

PURCHASER(S) FINAL APPROVAL FORM

June 10, 2022

Job # 30854 New Home Address: 8155 220 STREET NW ; 83/02/212-2790

Purchaser(s): Mark Chester Espina & Ma Criselda Espina

Phone: (780) 938-0630 (H) (C) Email: espinamark@yahoo.com

House Model: SECRTARIAT Specification: INSPIRE SERIES Subdivision: ROSENTHAL - RSL

Sales Area Manager: DARREN ROSE

To ensure your home meets or exceeds your expectations, review of the plans prior to commencing construction is required. We request that you verify the following details:

- 1. The drawings are accurate of all requested changes with the exception of any pending electrical changes. (Electrical changes are the only permissible interior change at this stage).
- 2. The exterior color chart and elevation(s) accurately represent the correct exterior colors, products and applicable changes previously made. Purchaser accepts and acknowledges that all front and/or high visibility side/rear elevations (as applicable), setbacks, and concrete applications, are subject to final architectural approval. Any exterior changes requested moving forward, are also subject to architectural resubmission approval and the purchaser will be responsible for the associated \$500.00 resubmission fee.
- 3. The purchaser has received a full explanation of site conditions including but not limited to lot size, location of the house on the lot, driveway shape/size, right-of-ways, retaining walls, easements, fixtures, street furniture, and neighboring structures. Purchaser is aware that, if required, retaining walls are not included in the purchase price and are the sole responsibility of the purchaser.
- 4. Trail Appliance and Design Q selections, colors, and finishings have been finalized. Purchaser accepts and acknowledges that no further changes to appliance dimensions will be permitted once client plans are completed.

In the event the purchaser is providing their own appliances, ensuring the selected appliances fit within the standard openings will be the responsibility of the purchaser(s).

- 5. The purchaser accepts and acknowledges that any conversation about possession up until the 35 day written notice is provided, is to be considered an estimation only.
- 6. Purchaser understands that there are two (2) scheduled visits during construction: at completion of rough-ins; and at cabinet installation. Purchaser will be contacted to book these appointments. Please note these will be weekday appointments and Alberta Workplace and Safety rules must be adhered to.
- 7. The Purchaser accepts and acknowledges that there will be no further changes past the purchaser final plan approval stage.

The Purchaser(s) hereby acknowledge that they have read, understood, and agree to the above terms of the contract.

DocuSigned by: MIKE RUDNISKY 6/2/2023 5C33D060FA2142C...

Authorized Signatory Pacesetter Homes (Edmonton)

Mark Chester Espina signed on 5/25/2023 DocuSigned by: Ma Criselda Espina 6ACD34E1DA87406... Ma Criselda Espina signed on 6/1/2023

Office Use only: DS ku



EXTERIOR COLOR CHART

Page 1 of 2

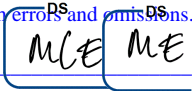
Job #:	30854	New Home Address:	8155-220 Street NW
Purchaser(s):	Mark Chester Espina & Ma. Criselda Espina		
Phone:	780-938-0630	Email:	espinamark@yahoo.com
House Model:	Secretariat	Specification:	Inspire
Area Sales Manager:	Darren Rose	Subdivision	ROSENTHAL

Elevation Selected: Secretariat CR-R

FINISH	MATERIAL	MANUFACTURER	COLOR
Roofing	Asphalt shingles	IKO Cambridge	Driftwood
Primary Siding	Vinyl	Royal	Walnut (Premium)
Secondary Siding			
Siding Profile			Profile: Traditional
Siding Corners	Vinyl	Royal	Walnut (Premium)
Board & Batten	Vinyl	Royal	Natural Cedar (Premium)
Vertical Siding			
Brick or Stone	NA	NA	NA
Soffit & Fascia	Metal	Royal	Linen
Eavestrough & Downspouts	Metal	Royal	Linen
Trims & Surrounds	Smartboard	Painted to Match Royal	Metal Linen
Shadowboards	Metal	Royal	Linen
Shakes			
Crezone Panels	NA	NA	NA
Metal Panels			
Front Door	NA	painted to match Royal	Metal Linen
Garage Door	NA	painted to match Royal	Vinyl Walnut
Windows	Vinyl	All weather	White
Window Grills	NA	NA	White/Narrow
Louvers			
Shutters			

ERRORS AND OMMISIONS

Home plan perusal and confirmation is essential prior to home construction. However, errors and omissions may occur on the plans. Such errors and omissions are overruled by any addendums, specifications and the offer to purchase. The builder will not be responsible for such errors and omissions.

Customer Initial: 

EXTERIOR COLOR CHART

Page 2 of 2

FINISH	MATERIAL	MANUFACTURER	COLOR
Keystones	NA	NA	NA
Brackets			
Dentils			
Gable Trusses/Battens	Metal	Royal	Linen
Post/Column	NA	Painted to match	** see special comments
Post/Column Collar	NA	painted to match Royal	Metal Linen
Front Verandah Railing	Metal	Home-Rail Ltd.	White
Front Verandah Skirting	Concrete	NA	Concrete
Front Verandah Steps (risers and stringers ONLY)	Concrete	NA	Concrete
Special Comments	Stone - Cliffstone Boardwalk by El Dorado Column - Cliffstone Boardwalk by El Dorado Skirting/Steps - Exposed Aggregate Homerail Post Front Verandah Rear Railing white by		

Please note: Additional costs associated with any premium selection or upgrade indicated above are the responsibility of the purchaser.

The Purchaser(s) hereby acknowledge that they have read, understood and agree to the above terms of the contract.

DocuSigned by:

Mike Rudnisky

5C33D060FA2142C...

2/13/2023

Authorized Signatory Pacesetter Homes Ltd.

Signed on

DocuSigned by:

Mark Chester Espina

5BB4C3A000E74FA...

Buyer Signature

Buyer Name: Mark Chester Espina

2/11/2023

DocuSigned by:

Ma Criselda Espina

6ACD34E1DA87406...

Co-Buyer Signature

Co-Buyer Name: Ma Criselda Espina

2/11/2023

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Customer Initial:

DS

ME

DS

ME

DS

CB

DS

KV

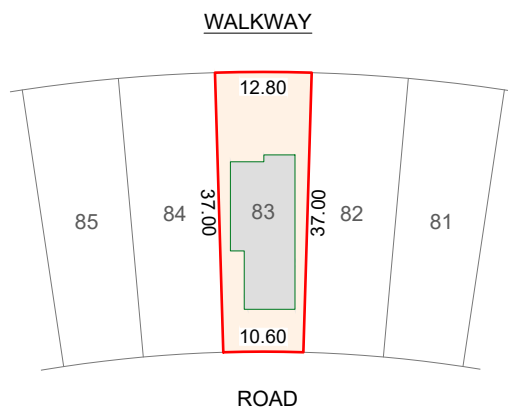
DS

VB

DS

DR

PLOT PLAN



ROAD

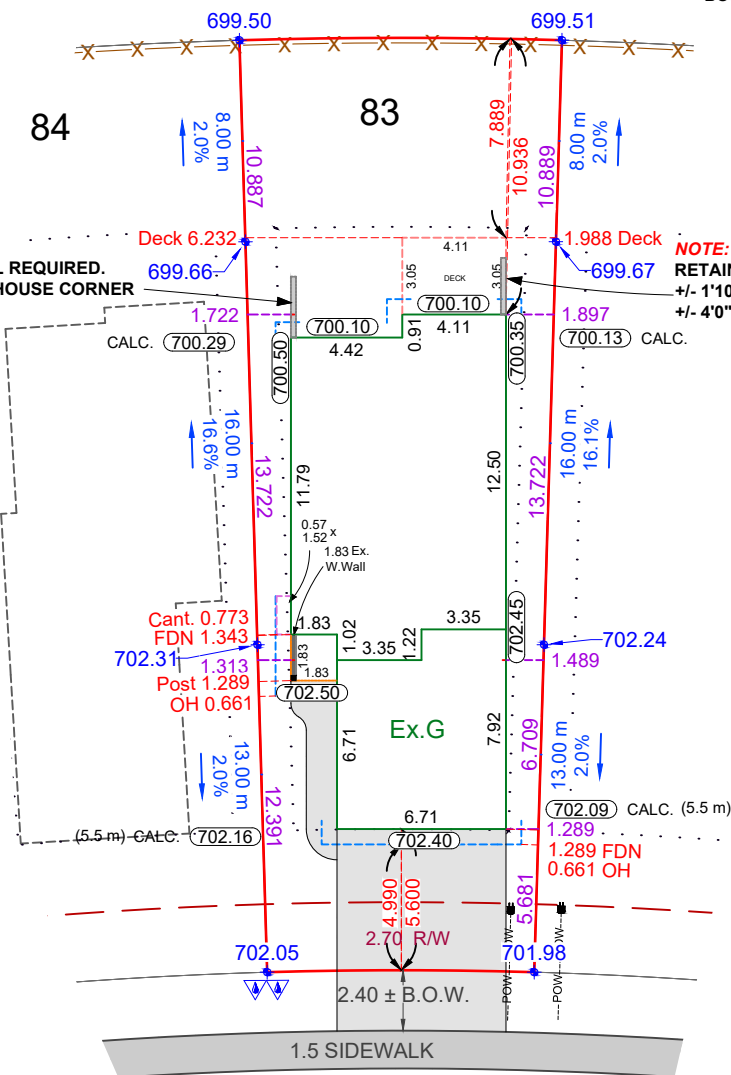
WALKWAY

NOTE:
DEVELOPER FENCE WILL BE
CONSTRUCTED WITHIN THE
BOUNDARY OF THIS LOT.

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Customer Initial:



FRONT














ELEVATION DETAILS	
HOUSE TYPE:	2 STOREY
FINISHED FLOOR:	703.19
BOTTOM OF FOOTING:	699.94
BASEMENT HEIGHT:	9'0"
FINISHED GRADE AT-FRONT STEP:	702.50
3 RISE DOWN 6"	
FINISHED GRADE AT-BACK OF HOUSE:	
700.10 - WALKOUT	
GRADE BELOW-BACK/SIDE DOOR SILL:	
GRADE BELOW-BASEMENT WINDOWS:	WELL AS REQ'D
TOP OF CONCRETE BASEMENT WALL:	702.89
GARAGE FLOOR:	*SEE NOTES*
SANITARY SEWER SERVICE INVERT:	699.30
FOOTING SIZE:	0.20

NOTES

- BUILDER/OWNER RESPONSIBLE TO ENSURE BACK FILL LEVELS MEET ALL CODES.
- BUILDER / OWNER IS LIABLE FOR ANY COSTS INCURRED DUE TO AN ERROR IN THE ABOVE PLAN IF CONSTRUCTION STARTS PRIOR TO THIS PLAN BEING APPROVED BY THE LOCAL APPROVING AUTHORITY
- ALL DISTANCES SHOWN ARE IN METER AND DECIMALS THEREOF.
- ALL DIMENSIONS AND SERVICES SHOWN MUST BE CONFIRMED BY CONTRACTOR PRIOR TO EXCAVATION.
- ALL DIMENSIONS SHOWN TO FOUNDATION WALL, FINAL EXTERIOR CLADDING MAY ALTER DIMENSIONS
- THE ELEVATION OF THIS HOUSE HAS BEEN DESIGNED SO THAT IT WILL BE IN CONFORMANCE WITH THE LOT GRADING PLAN.
- CANTILEVER SUBJECT TO ALL BUILDING CODE REGULATIONS
- BUILDER/OWNER RESPONSIBLE TO ENSURE COMPLIANCE.
-  RAIN WATER LEADERS NOT REQUIRED.

