



JOB # 30790

SPEC HOME

15633 18 AVENUE SW
EDMONTON

11 / 27 / 212-2958

GLENRIDDING

[illegible]

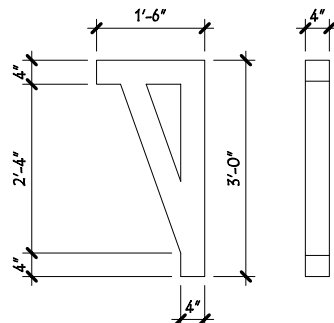


**** COLOURS SHOWN ARE FOR ILLUSTRATIVE PURPOSES ONLY. REFER TO MANUFACTURER'S SAMPLES FOR ACCURATE REPRESENTATION ****

Address:		15633 18 AVENUE SW, EDMONTON, AB 11 / 27 / 212-2958		Customer: SPEC HOME		Page:
Drawn By:		N. HUNT-LEE		JOB #: 30790		
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		Scale: 3/16" = 1'-0"		Const. Market.		
		Date: 6/13/2022 4:30:32 PM		Main Fl. 742 SF 801 SF		
				Upper Fl. 787 SF 847 SF		
		Bsmnt. Devl: 0 SF		Total 1529 SF 1648 SF		
						1
				A QUALICO Company		14

NOTE!

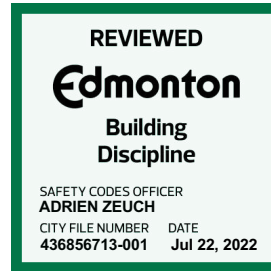
1. FLASHING IS TO BE INSTALLED AT ALL APPROPRIATE LOCATIONS ON ROOF AND ELEVATIONS.
-SEE BUILDERS SPECS
2. WINDOW WELLS MAY BE REQUIRED DEPENDING ON FINAL GRADE
3. ALL STAIRS TO HAVE A MINIMUM 10" RUN + 1" NOSING



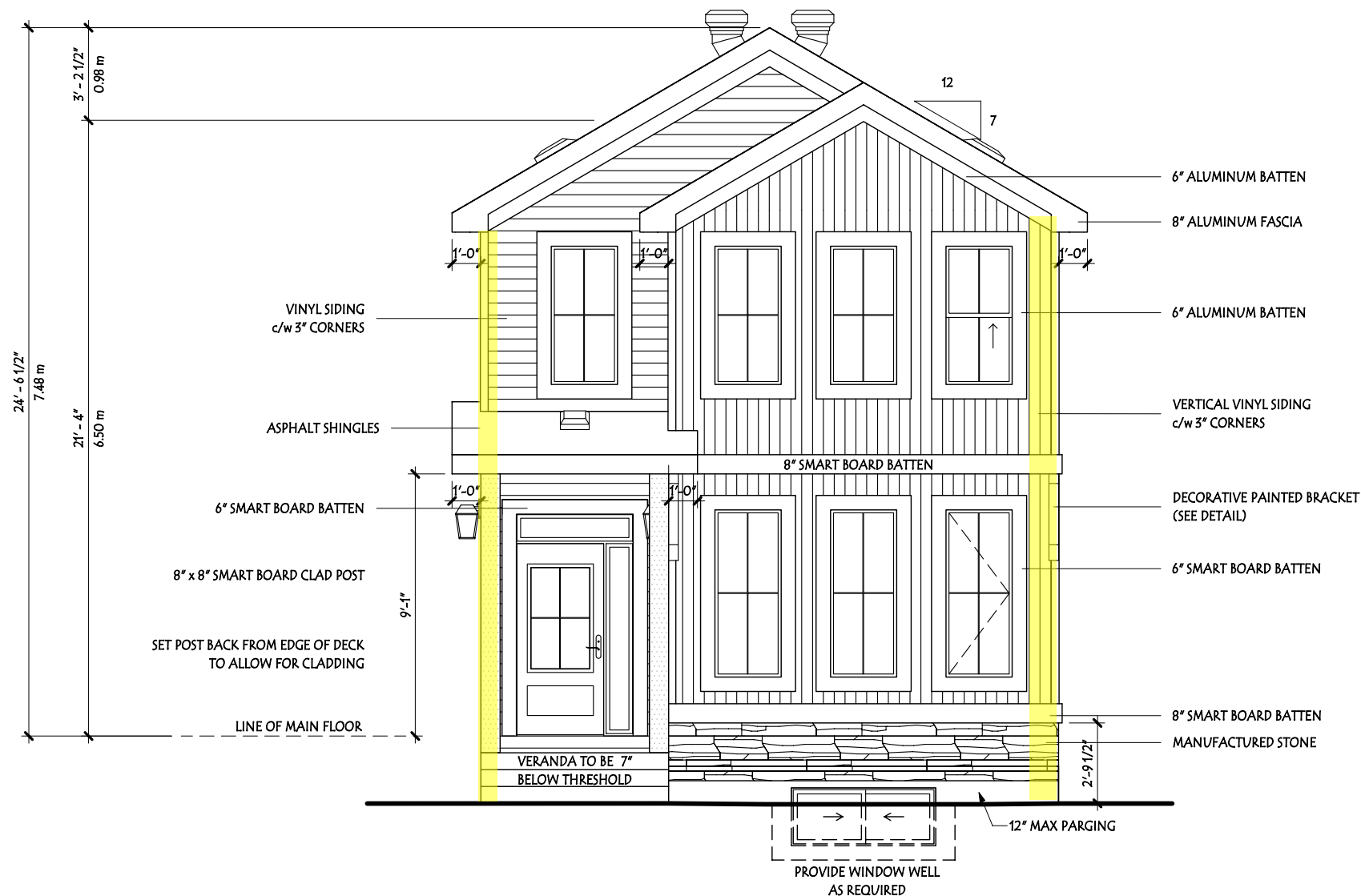
BRACKET DETAIL
SCALE: 3/8" = 1'-0"

