWAY AREA: 53.73 m ² (578.3 ft ²)	
- LOT WIDTH AT 9 m FRONT SETBACK = 11.14 m	
CITY OF EDMONTON LANDSCAPING REQUIREMENTS:	
2 New Deciduous Tree : 50 mm Caliper	
1 New Coniferous Tree : 2.5 m Height	
6 New Shrubs	
- LOWEST BUILDING OPENING: 700.00	
- LOWEST BOTTOM OF FOOTING 696.30	

LEGEND									
PROPOSED CLEAN OUT		PROPOSED HYDRANT		PROPOSED BACK OF CURB	B.O.C.	DESIGN GRADE ELEVATION			
PROPOSED STREET LIGHT		PROPOSED SERVICE PEDESTAL		PROPOSED BACK OF WALK	B.O.W.	AS-BUILT ELEVATION			
PROPOSED C.C. LOCATION		PROPOSED POWER SERVICE		PROPOSED LIP OF LANE	L.O.L.	PROPOSED ELEVATION			
PROPOSED TRANSFORMER		PROPOSED FENCE LINE		PROPOSED UTILITY VAULT		CENTERLINE ELEVATION			

LEGAL INFORMATION		
LOT 83	BLOCK 2	PLAN NUM. 212 2790
CIVIC ADDRESS: 8155 220 STREET NW		
LOCATION EDMONTON		SUBDIVISION ROSENTHAL

P **Pals Geomatics Corp.**

EMAIL: PLOTPLAN@PALSGEOMATICS.COM
PHONE: 780-455-3177
FAX: 780-481-1301
10704 - 176TH STREET NW
EDMONTON, ALBERTA T5S 1G7

Canadian Home Builders Association
Member

Edmonton Region



DWG DETAILS			
Rev. No.	Date:	Drafted By:	Description
PP	2/28/23	AMACDONALD	
01	3/3/23	AWANG	TEXT
02	3/27/23	AWANG	DECK
BUILDER/OWNER: PACESETTER HOMES			
MODEL: SECRETARIAT (CR-R) (STANDARD)			
JOB NUM.: 30854			
LOT ZONING: RSI		SCALE: 1:300	