- GARAGE SLAB AT OVERHEAD DOOR RECOMMENDED TO BE SET 1'7" BELOW TOP OF CONCRETE FOUNDATION WALL.
- SLAB ELEVATION: 702.40 GARAGE FOOTING: 700.77

DETAILS	
- LOT AREA:	432.97 m ² (4660.4 ft ²)
- HOUSE AREA:	160.34 m ² (1725.8 ft ²)
- HOUSE COVERAGE:	37.03 %
- DECK AREA:	12.54 m ² (135.0 ft ²)
- DECK COVERAGE:	2.90 %
- TOTAL COVERAGE:	39.93 %
- DRIVEWAY AREA:	53.73 m ² (578.3 ft ²)
- LOT WIDTH AT 9 m FRONT SETBACK =	11.14 m
CITY OF EDMONTON LANDSCAPING REQUIREMENTS:	
2 New Deciduous Tree :	50 mm Caliper
1 New Coniferous Tree :	2.5 m Height
6 New Shrubs	
- LOWEST BUILDING OPENING:	700.00
- LOWEST BOTTOM OF FOOTING	696.30

LEGEND									
PROPOSED CLEAN OUT		PROPOSED HYDRANT		PROPOSED BACK OF CURB	B.O.C.	DESIGN GRADE ELEVATION		00.00	
PROPOSED STREET LIGHT		PROPOSED SERVICE PEDESTAL		PROPOSED BACK OF WALK	B.O.W.	AS-BUILT ELEVATION		00.00	
PROPOSED C.C. LOCATION		PROPOSED POWER SERVICE		PROPOSED LIP OF LANE	L.O.L.	PROPOSED ELEVATION		00.00	
PROPOSED TRANSFORMER		PROPOSED FENCE LINE		PROPOSED UTILITY VAULT		CENTERLINE ELEVATION		CL 0.0	

LEGAL INFORMATION		
LOT	BLOCK	PLAN NUM.
83	2	212 2790
CIVIC ADDRESS:		
8155 220 STREET NW		
LOCATION		SUBDIVISION
EDMONTON		ROSENTHAL

P **Pals Geomatics Corp.**

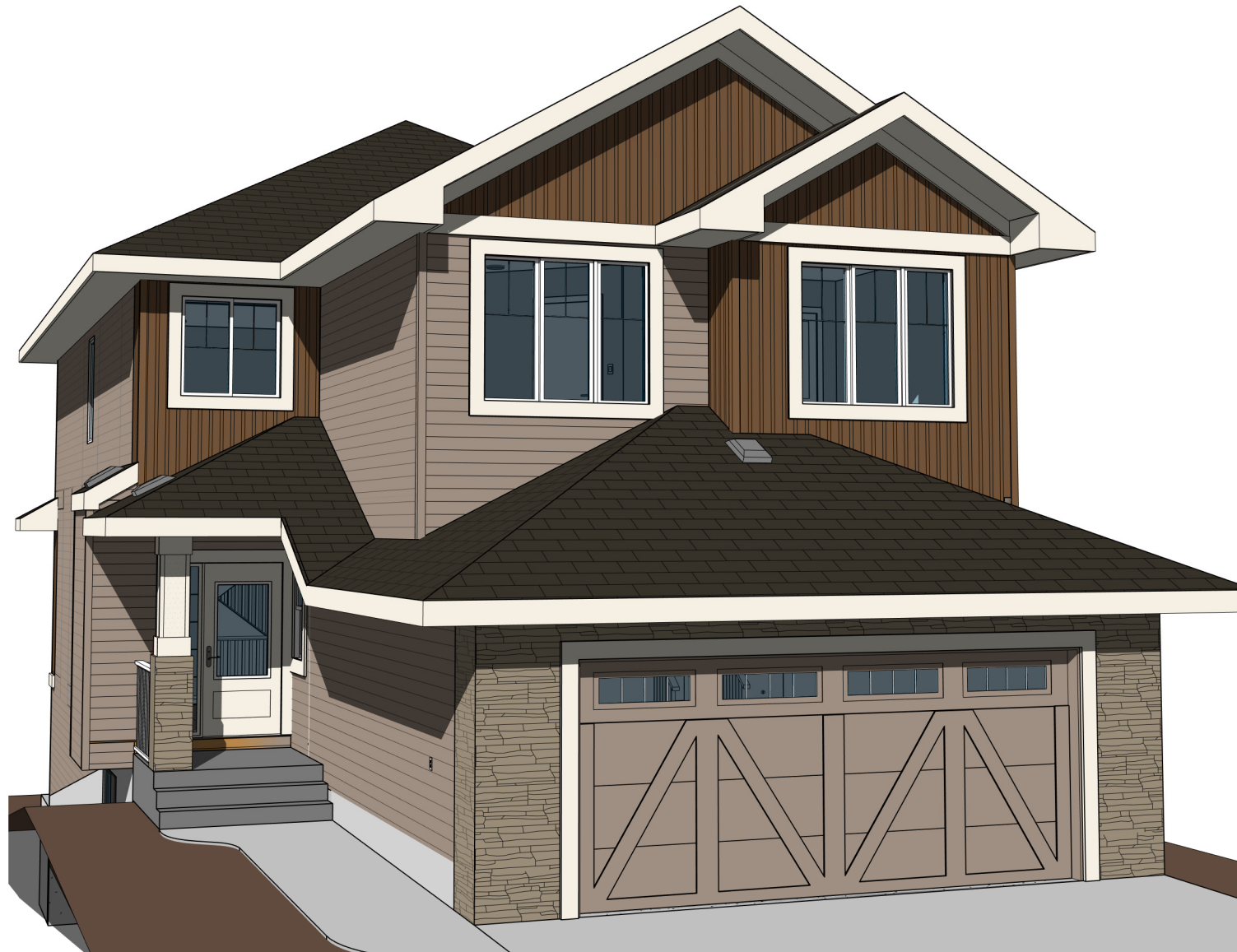
EMAIL: PLOTPLAN@PALSGEOMATICS.COM
PHONE: 780-455-3177
FAX: 780-481-1301
10704 - 176TH STREET NW
EDMONTON, ALBERTA T5S 1G7

Canadian Home Builders Association
Member
Edmonton Region

The logo of the Canadian Home Builders Association, featuring a stylized green maple leaf with a white house silhouette in the center. The text "Canadian Home Builders Association" and "Member" are positioned above the leaf, and "Edmonton Region" is to its left.

DWG DETAILS			
Rev. No.	Date:	Drafted By:	Description
PP	2/28/23	AMACDONALD	
01	3/3/23	AWANG	TEXT
02	3/27/23	AWANG	DECK
BUILDER/OWNER: PACESETTER HOMES			
MODEL: SECRETARIAT (CR-R) (STANDARD)			
JOB NUM.: 30854			
LOT ZONING: RSI		SCALE: 1:300	

[illegible]



EXTERIOR FRONT VIEW



EXTERIOR REAR VIEW

**** COLOURS SHOWN ARE FOR ILLUSTRATIVE PURPOSES ONLY. REFER TO MANUFACTURER'S SAMPLES FOR ACCURATE REPRESENTATION ****

ERRORS AND OMMISIONS

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Customer Initial: _____

MCE^{DS}

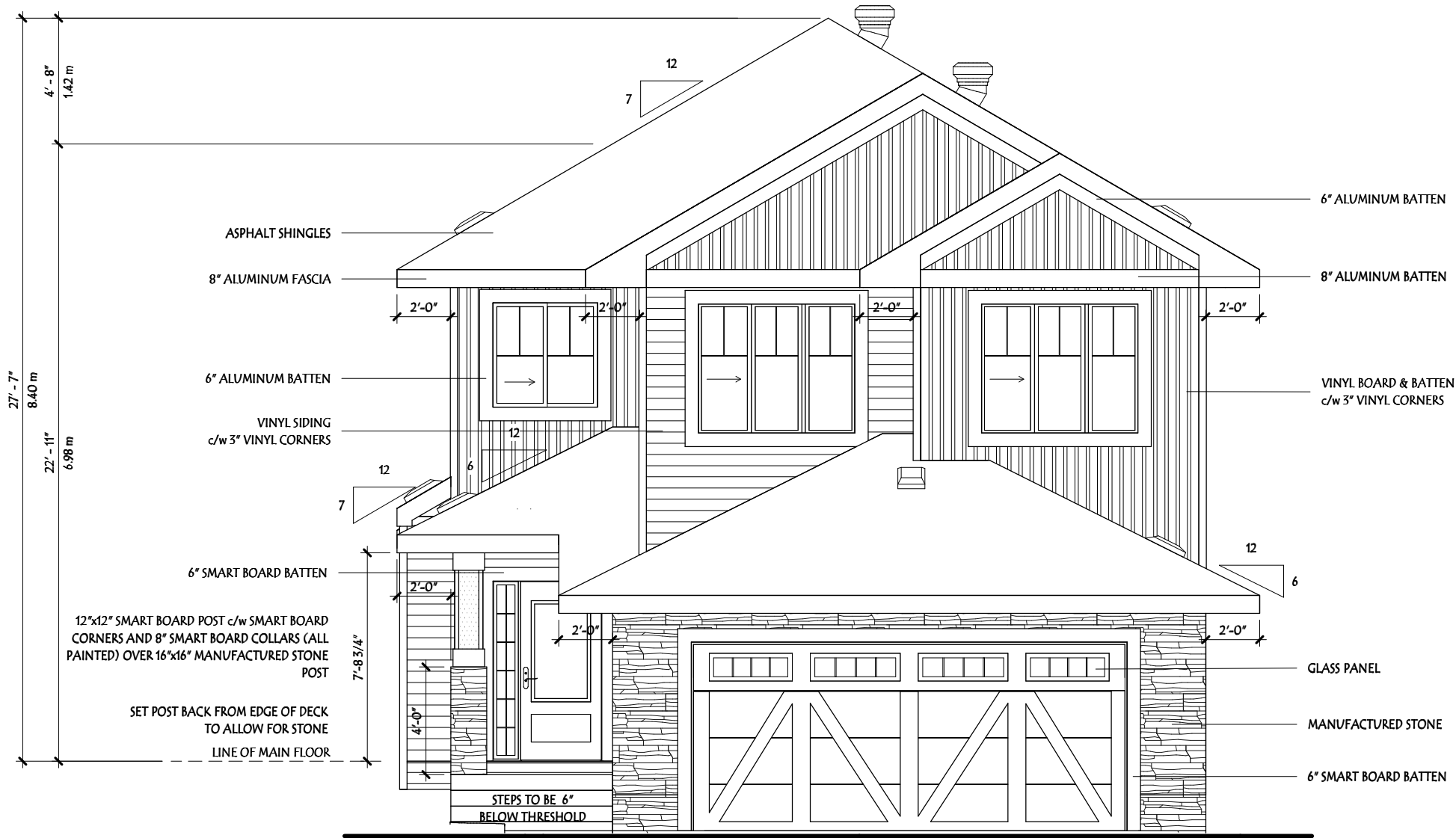
Address:		8155 - 220 STREET NW, EDMONTON, AB 83 / 02 / 212 2790		Customer: ESPINA		Page:	
Drawn By: S. VITH These blueprints are the property of Pacesetter Homes Ltd. 3203 - 93 Street, Edmonton, Alberta T6N 0B2. All rights reserved, including the right of reproduction in whole or in part, in any form, without the written permission of Pacesetter Homes Ltd. Construction Square footage is based on floor area Marketing Square footage includes stairwells	Model: SECRETARIAT (CR-R)		JOB #:		PACESSETTER INSPIRE SERIES		
	Scale: 3/16" = 1'-0"		Const.		Market.		
	Date: 4/24/2023 11:55:03 AM		Main Fl.		1081 SF		
	Bsmnt. Devl: 0 SF		Upper Fl.		1385 SF		
			Total		2466 SF		
						1	
						14	

NOTE!