LEGEND

1 HR FIRE SEPARATION	
1 HR F.R.R	
45min FIRE SEPARATION	
45min F.R.R	



ZERO LOT LINE/OS10



FRONT ELEVATION

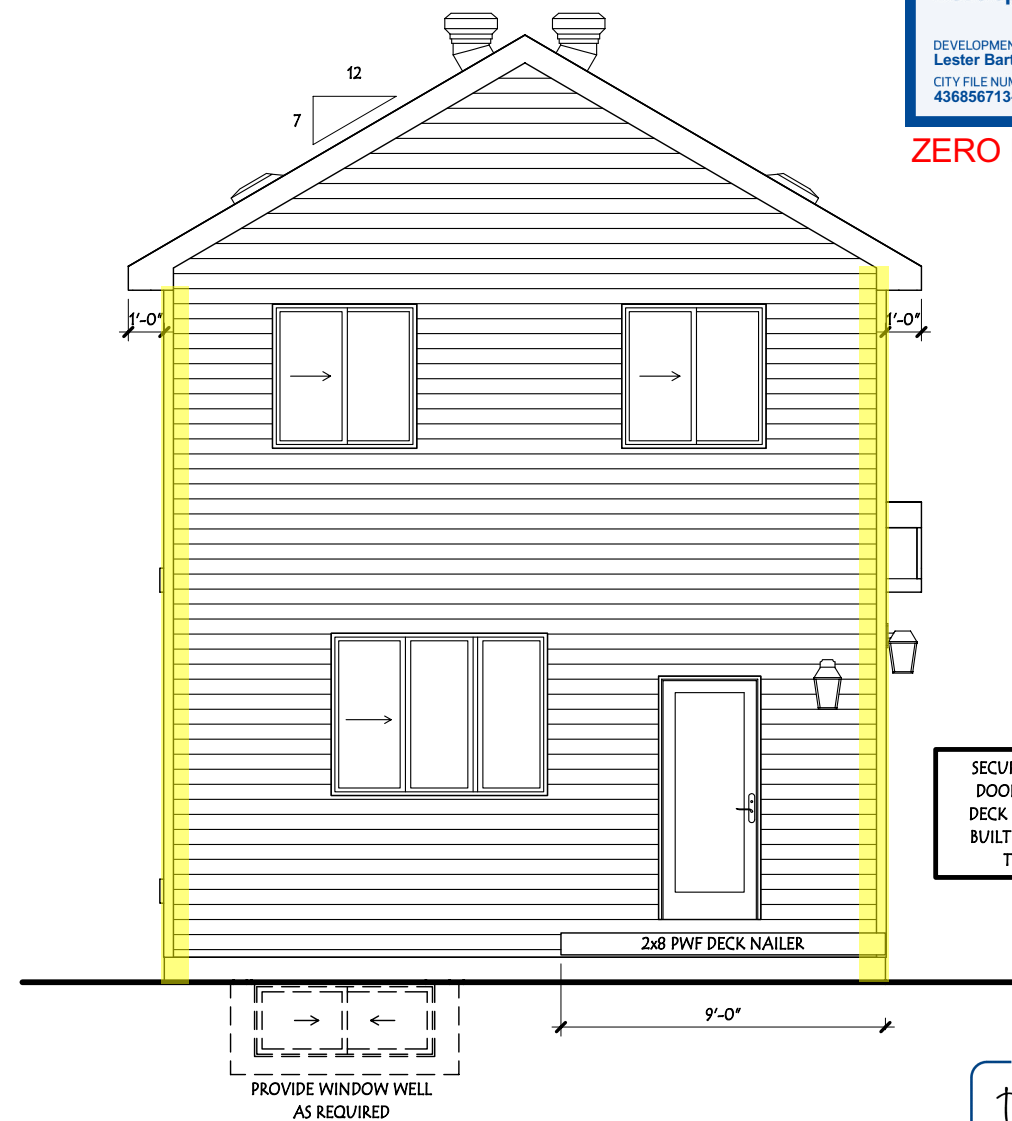
****ALL WINDOWS TO BE LOW E****

****TRI-PANE WINDOWS****
THROUGHOUT

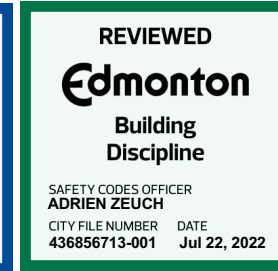
(UNLESS NOTED OTHERWISE)

DS DS

Address:	15633 18 AVENUE SW, EDMONTON, AB 11 / 27 / 212-2958		Customer: SPEC HOME		Page: 2
	Drawn By: N. HUNT-LEE	Model: BROOKLYN (FH-GR)	JOB #: 30790	PACESSETTER DESIGN SERIES 	
		Scale: 3/16" = 1'-0"			
		Date: 6/13/2022 4:30:34 PM	Main Fl. 801 SF		
		Bsmnt. Devl: 0 SF	Upper Fl. 847 SF		
Construction Square footage is based on floor area Marketing Square footage includes stairwells		Total 1648 SF	A QUALICO Company		14



ZERO LOT LINE/OS10



LEGEND

1 HR FIRE SEPARATION	
1 HR F.R.R	
45min FIRE SEPARATION	
45min F.R.R	

REAR ELEVATION

****ALL WINDOWS TO BE LOW E****

****TRI-PANE WINDOWS****
THROUGHOUT

(UNLESS NOTED OTHERWISE)

Address:	15633 18 AVENUE SW, EDMONTON, AB 11 / 27 / 2022-2958					
Drawn By:	N. HUNT-LEE	Model:	BROOKLYN (FH-GR)	JOB #:	30790	PAGES
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		Date:	6/13/2022 4:30:37 PM			
		Bsmnt. Devl:	0 SF			
		Construction Square footage is based on floor area Marketing Square footage includes stairwells				
				Customer: SPEC HOME		 A QUALICO Company
				Page:		3
						14

LEGEND	
1 HR FIRE SEPARATION	
1 HR F.R.R	
45min FIRE SEPARATION	
45min F.R.R	

REVIEWED

Edmonton

Building Discipline

Safety Codes Officer
Adrien Zeuch

CITY FILE NUMBER
436856713-001

DATE
Jul 22, 2022

APPROVED

Edmonton

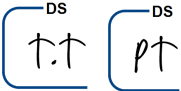
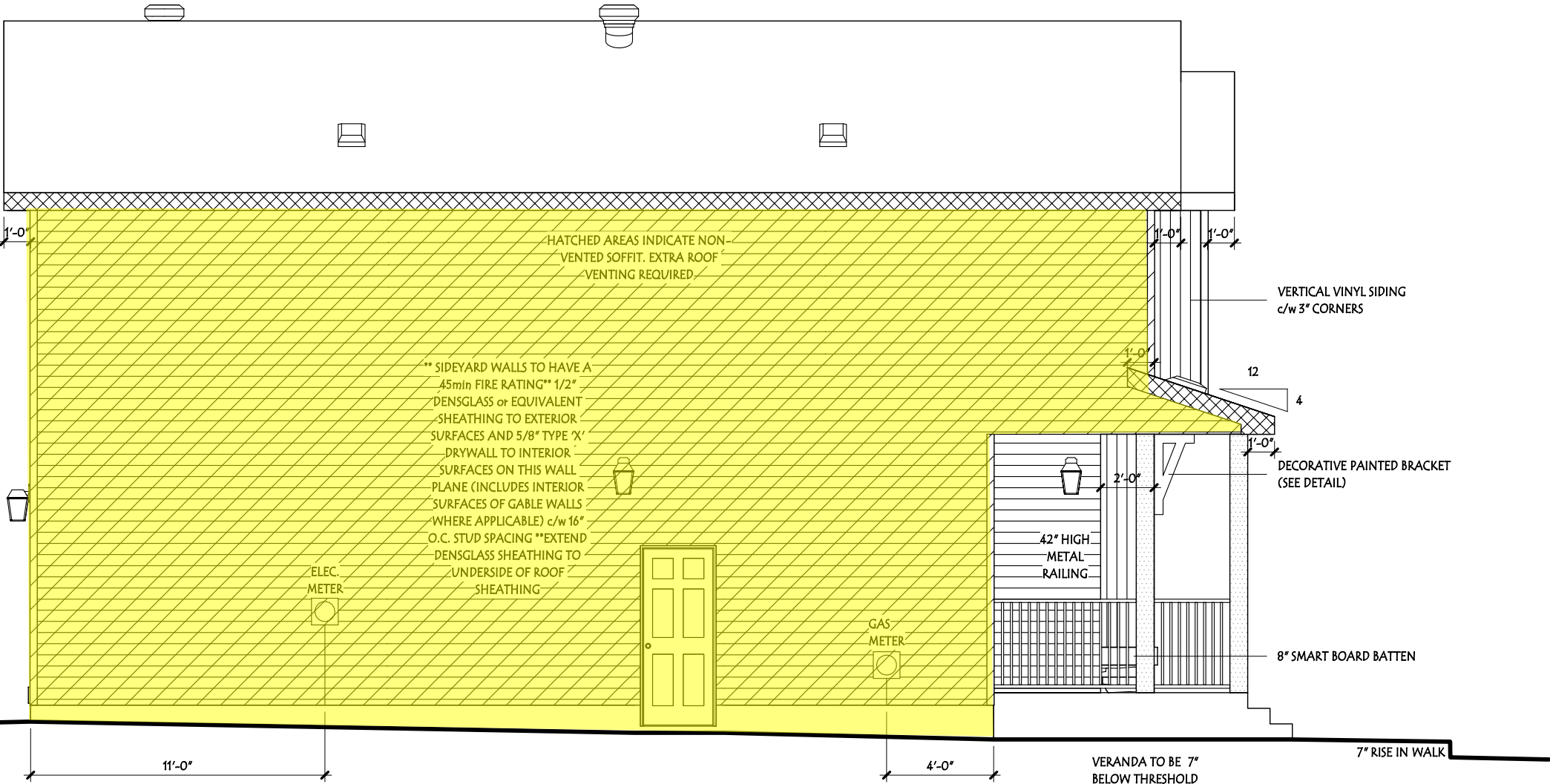
Development Permit