1. FLASHING IS TO BE INSTALLED
AT ALL APPROPRIATE LOCATIONS
ON ROOF AND ELEVATIONS.
-SEE BUILDERS SPECS

2. WINDOW WELLS MAY BE REQUIRED
DEPENDING ON FINAL GRADE

3. ALL STAIRS TO HAVE A MINIMUM
10" RUN + 1" NOSING



FRONT ELEVATION

ALL WINDOWS TO BE LOW E

TRI-PANE WINDOWS

THROUGHOUT

(UNLESS NOTED OTHERWISE)

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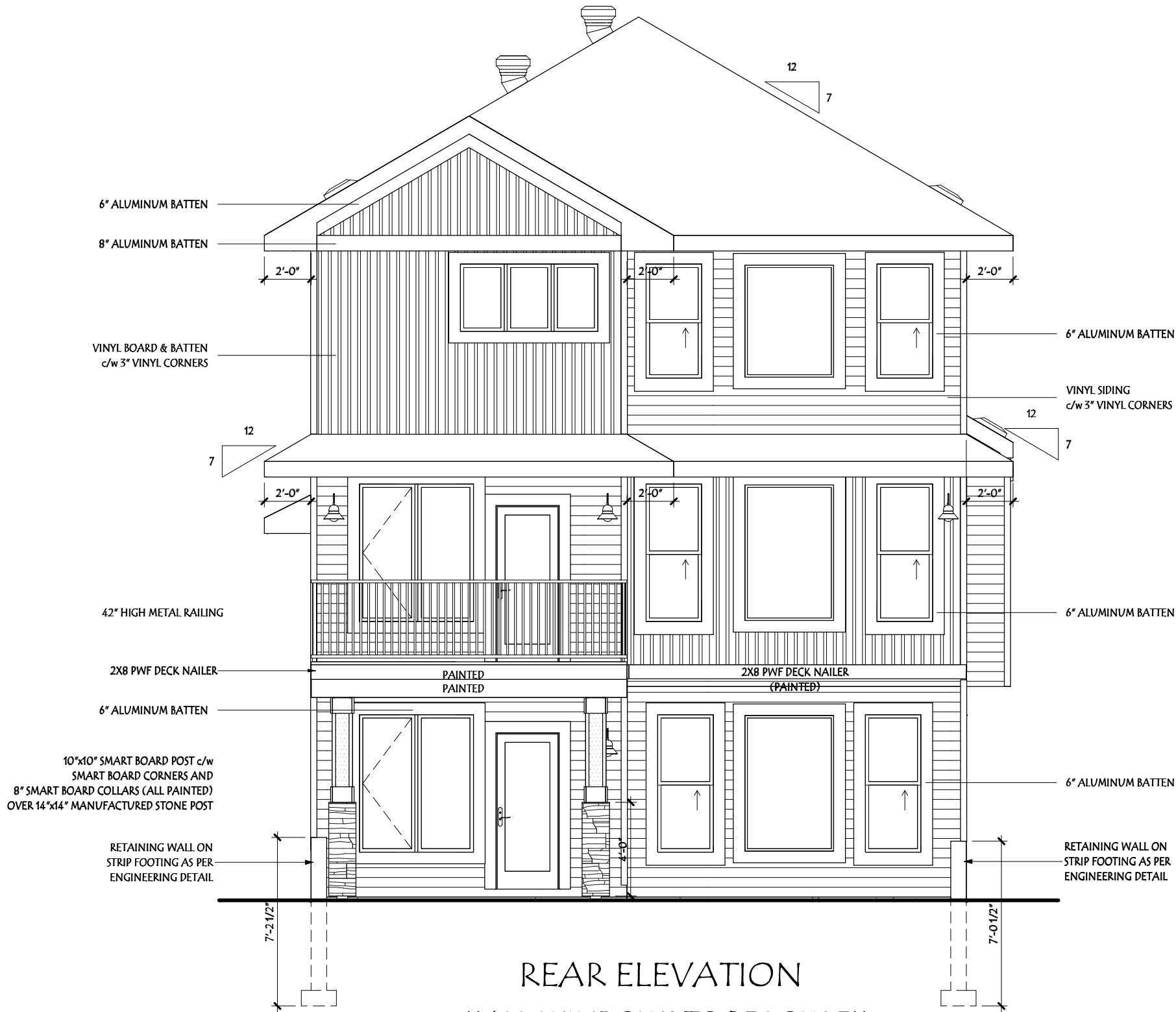
DS

ME

DS

ME

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Drawn By: S. VITH		Model: SECRETARIAT (CR-R)		JOB #:		PACESSETTER INSPIRE SERIES	
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		Date: 4/24/2023 11:55:04 AM		Main Fl.			
		Bsmnt. Devl: 0 SF		Upper Fl.			
Construction Square footage is based on floor area Marketing Square footage includes stairwells		Total		2466 SF		2629 SF	
						2	
						14	



REAR ELEVATION
ALL WINDOWS TO BE LOW E
TRI-PANE WINDOWS
THROUGHOUT
(UNLESS NOTED OTHERWISE)

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Customer Initial: MCE ME

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	Model: SECRETARIAT (CR-R)	JOB #:	PACESSETTER INSPIRE SERIES	
		30854	PACESSETTER HOMES A QUALICO® Company	
			Const.	Market.
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	Date:	4/24/2023 11:55:05 AM		
	Bsmnt. Devl:		0 SF	
Construction Square footage is based on floor area Marketing Square footage includes stairwells		Main Fl.	1081 SF	1162 SF
		Upper Fl.	1385 SF	1467 SF
		Total	2466 SF	2629 SF
14				

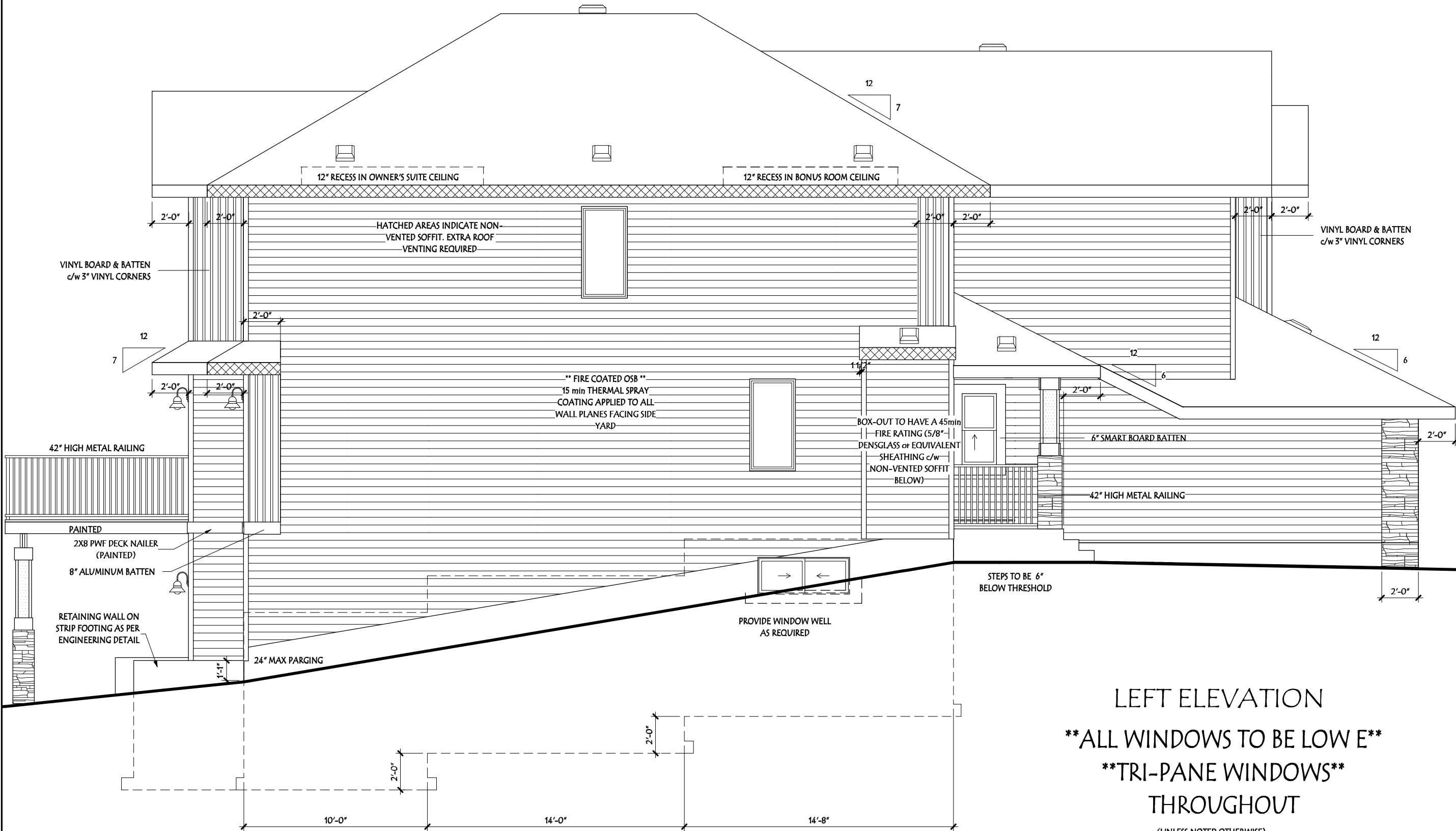
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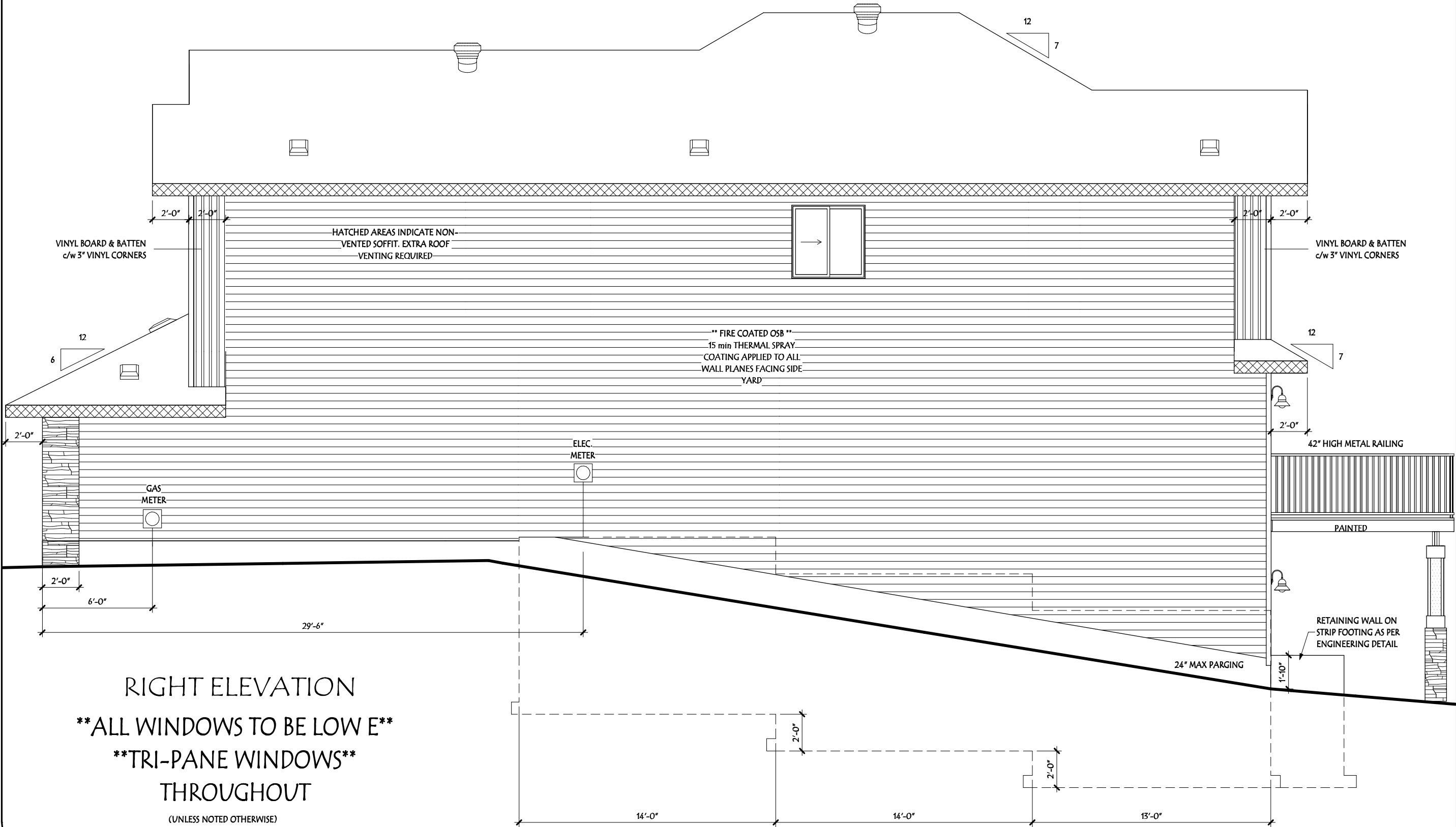
Customer Initial:

ME ME

Pacesetter HOMES A QUALICO Company		4	14
PACESSETTER INSPIRE SERIES		Page:	
Customer: ESPINA		JOB #:	30854
Model: SECRETARIAT (CR-R)		Const.	Market.
Scale: 3/16" = 1'-0"		Main Fl.	1081 SF
Date: 4/24/2023 11:55:06 AM		Upper Fl.	1385 SF
Bsmnt. Devl:		Total	2466 SF
Address: 8155 - 220 STREET NW, EDMONTON, AB 83 / 02 / 212 2790		0 SF	
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		Construction Square footage is based on floor area Marketing Square footage includes stairwells	



LEFT ELEVATION
** ALL WINDOWS TO BE LOW E **
** TRI-PANE WINDOWS **
THROUGHOUT
(UNLESS NOTED OTHERWISE)



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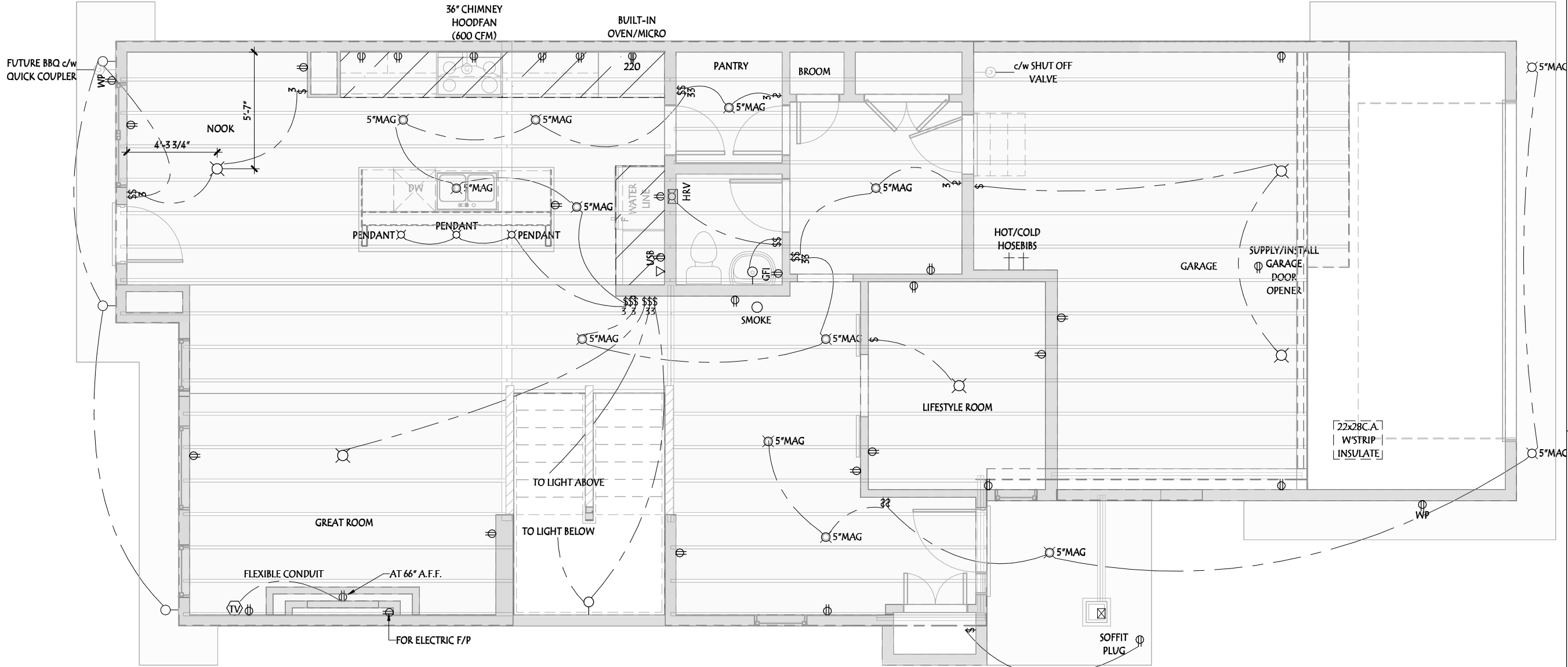
Customer Initial: ME ME

Customer: ESPINA		PAGES		5		14	
JOB #:		30854		Const.		Market.	
Main Fl.		1081 SF		1162 SF		1467 SF	
Upper Fl.		1385 SF		1467 SF		2629 SF	
Total		2466 SF		2466 SF		2629 SF	
Model: SECRETARIAT (CR-R)		Scale: 3/16" = 1'-0"		Date: 4/24/2023 11:55:07 AM		Bsmnt. Devl: 0 SF	
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PASSAGEWAY DETAIL


Pacesetter
 HOMES
 A QUALICO® Company




MAIN FLOOR ELEC. LAYOUT

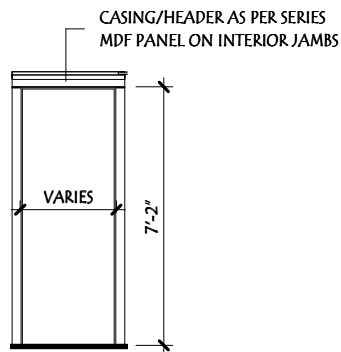
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Customer Initial: MCE MCE

ELECTRICAL LEGEND			
	CEILING LIGHT		WALL LIGHT
	ELEC. PLUG		FLUE
	220 PLUG		SMOKE DETECTOR
	USB PAIRED PLUG		SD/CO DETECTOR
	TELEPHONE		VAC. ROUGH IN
	TV/CAT5E		CHIME
	THERMOSTAT		SINGLE SWITCH
	3 WAY SWITCH		ELEC. WIRING
	WEEPING TILE TEE		SPEAKER
	GAS METER		OTTO SWITCH
ELECTRICAL LOCATIONS SUBJECT TO CHANGE AS REQUIRED BY CODE			

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	Scale: 3/16" = 1'-0"		Const.	Market.	
	Date: 4/24/2023 11:55:11 AM		Main Fl.	1081 SF	1162 SF
			Upper Fl.	1385 SF	1467 SF
	Bsmnt. Devl: 0 SF		Total	2466 SF	2629 SF
		 A QUALICO® Company			