Development Authority
Lester Bartolome

CITY FILE NUMBER
436856713-002

DATE
Jun 14, 2022

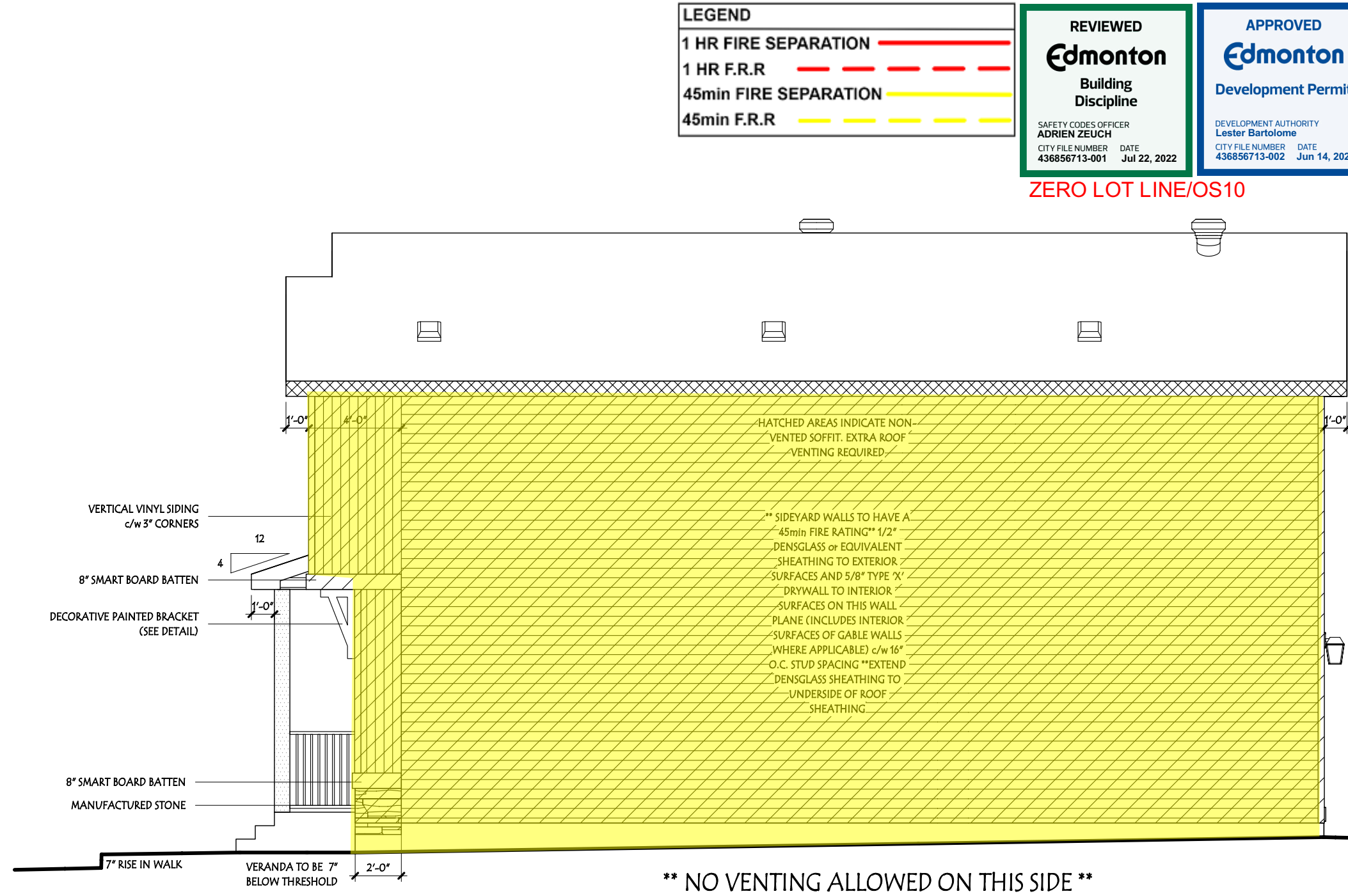
ZERO LOT LINE/OS10



****ALL WINDOWS TO BE LOW E****
****TRI-PANE WINDOWS****
THROUGHOUT
(UNLESS NOTED OTHERWISE)

LEFT ELEVATION

Address: 15633 18 AVENUE SW, EDMONTON, AB 11 / 27 / 212-2958	Customer: SPEC HOME		Page:	
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		Scale: 3/16" = 1'-0"	JOB #: 30790	 A QUALICO Company
		Date: 6/13/2022 4:30:40 PM	Const. Market.	
		Bsmnt. Devl: 0 SF	Main Fl. 742 SF 801 SF	
	Upper Fl. 787 SF 847 SF			
		Total 1529 SF 1648 SF	4	14



RIGHT ELEVATION

** NO VENTING ALLOWED ON THIS SIDE **

** ALL WINDOWS TO BE LOW E **

** TRI-PANE WINDOWS **

(UNLESS NOTED OTHERWISE)

LEGEND	
1 HR FIRE SEPARATION	
1 HR F.R.R	
45min FIRE SEPARATION	
45min F.R.R	

REVIEWED

Edmonton

Building Discipline

SAFETY CODES OFFICER
ADRIEN ZEUCH

CITY FILE NUMBER
436856713-001

DATE
Jul 22, 2022

APPROVED

Edmonton

Development Permit

DEVELOPMENT AUTHORITY
Lester Bartolome

CITY FILE NUMBER
436856713-002

DATE
Jun 14, 2022

ZERO LOT LINE/OS10

Address: 15633 18 AVENUE SW, EDMONTON, AB 11 / 27 / 212-2958	Customer: SPEC HOME		Page: 5	
	Model: BROOKLYN (FH-GR)	JOB #:	PACESSETTER DESIGN SERIES	
		30790	PACESSETTER HOMES A QUALICO Company	
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	Date:	6/13/2022 4:30:43 PM	Main Fl.	801 SF
	Bsmnt. Devl:	0 SF	Upper Fl.	847 SF
Construction Square footage is based on floor area Marketing Square footage includes stairwells		Total	1529 SF	1648 SF

REVIEWED

Edmonton

Building Discipline

SAFETY CODES OFFICER
ADRIEN ZEUCH

CITY FILE NUMBER DATE
436856713-001 Jul 22, 2022

APPROVED

Edmonton

Development Permit

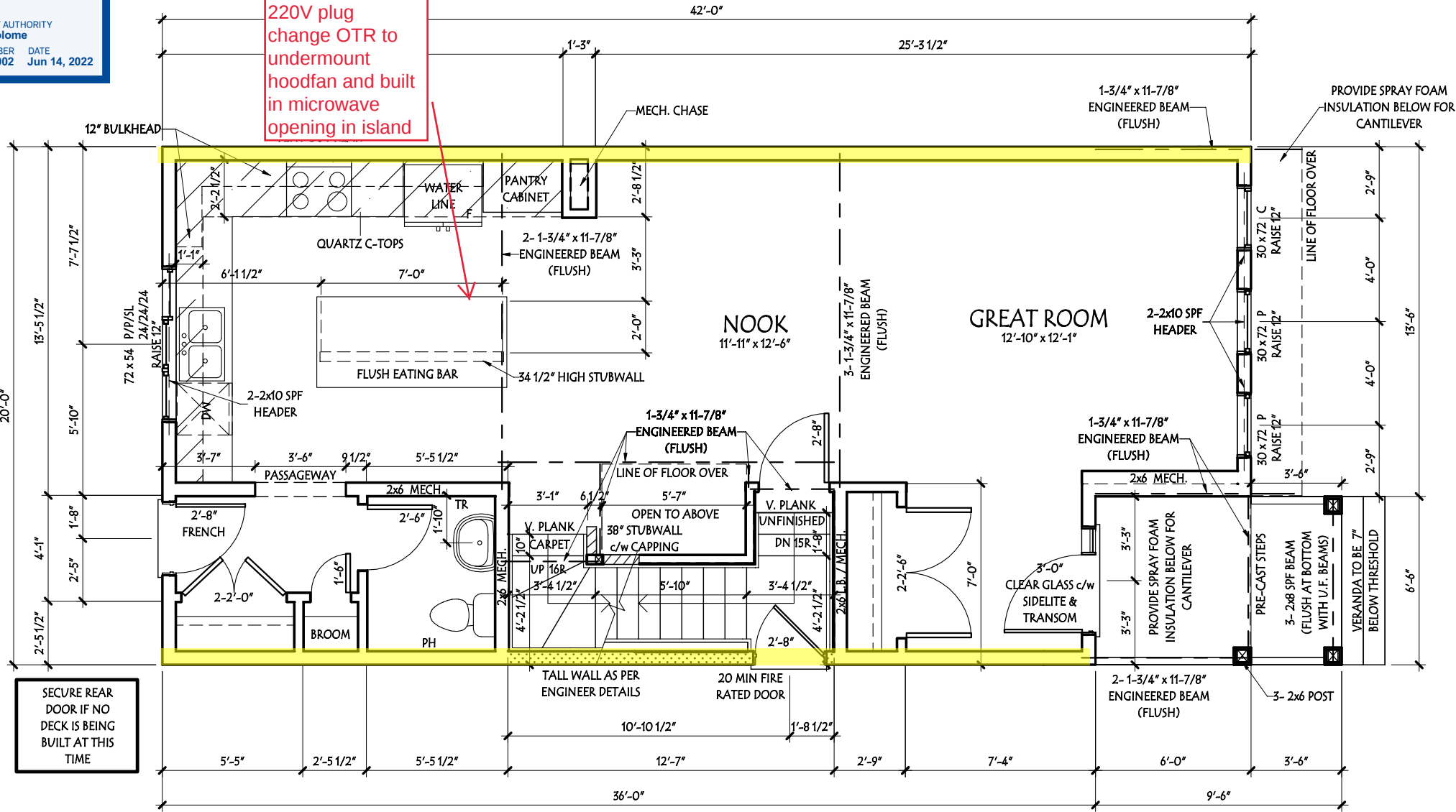
DEVELOPMENT AUTHORITY
Lester Bartolome

CITY FILE NUMBER DATE
436856713-002 Jun 14, 2022

Addendum 1 Item 4 and 6
add gasline to range and remove 220V plug
change OTR to undermount hoodfan and built in microwave opening in island

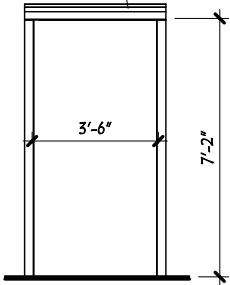
** NO VENTING ALLOWED ON THIS SIDE **

LEGEND	
1 HR FIRE SEPARATION	
1 HR F.R.R	
45min FIRE SEPARATION	
45min F.R.R	



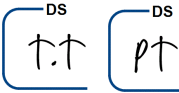
SECURE REAR DOOR IF NO DECK IS BEING BUILT AT THIS TIME