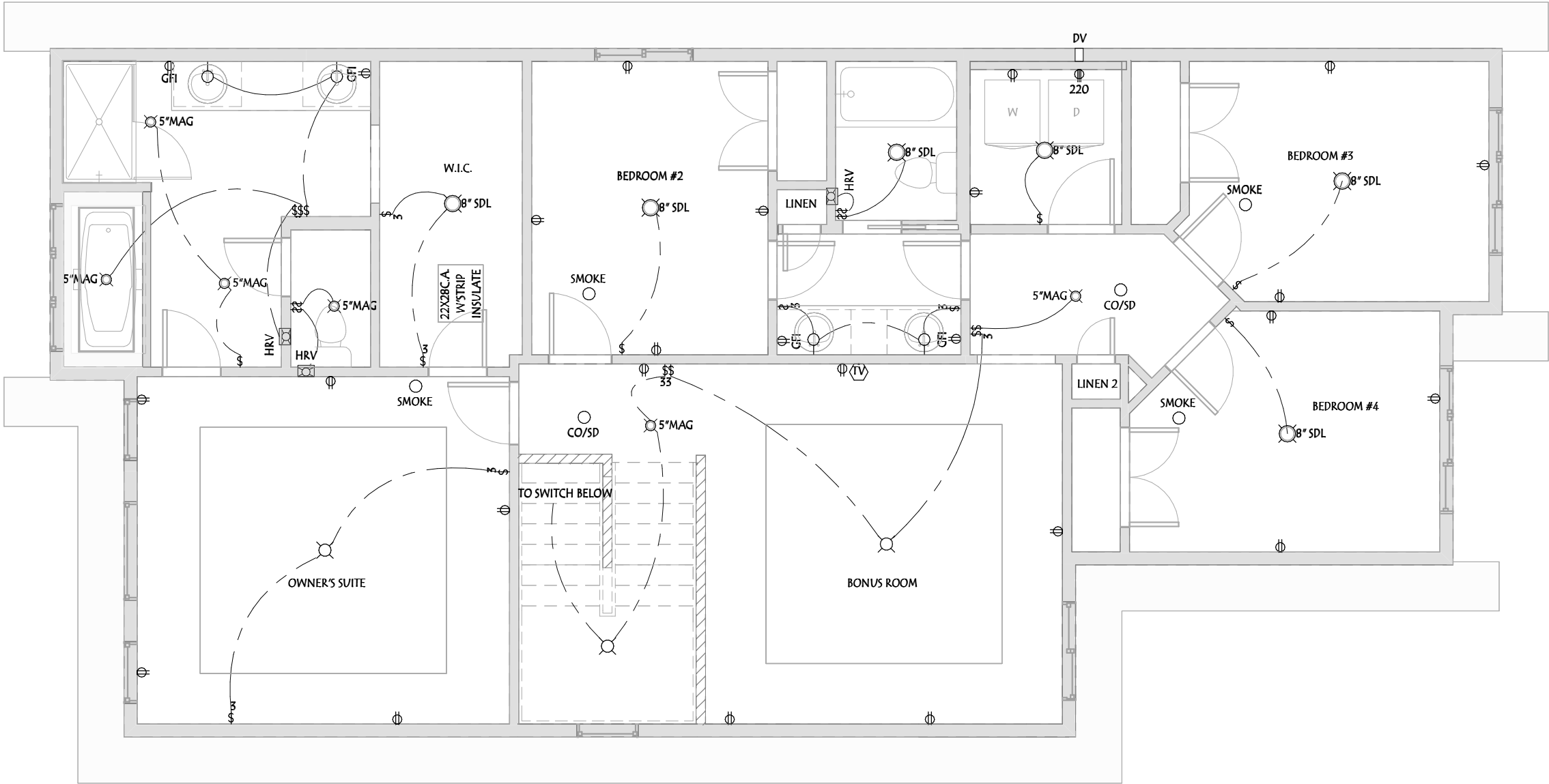
**** SOFTLINE CORNERS THROUGHOUT ****
**** 10 LBS FOAM CARPET UNDERPAD AT STAIRS ONLY***
****UPGRADE SHELVEING TO MELAMINE ****

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		Date: 4/24/2023 11:55:14 AM		8	
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		Construction Square footage is based on floor area Marketing Square footage includes stairwells		Pacesetter HOMES A QUALICO Company	
JOB #: 30854		Const.		Market.	
		Main Fl.		1162 SF	
		Upper Fl.		1467 SF	
		Total		2629 SF	



UPPER FLOOR ELEC. LAYOUT

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Customer Initial: MCE DS

CEILING LIGHT

ELEC. PLUG

220 PLUG

USB PAIRED PLUG

TELEPHONE

TV/CAT5E

THERMOSTAT

3 WAY SWITCH

WEEPING TILE TEE

GAS METER

WALL LIGHT

FLUE

SMOKE SMOKE DETECTOR

SD/CO DETECTOR

VAC. ROUGH IN

CHIME


SINGLE SWITCH

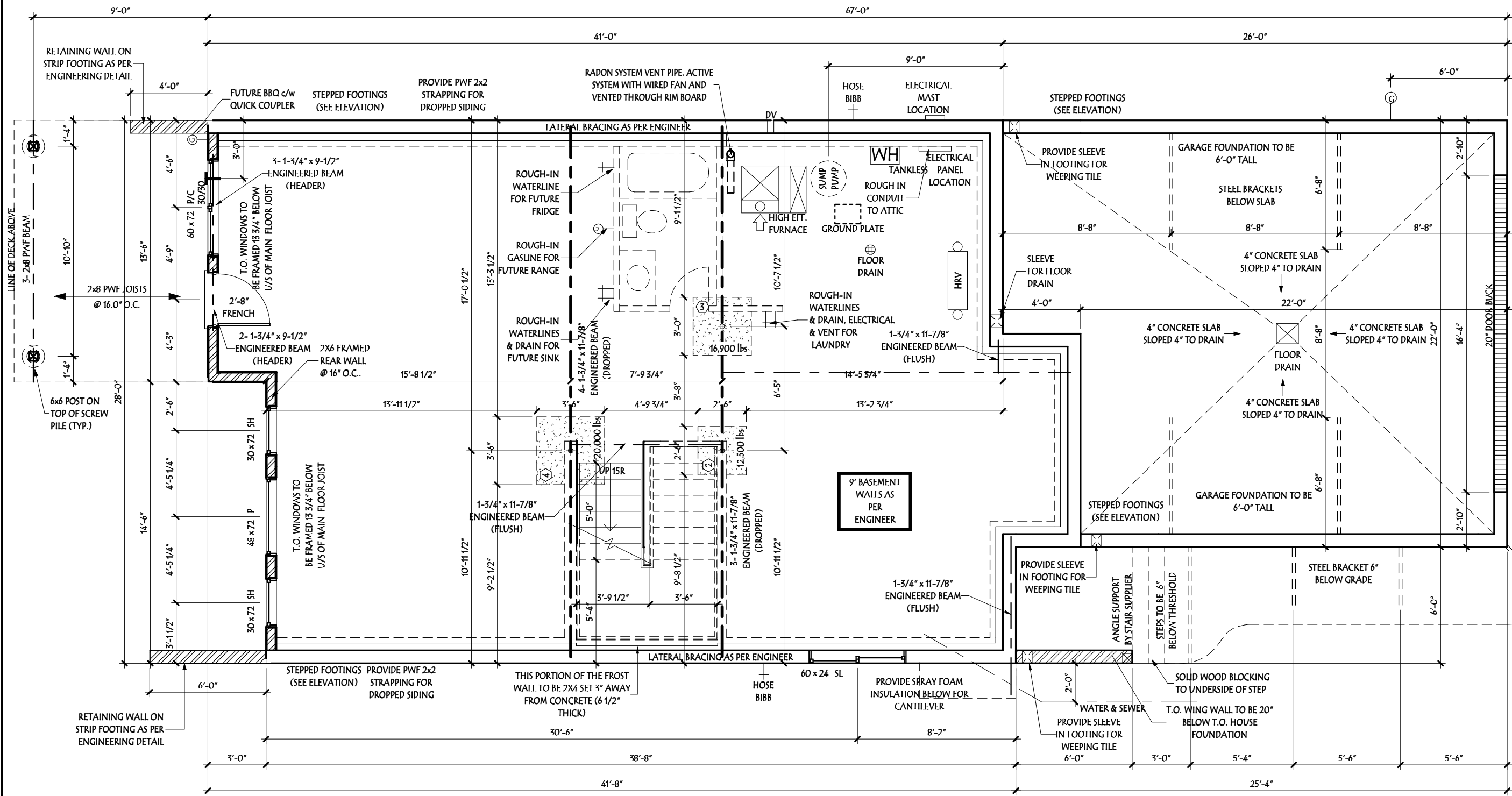
ELEC. WIRING

SPEAKER

OTTO SWITCH

ELECTRICAL LOCATIONS SUBJECT TO CHANGE AS REQUIRED BY CODE

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	Scale: 3/16" = 1'-0"		Const.	Market.	
	Date: 4/24/2023 11:55:15 AM	Main Fl.	1081 SF	1162 SF	
	Bsmnt. Devl: 0 SF	Upper Fl.	1385 SF	1467 SF	
		Total	2466 SF	2629 SF	
14					



	MAXIMUM CAPACITY (20MPa Conc.)	CONC. PAD DIMENSIONS (l x w x d)	AMOUNT & SIZE OF REBAR
1	8,350 LBS	24"x24"x9"	2-10 M
2	13,050 LBS	30"x30"x9"	3-10 M
3	18,800 LBS	36"x36"x9"	4-10 M
4	25,580 LBS	42"x42"x9"	5-10 M
5	33,420 LBS	48"x48"x10"	7-10 M

REBAR SPACING AS PER MITEK'S DETAIL

PAD LEGEND
(BASED ON MITEK COLUMNS)

FOUNDATION PLAN

9' BASEMENT

**** ALL FROST WALLS TO BE ****
8" THICK INCLUDING AIR GAP


(UNLESS NOTED OTHERWISE)

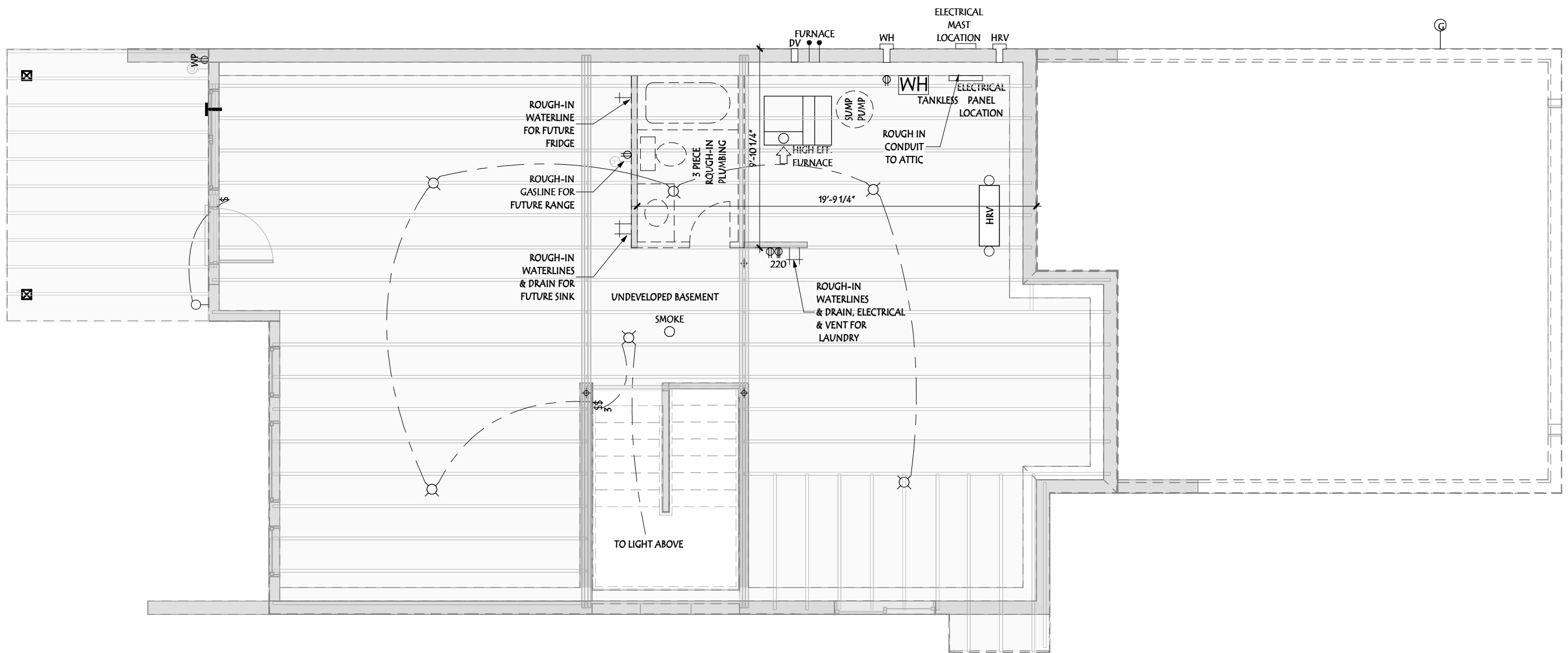
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	Scale: 3/16" = 1'-0"		Const.	Market.	
	Date: 4/24/2023 11:55:16 AM		Main Fl.	1081 SF	1162 SF
			Upper Fl.	1385 SF	1467 SF
Bsmnt. Devl: 0 SF		Total	2466 SF	2629 SF	
Construction Square footage is based on floor area Marketing Square footage includes stairwells		<div> Pacesetter HOMES A QUALICO Company</div>			
		10			
		14			



ERRORS AND OMMISIONS





















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for such errors and omissions.