CASING/HEADER AS PER SERIES
MDF PANEL ON INTERIOR JAMBS



PASSGEWAY DETAIL
3/16" = 1'-0" KITCHEN SIDE

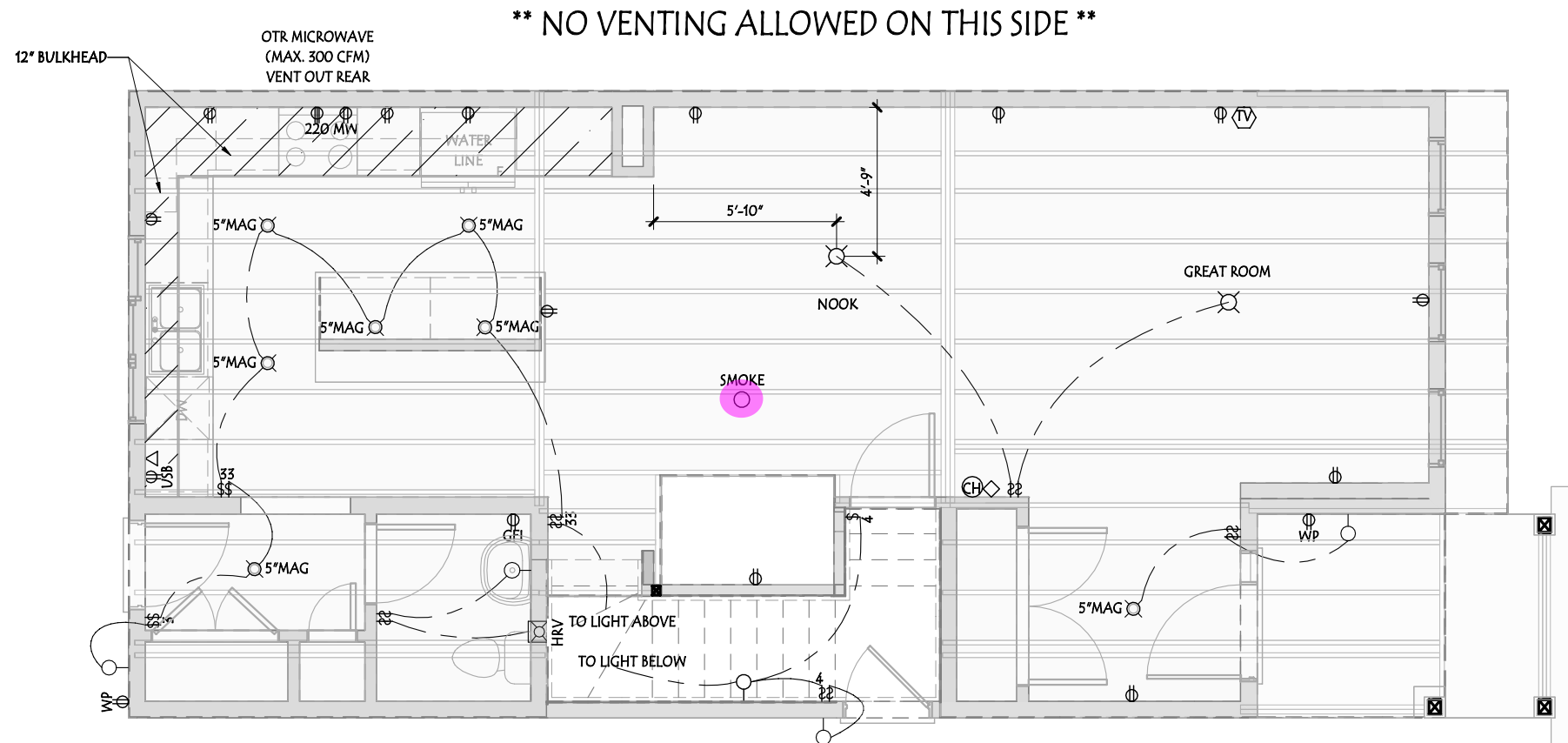
MAIN FLOOR PLAN



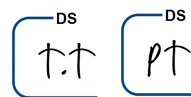
NOTE!

- DIMENSIONS SHOWN ARE TO FACE OF MEMBER OR EXTERIOR WALL FACE UNLESS SHOWN OTHERWISE
- ALL BEAMS AND LINTELS ARE TO BE 2-2X10 SPRUCE UNLESS NOTED OTHERWISE.

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		Scale: 3/16" = 1'-0"		JOB #:	30790		 PACESSETTER DESIGN SERIES Pacesetter HOMES A QUALICO Company		
		Date: 6/13/2022 4:30:48 PM			Const.			Market.	
		Bsmnt. Devl: 0 SF		Main Fl.				742 SF	801 SF
				Upper Fl.				787 SF	847 SF
Construction Square footage is based on floor area Marketing Square footage includes stairwells				Total	1529 SF	1648 SF			



MAIN FLOOR ELEC. LAYOUT

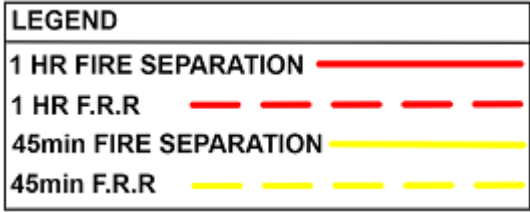


ELECTRICAL LEGEND

	CEILING LIGHT		WALL LIGHT
	ELEC. PLUG		FLUE
	220 PLUG		SMOKE DETECTOR
	USB PAIRED PLUG		SD/CO DETECTOR
	TELEPHONE		VAC. ROUGH IN
	TV/CAT5E		CHIME
	THERMOSTAT		SINGLE SWITCH
	3 WAY SWITCH		ELEC. WIRING
	WEEPING TILE TEE		SPEAKER
	GAS METER		OTTO SWITCH

ELECTRICAL LOCATIONS SUBJECT TO CHANGE AS REQUIRED BY CODE

Address:		15633 18 AVENUE SW, EDMONTON, AB 11 / 27 / 212-2958		Customer: SPEC HOME		Page:	
Drawn By:		N. HUNT-LEE		JOB #: 30790			
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		Scale: 3/16" = 1'-0"		Const.			
		Date: 6/13/2022 4:30:51 PM		Main Fl. 742 SF			801 SF
		Bsmnt. Devl: 0 SF		Upper Fl. 787 SF			847 SF
				Total 1529 SF		1648 SF	
							
A QUALICO Company							



**** NO VENTING ALLOWED ON THIS SIDE ****

UPPER FLOOR PLAN

Address: 15633 18 AVENUE SW, EDMONTON, AB 11 / 27 / 212-2958		Customer: SPEC HOME		Page:	
Drawn By: N. HUNT-LEE		Model: BROOKLYN (FH-GR)		JOB #: 30790	
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		Date: 6/13/2022 4:30:54 PM		Main Fl. 742 SF 801 SF	
		Bsmnt. Devl: 0 SF		Upper Fl. 787 SF 847 SF	
		Construction Square footage is based on floor area Marketing Square footage includes stairwells		Total 1529 SF 1648 SF	
 Pacesetter HOMES A QUALICO Company					
14					