Customer Initial: MCE ME

FOUNDATION ELEC. LAYOUT

ELECTRICAL LEGEND

- | | | | |
|---|------------------|---|----------------|
|  | CEILING LIGHT |  | WALL LIGHT |
|  | ELEC. PLUG |  | FLUE |
|  | 220V PLUG |  | SMOKE DETECTOR |
|  | USB PAIRED PLUG |  | SD/CO DETECTOR |
|  | TELEPHONE |  | VAC. ROUGH IN |
|  | TV/CAT5E |  | CHIME |
|  | THERMOSTAT |  | SINGLE SWITCH |
|  | 3 WAY SWITCH |  | ELEC. WIRING |
|  | WEEPING TILE TEE |  | SPEAKER |
|  | GAS METER |  | OTTO SWITCH |

ELECTRICAL LOCATIONS SUBJECT TO CHANGE AS REQUIRED BY CODE

Address: 8155 - 220 STREET NW, EDMONTON, AB
83 / 02 / 212 2790

Drawn By: S. VITH

Model: SECRETARIAT (CR-R)

Scale: $3/16" = 1'-0"$

Scale: $3/16" = 1'-0"$

Date: 4/24/2023 11:55:17 AM

Bsmnt. Devl: OSF

Customer: ESPINA

JOB #: 30854

Const.	Market.
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100	100

Main Fl.	1081 SF	1162 SF
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Total	2466 SF	2629 SF
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PACESETTER INSPIRE SERIES

Page:



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14

- NOTES
- TRADES ARE RESPONSIBLE FOR CHECKING ALL DIMENSIONS & NOTES AND REPORTING ANY DISCREPANCIES TO THE DESIGNER PRIOR TO CONSTRUCTION.

- ALL LOAD BEARING LINTELS TO BE 2-2x10 #2 SPRUCE UNLESS NOTED OTHERWISE

- FINAL EXTERIOR GRADES MAY VARY

- WINDOW AND DOOR SIZES SHOWN ARE APPROXIMATE ONLY. EXACT ROUGH OPENINGS TO BE SUPPLIED BY MANUFACTURER PRIOR TO CONSTRUCTION.

- MECHANICAL LAYOUT AND SPECS. SUPPLIED BY OTHERS.

- ROOF SHALL BE VENTED WITH AN UNOBSTRUCTED VENT AREA OF NOT LESS THAN 1/300 OF THE CEILING AREA.

- ALL EXTERIOR WALLS WHERE MONO TRUSSES ARE ATTACHED SHALL BE SEALED & PAPERED BEFORE INSTALLING TRUSSES

- THE AREAS REQUIRING VENTILATION WITHIN THE ROOF SPACE OR ATTIC SHALL CONFORM TO NBC - 2019 ALBERTA EDITION 9.19.1.

- ATTIC ACCESS TO BE WEATHERSTRIPPED & INSULATED AS PER NBC - 2019 ALBERTA EDITION 9.19.2.1.

- STEP FOOTING FOR WALKOUTS SHALL BE MAX. RISE 24" & MINIMUM HORIZONTAL DISTANCE OF 24" AS PER NBC - 2019 ALBERTA EDITION 9.15.8.9.

- COMBUSTION AIR SHALL BE PROVIDED FOR FIREPLACE AS PER NBC - 2019 ALBERTA EDITION 9.22.1.4.

- SMOKE ALARMS TO CONFORM TO NBC - 2019 ALBERTA EDITION 9.10.19.

- IF WEEPING TILE IS REQUIRED SLAB ON GROUND SHALL BE DAMPROOFED AS PER NBC - 2019 ALBERTA EDITION 9.13.4.

- EXACT LOCATION OF MECHANICAL, ELECTRICAL, AND PLUMBING EQUIPMENT SUBJECT TO CHANGE DUE TO SITE CONDITIONS.

- GARAGE ENTRY STAIRS MAY VARY IN NUMBER OF RISERS AND LOCATION DUE TO SITE CONDITIONS

- ELEVATIONS, FLOOR LAYOUT AND ROOM DIMENSIONS ARE SUBJECT TO CHANGE DUE TO SITE CONDITIONS

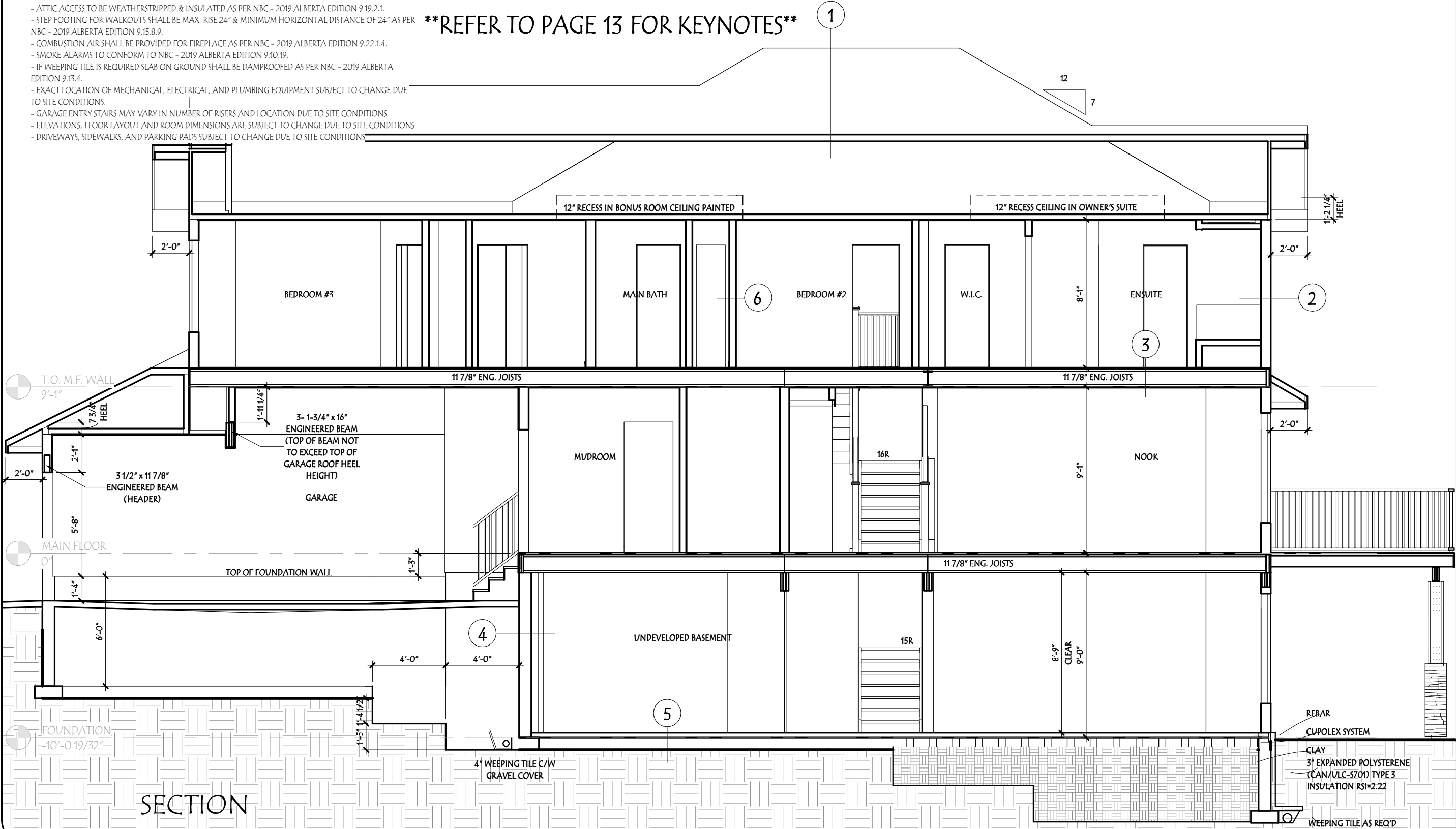
- DRIVEWAYS, SIDEWALKS, AND PARKING PADS SUBJECT TO CHANGE DUE TO SITE CONDITIONS


ERRORS AND OMMISIONS

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Customer Initial: MCE ME

REFER TO PAGE 13 FOR KEYNOTES



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	Scale: 3/16" = 1'-0"		Const.	Market.		
	Date: 4/24/2023 11:55:18 AM		1081 SF	1162 SF		
	Bsmnt. Devl: 0 SF	Upper Fl.	1385 SF	1467 SF		
		Total	2466 SF	2629 SF		

- 1 ROOF ASSEMBLIES**
- UPPER FLOOR ROOF (6.90 RSI)**
ASPHALT SHINGLES
3/8" O.S.B. SHEATHING c/w 'H'CLIPS
ENGINEERED WOOD TRUSSES @24" o/c
R-40 LOOSE FILL INSULATION
6 mil CGSB POLY VAPOR BARRIER
1/2" C.D. DRYWALL
- UPPER FLOOR VAULTED CEILING (4.06 RSI)**
IF REQUIRED AS PER PLANS
ASPHALT SHINGLES
3/8" O.S.B. SHEATHING c/w 'H'CLIPS
ENGINEERED WOOD TRUSSES @24" o/c
R-40 BATT INSULATION
6 mil CGSB POLY VAPOR BARRIER
1/2" C.D. DRYWALL

- 2 EXTERIOR WALL ASSEMBLIES**
- STANDARD EXTERIOR WALL (2.77 RSI)**
INCLUDES EXTERIOR WALLS OF ATTACHED GARAGE, IF APPLICABLE
EXTERIOR CLADDING AS PER PLAN
BUILDING PAPER (AS REQ'D)
3/8" O.S.B. SHEATHING
2X6 STUDS @ 24" o/c (2X6 STUDS @ 16" o/c ON AREAS WHERE MANUFACTURED STONE OR BRICK IS APPLIED)
R-20 BATT INSULATION
6 mil. CGSB POLY VAPOR BARRIER
1/2" DRYWALL
- EXTERIOR TALL WALL (2.63 RSI)**
IF REQUIRED AS PER PLANS
EXTERIOR CLADDING AS PER PLAN
BUILDING PAPER (AS REQ'D)
3/8" O.S.B. SHEATHING (1/2" DENSGLASS OR EQUIVALENT FOR ZLL)
2X6 STUDS AS PER ENGINEER'S DETAIL
R-20 BATT INSULATION
6 mil. CGSB POLY VAPOR BARRIER
1/2" DRYWALL

- ATTACHED GARAGE/HOUSE WALL (2.85 RSI)**
IF REQUIRED AS PER PLANS
1/2" DRYWALL (FIRE TAPED)
3/8" O.S.B. SHEATHING
2X6 STUDS @ 24" o/c
R-20 BATT INSULATION
6 mil. CGSB POLY VAPOR BARRIER
1/2" DRYWALL

- EXTERIOR CANTILEVERED WALL (2.78 RSI)**
WITHIN 1.2m SIDE YARD SETBACK
IF REQUIRED AS PER PLANS
EXTERIOR CLADDING AS PER PLAN
BUILDING PAPER (AS REQ'D)
5/8" DENSGLASS OR EQUIVALENT
2X6 STUDS @ 24" o/c
R-20 BATT INSULATION
6 mil. CGSB POLY VAPOR BARRIER
1/2" DRYWALL

- EXTERIOR ZERO LOT LINE WALL (2.69 RSI)**
WITHIN 1.2m SIDE YARD SETBACK
IF REQUIRED AS PER PLANS
EXTERIOR CLADDING AS PER PLAN
BUILDING PAPER (AS REQ'D)
1/2" DENSGLASS OR EQUIVALENT
2X6 STUDS @ 16" o/c
R-20 BATT INSULATION
6 mil. CGSB POLY VAPOR BARRIER
5/8" TYPE 'X' DRYWALL

- EXTERIOR PARTY WALL JOGS (3.51 RSI)**
IF REQUIRED AS PER PLANS
EXTERIOR CLADDING AS PER PLAN
BUILDING PAPER (AS REQ'D)
5/8" DENSGLASS OR EQUIVALENT
2X4 STUDS @ 16" o/c
R-12 BATT INSULATION
1" AIR SPACE
2X4 STUDS @ 16" o/c
R-12 BATT INSULATION
6 mil. CGSB POLY VAPOR BARRIER
5/8" TYPE 'X' DRYWALL

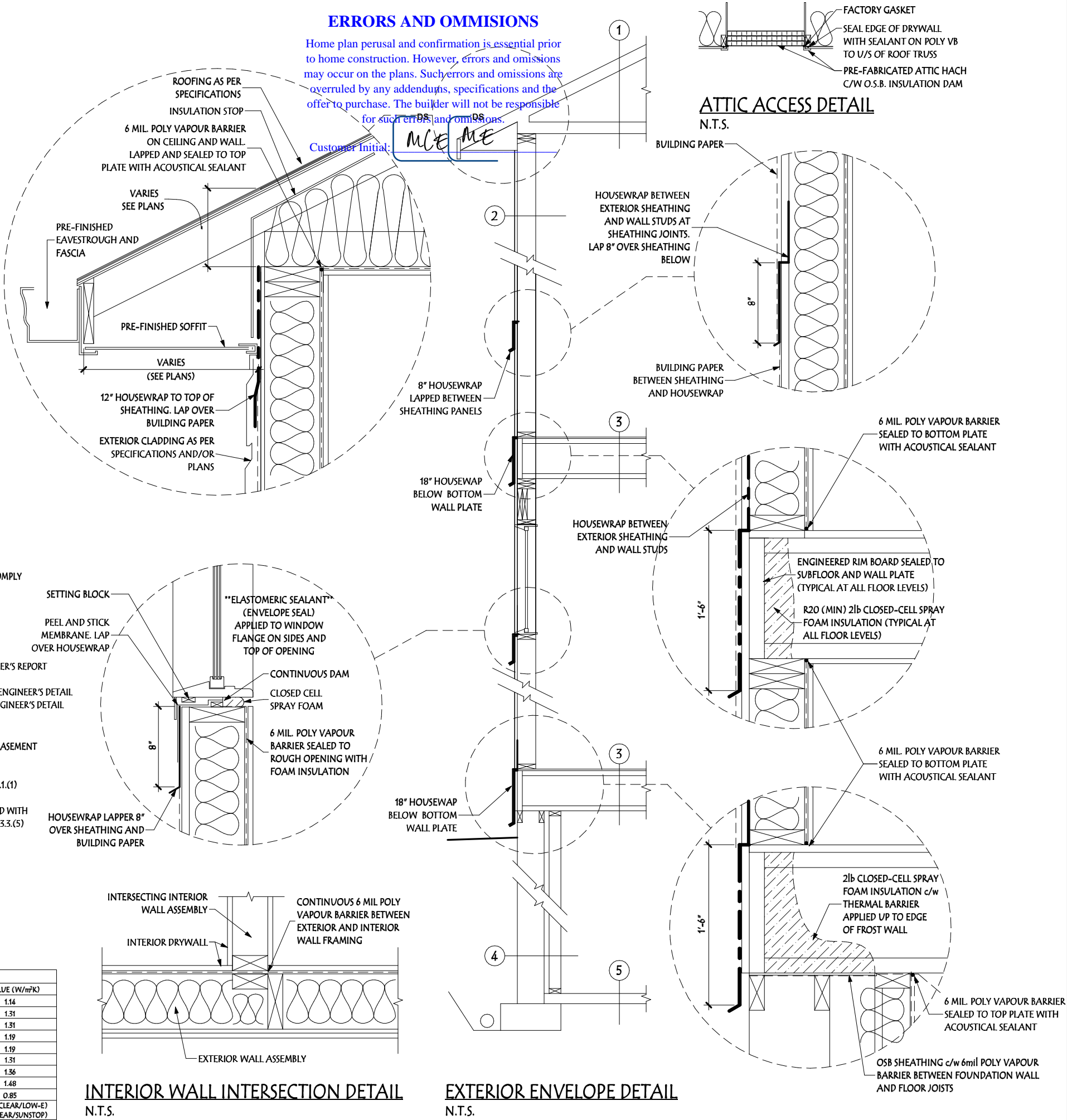
- 3 FLOOR ASSEMBLIES**
- INTERIOR FLOOR (N/A RSI)**
FLOOR FINISH AS SPECIFIED
3/8" U-LAY IN LINO AREAS
23/32" T&G OSB SUBFLOOR GLUED AND SCREWED
ENGINEERED WOOD JOISTS AS PER MANUFACTURER
- FLOOR OVER UNHEATED SPACE (6.67 RSI)**
FLOOR FINISH AS SPECIFIED
3/8" U-LAY IN LINO AREAS
23/32" T&G OSB SUBFLOOR GLUED AND SCREWED
6 mil. CGSB POLY VAPOR BARRIER
ENGINEERED WOOD JOISTS AS PER MANUFACTURER
R-40 1/2 lb OPEN-CELL SPRAY FOAM INSULATION
1/2" DRYWALL
- CANTILEVERED MAIN FLOOR (5.18 RSI)**
IF REQUIRED AS PER PLANS
FLOOR FINISH AS SPECIFIED
3/8" U-LAY IN LINO AREAS
23/32" T&G OSB SUBFLOOR GLUED AND SCREWED
6 mil. CGSB POLY VAPOR BARRIER
ENGINEERED WOOD JOISTS AS PER MANUFACTURER
R-28 2lb CLOSED-CELL SPRAY FOAM INSULATION
3/8" OSB SHEATHING
NON-VENTED METAL SOFFIT


- 4 BASEMENT WALL ASSEMBLIES**
- FOUNDATION W/ FROST WALL (2.23 RSI)**
UNLESS NOTED OTHERWISE ON PLANS
PARGING ABOVE GRADE
DAMPPOOFING ON EXTERIOR OF FOUNDATION WALLS (TO COMPLY WITH NBC - 2019 ALBERTA EDITION 9.13.2.3.(2)(a)(iii))
8" CONC FOUNDATION WALL C/W 2 ROWS OF 2-#10 BARS STUDS @24" o/c
R-20 BATT INSULATION
6 mil CGSB POLY VAPOR BARRIER
1/2" DRYWALL (FINISHED AREAS)
18"x 8" CONCRETE STRIP FOOTING OR AS REQUIRED BY ENGINEER'S REPORT
TELEPOST PAD FOOTINGS AS PER PLAN
WINDOWS OVER 48 INCHES IN LENGTH TO BE BRACED AS PER ENGINEER'S DETAIL
OPEN TO BELOW AREA WALLS WILL BE REINFORCED AS PER ENGINEER'S DETAIL

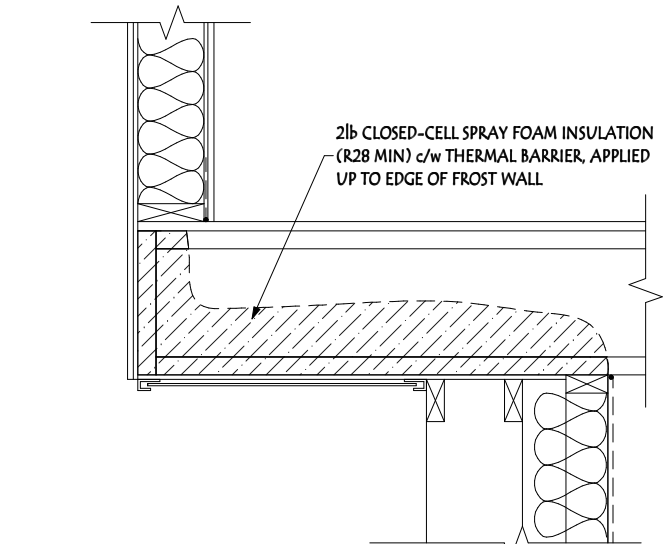
- 5 BASEMENT FLOOR ASSEMBLY (0.19 RSI)**
- A) CUPOLEX CONCRETE FORMS USED AS A BASE BELOW THE BASEMENT CONCRETE SLAB. REFER TO ENGINEER'S DETAIL OR
- B) 8" FILL TO COMPLY WITH NBC-2019 ALBERTA EDITION 9.16.2.1.(1)
6mil CGSB POLY VAPOR BARRIER
3" CONCRETE SLAB - ALL SEAMS & PENETRATIONS TO BE SEALED WITH FLEXIBLE SEALANT AS PER NBC - 2019 ALBERTA EDITION - 9.25.3.3.(5)

- 6 INTERIOR WALL ASSEMBLIES (N/A RSI)**
- 1/2" DRYWALL
2X4" STUDS @ 24" O.C. (OR DEEPER STUD IF REQUIRED ON PLANS)
1/2" DRYWALL
- ¹ RSI VALUE EXCLUDES FINISHED CLADDING
² RSI VALUE EXCLUDES INTERIOR FINISHED MATERIAL