REVIEWED

Edmonton

Building Discipline

SAFETY CODES OFFICER

ADRIEN ZEUCH

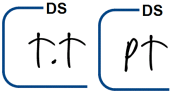
CITY FILE NUMBER

436856713-001

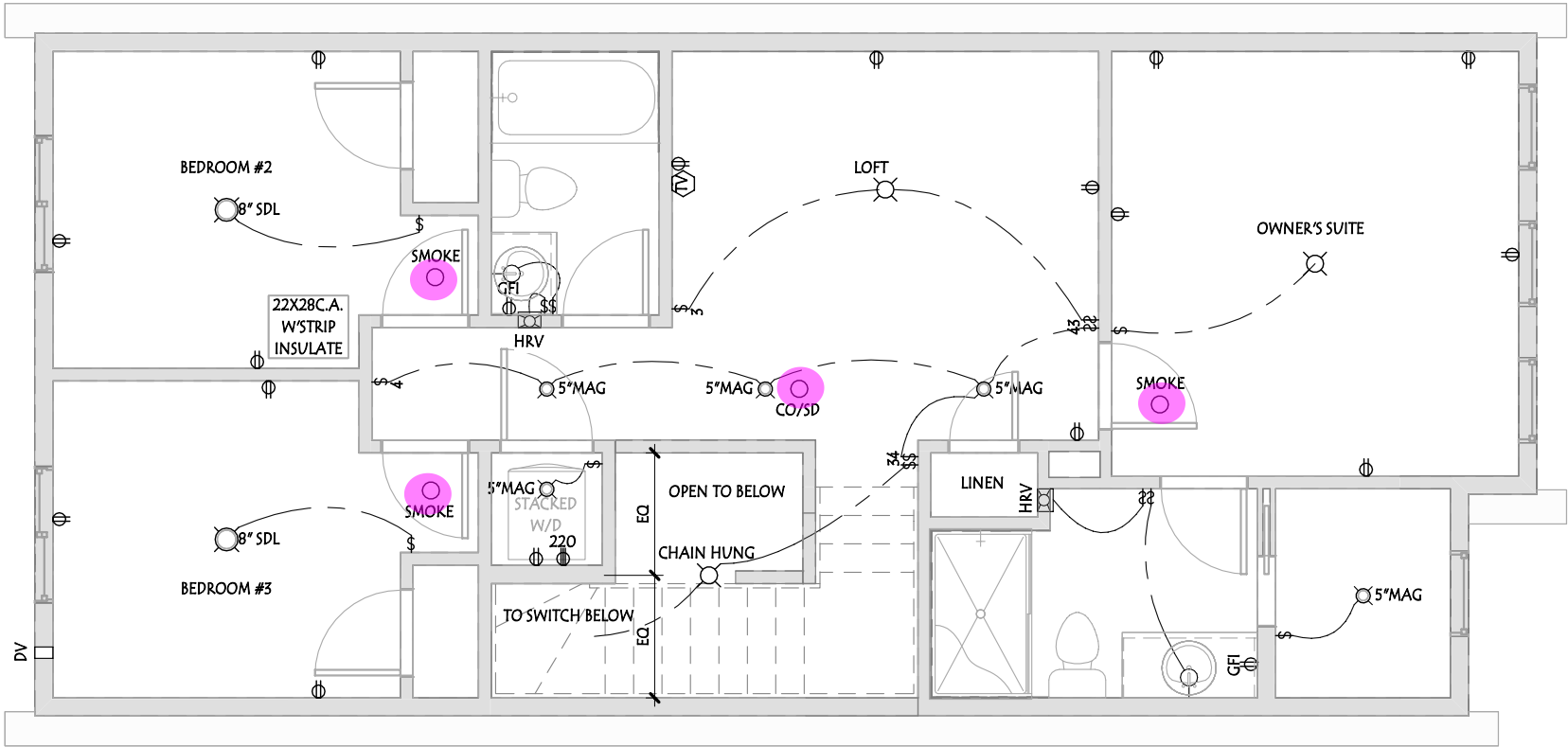
DATE

Jul 22, 2022

UPPER FLOOR ELEC. LAYOUT



** NO VENTING ALLOWED ON THIS SIDE **



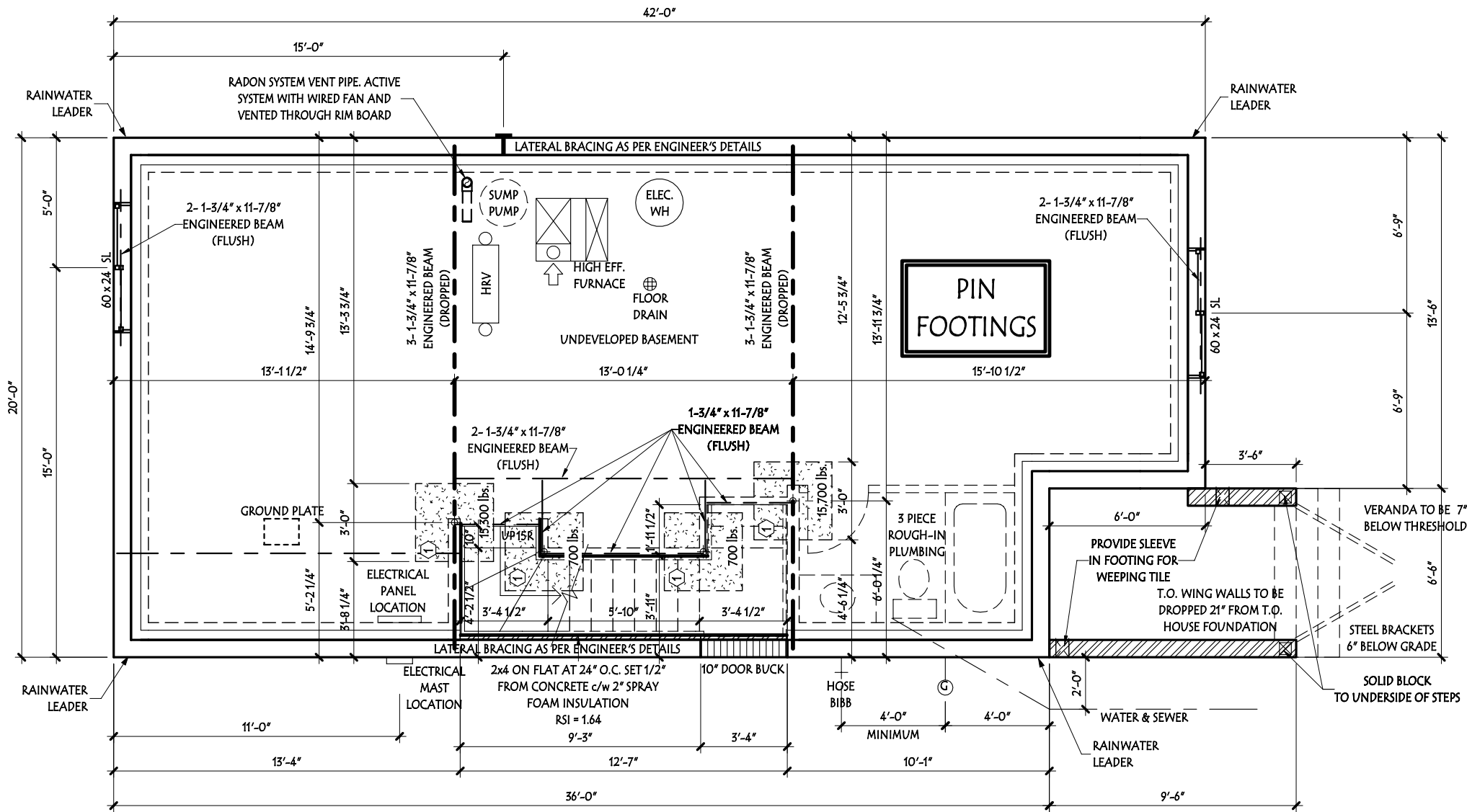
ELECTRICAL LEGEND			
	CEILING LIGHT		WALL LIGHT
	ELEC. PLUG		FLUE
	220 PLUG		SMOKE DETECTOR
	USB PAIRED PLUG		SD/CO DETECTOR
	TELEPHONE		VAC. ROUGH IN
	TV/CAT5E		CHIME
	THERMOSTAT		SINGLE SWITCH
	3 WAY SWITCH		ELEC. WIRING
	WEEPING TILE TEE		SPEAKER
	GAS METER		OTTO SWITCH

ELECTRICAL LOCATIONS SUBJECT TO CHANGE AS REQUIRED BY CODE

Address: 15633 18 AVENUE SW, EDMONTON, AB 11 / 27 / 212-2958		Customer: SPEC HOME		Page: 14	
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	Scale: 3/16" = 1'-0"		Const.	Market.	
	Date: 6/13/2022 4:30:57 PM		Main Fl.	742 SF	801 SF
			Upper Fl.	787 SF	847 SF
			Total	1529 SF	1648 SF
Bsmnt. Devl: 0 SF		 A QUALICO Company			
Construction Square footage is based on floor area Marketing Square footage includes stairwells					

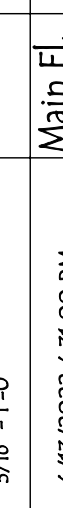
REBAR TO BE EQUALLY SPACED
ALONG LENGTH & WIDTH OF PAD