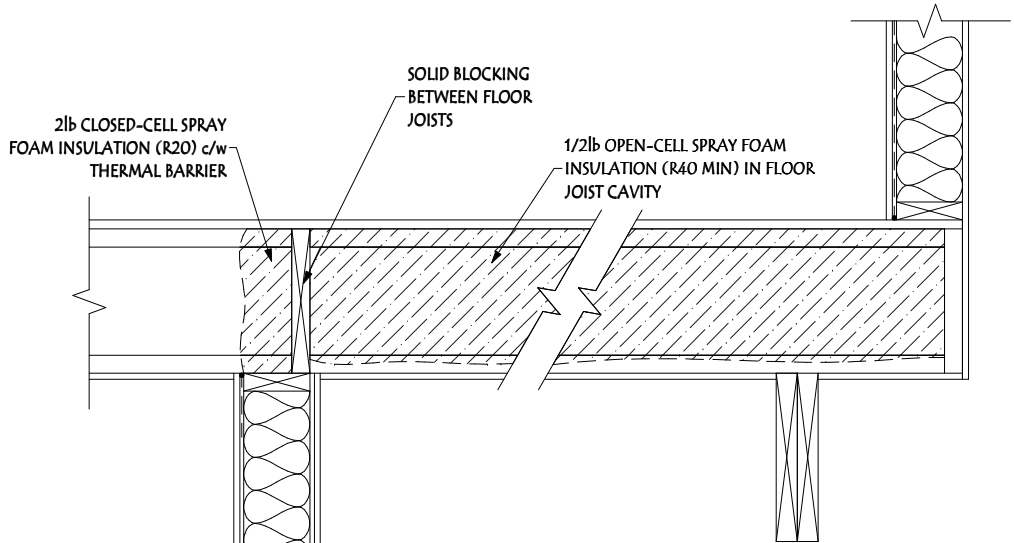
** ALL WINDOWS TO BE AS PER U-VALUES BELOW OR LESS **			
TYPE / OPERATION	GLAZING**	SERIES	U-VALUE (W/m²K)
PICTURE	HS2 / HS5 W/ ARGON	6500	1.14
SLIDER	HS2 / HS5 W/ ARGON	6500	1.31
SINGLE HUNG	HS2 / HS5 W/ ARGON	6500	1.31
CASEMENT	HS2 / HS5 W/ ARGON	9100	1.19
AWNING	HS2 / HS5 W/ ARGON	9100	1.19
BASEMENT SLIDER	HS2 W/ ARGON	5600	1.31
EXTERIOR DOOR w/ GLAZING	HS1 W/ ARGON	--	1.36
EXTERIOR PATIO/GARDEN DOOR	HS1 W/ ARGON	--	1.48
EXTERIOR DOOR w/o GLAZING	--	--	0.85
**HS1 GLAZING=DUAL PANE (CLEAR / LOW-E) HS2 GLAZING=TRIPLE PANE (CLEAR/CLEAR/LOW-E) HS5 GLAZING=TRIPLE PANE (CLEAR/CLEAR/SUNSTOP)			



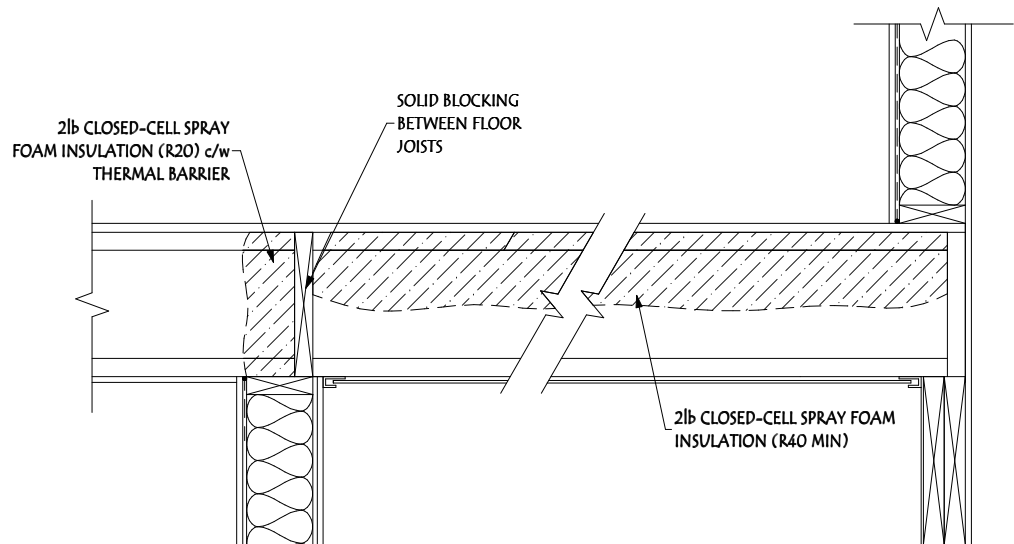
Address:		8155 - 220 STREET NW, EDMONTON, AB 83 / 02 / 212 2790		Customer:		ESPINA		Page:							
Drawn By:		S. VITH		Model:		SECRETARIAT (CR-R)		JOB #:		30854		PACESSETTER INSPIRE SERIES		13	
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		Date:		4/24/2023 11:55:19 AM		Main Fl.		1081 SF		1162 SF					
		Bsmnt. Devl:		0 SF		Upper Fl.		1385 SF		1467 SF					
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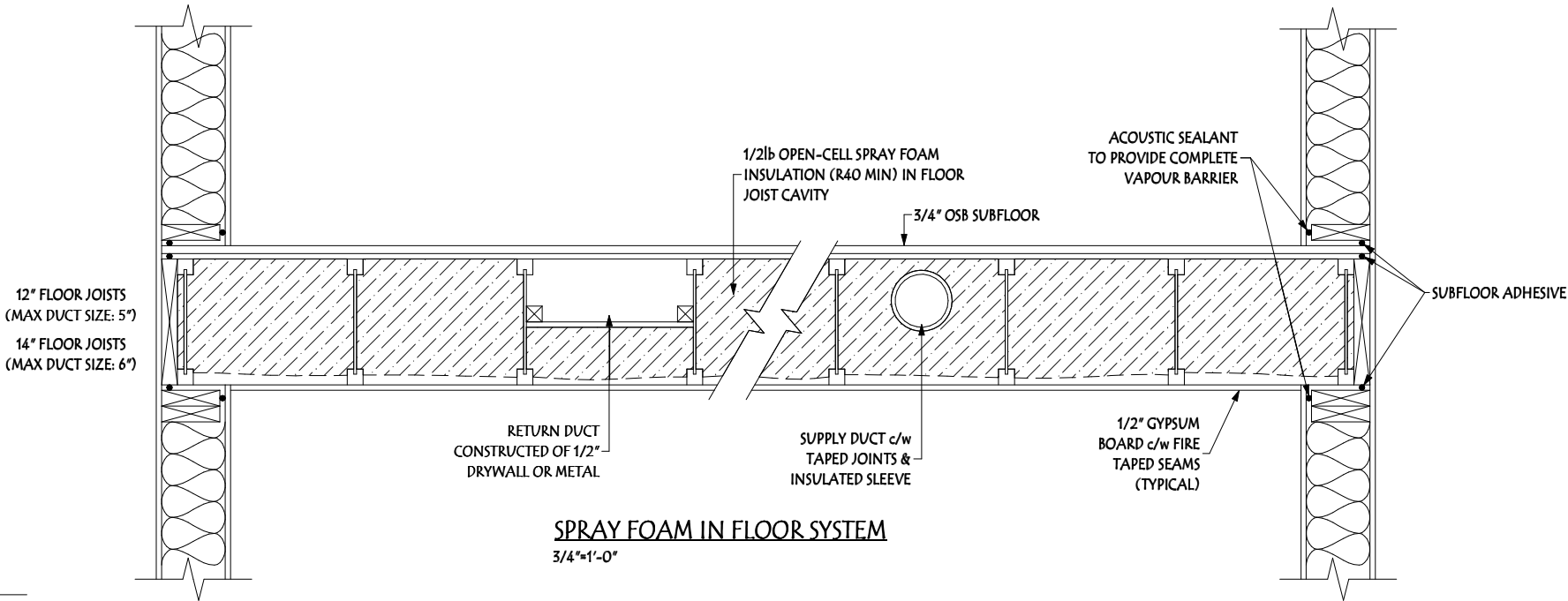
MAIN FLOOR CANTILEVER DETAIL - 3FT OR LESS
3/4"=1'-0"



FLOOR ABOVE UNHEATED SPACE DETAIL
3/4"=1'-0"



LARGE EXTERIOR OVERHANG DETAIL
3/4"=1'-0"

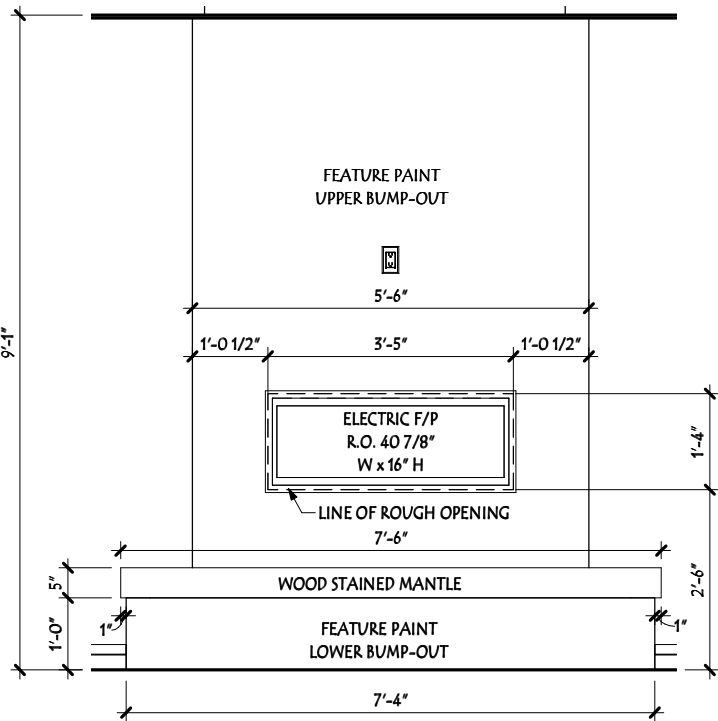


SPRAY FOAM IN FLOOR SYSTEM
3/4"=1'-0"

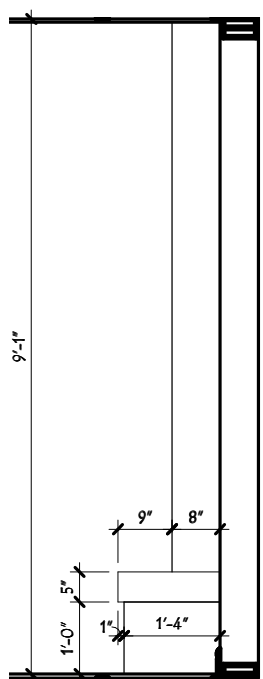
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Customer Initial: ME ME



FIREPLACE DETAIL
3/8" = 1'-0" GREAT ROOM



FIREPLACE SECTION DETAIL
3/8" = 1'-0" 3

Address:		8155 - 220 STREET NW, EDMONTON, AB 83 / 02 / 212 2790		Customer: ESPINA		Page:	
Drawn By: S. VITH		Model: SECRETARIAT (CR-R)		JOB #: 30854		PACESSETTER INSPIRE SERIES	
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						A QUALICO® Company	