**** NO VENTING ALLOWED ON THIS SIDE ****



FOUNDATION PLAN

(UNLESS NOTED OTHERWISE)

Address: 15633 18 AVENUE SW, EDMONTON, AB 11 / 27 / 212-2958		Customer: SPEC HOME		Page:	
Drawn By: N. HUNT-LEE		Model: BROOKLYN (FH-GR)		JOB #: 30790	
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		Date: 6/13/2022 4:31:00 PM		Main Fl. 742 SF 801 SF	
		Bsmnt. Devl: 0 SF		Upper Fl. 787 SF 847 SF	
		Construction Square footage is based on floor area Marketing Square footage includes stairwells		Total 1529 SF 1648 SF	
					
14					

REVIEWED

Edmonton

Building Discipline

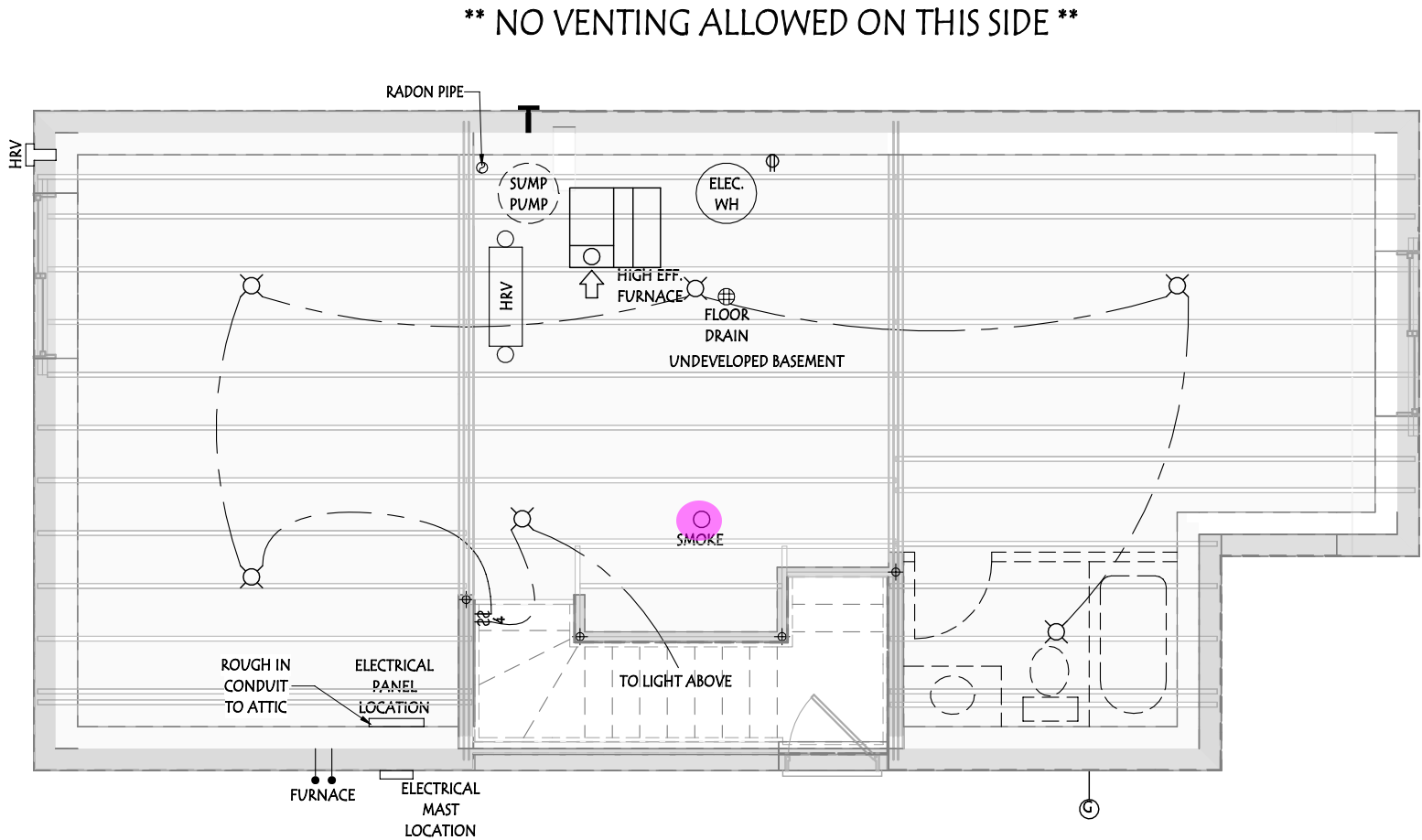
Safety Codes Officer
Adrien Zeuch

City File Number

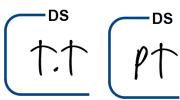
436856713-001

Date

Jul 22, 2022



FOUNDATION ELEC. LAYOUT



ELECTRICAL LEGEND			
	CEILING LIGHT		WALL LIGHT
	ELEC. PLUG		FLUE
	220 PLUG		SMOKE DETECTOR
	USB PAIRED PLUG		SD/CO DETECTOR
	TELEPHONE		VAC. ROUGH IN
	TV/CAT5E		CHIME
	THERMOSTAT		SINGLE SWITCH
	3 WAY SWITCH		ELEC. WIRING
	WEEPING TILE TEE		SPEAKER
	GAS METER		OTTO SWITCH

ELECTRICAL LOCATIONS SUBJECT TO CHANGE AS REQUIRED BY CODE

Address: 15633 18 AVENUE SW, EDMONTON, AB 11 / 27 / 212-2958	Customer: SPEC HOME		Page: 11	
	Model: BROOKLYN (FH-GR)	JOB #:	30790	PACESETTER DESIGN SERIES
	Scale: 3/16" = 1'-0"	Const.	Market.	 A QUALICO Company
	Date: 6/13/2022 4:31:03 PM	Main Fl.	742 SF	
Bsmnt. Devl:		Upper Fl.	787 SF	
Construction Square footage is based on floor area Marketing Square footage includes stairwells		Total	1529 SF	1648 SF

- NOTES
- TRADES ARE RESPONSIBLE FOR CHECKING ALL DIMENSIONS & NOTES AND REPORTING ANY DISCREPANCIES TO THE DESIGNER PRIOR TO CONSTRUCTION.
- ALL LOAD BEARING LINTELS TO BE 2-2x10 #2 SPRUCE UNLESS NOTED OTHERWISE
 - FINAL EXTERIOR GRADES MAY VARY
 - WINDOW AND DOOR SIZES SHOWN ARE APPROXIMATE ONLY. EXACT ROUGH OPENINGS TO BE SUPPLIED BY MANUFACTURER PRIOR TO CONSTRUCTION.
 - MECHANICAL LAYOUT AND SPECS. SUPPLIED BY OTHERS.
 - ROOF SHALL BE VENTED WITH AN UNOBSTRUCTED VENT AREA OF NOT LESS THAN 1/300 OF THE CEILING AREA.
 - ALL EXTERIOR WALLS WHERE MONO TRUSSES ARE ATTACHED SHALL BE SEALED & PAPERED BEFORE INSTALLING TRUSSES
 - THE AREAS REQUIRING VENTILATION WITHIN THE ROOF SPACE OR ATTIC SHALL CONFORM TO NBC - 2019 ALBERTA EDITION 9.19.1.
 - ATTIC ACCESS TO BE WEATHERSTRIPPED & INSULATED AS PER NBC - 2019 ALBERTA EDITION 9.19.2.1.
 - STEP FOOTING FOR WALKOUTS SHALL BE MAX. RISE 24" & MINIMUM HORIZONTAL DISTANCE OF 24" AS PER NBC - 2019 ALBERTA EDITION 9.15.8.9.
 - COMBUSTION AIR SHALL BE PROVIDED FOR FIREPLACE AS PER NBC - 2019 ALBERTA EDITION 9.22.1.4.
 - SMOKE ALARMS TO CONFORM TO NBC - 2019 ALBERTA EDITION 9.10.19.
 - IF WEEPING TILE IS REQUIRED SLAB ON GROUND SHALL BE DAMPROOFED AS PER NBC - 2019 ALBERTA EDITION 9.13.4.
 - EXACT LOCATION OF MECHANICAL, ELECTRICAL, AND PLUMBING EQUIPMENT SUBJECT TO CHANGE DUE TO SITE CONDITIONS.
 - GARAGE ENTRY STAIRS MAY VARY IN NUMBER OF RISERS AND LOCATION DUE TO SITE CONDITIONS
 - ELEVATIONS, FLOOR LAYOUT AND ROOM DIMENSIONS ARE SUBJECT TO CHANGE DUE TO SITE CONDITIONS
 - DRIVEWAYS, SIDEWALKS, AND PARKING PADS SUBJECT TO CHANGE DUE TO SITE CONDITIONS

APPROVED

Edmonton

Development Permit

DEVELOPMENT AUTHORITY
Lester Bartolome

CITY FILE NUMBER
436856713-002

DATE
Jun 14, 2022

REVIEWED

Edmonton

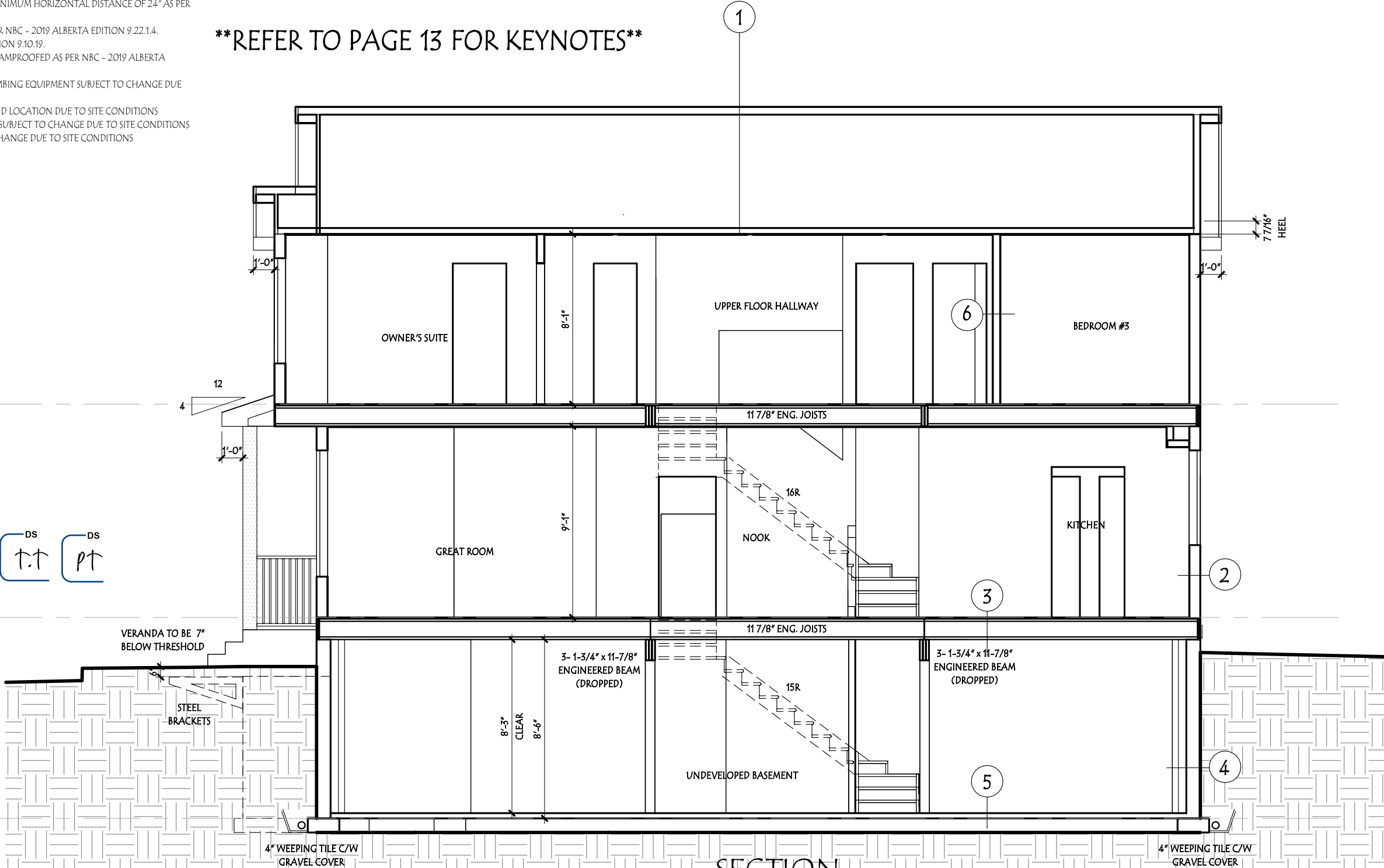
Building Discipline

SAFETY CODES OFFICER
ADRIEN ZEUCH

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Jul 22, 2022

REFER TO PAGE 13 FOR KEYNOTES



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			Upper Fl.	787 SF	847 SF
			Total	1529 SF	1648 SF
Bsmnt. Devl: 0 SF		Pacesetter H O M E S A QUALICO® Company			
14					

ASPHALT SHINGLES
3/8" O.S.B. SHEATHING c/w 'H'CLIPS
ENGINEERED WOOD TRUSSES @24" o/c
R-40 BATT INSULATION
6 mil CGSB POLY VAPOR BARRIER
1/2" C.D. DRYWALL

6 mil. CGSB POLY VAPOR BARRIER
5/8" TYPE 'X' DRYWALL

INTERIOR FLOOR (N/A RSI)
FLOOR FINISH AS SPECIFIED
3/8" V-LAY IN LINO AREAS
23/32" T&G OSB SUBFLOOR GLUED AND SCREWED
ENGINEERED WOOD JOISTS AS PER MANUFACTURER.

FLOOR FINISH AS SPECIFIED
3/8" U-LAY IN LINO AREAS
23/32" T&G OSB SUBFLOOR GLUED AND SCREWED
6 mil. CGSB POLY VAPOR BARRIER
ENGINEERED WOOD JOISTS AS PER MANUFACTURER
R-40 1/2 lb OPEN-CELL SPRAY FOAM INSULATION
1/2" DRYWALL

"IF REQUIRED AS PER PLANS"
FLOOR FINISH AS SPECIFIED
3/8" U-LAY IN LINO AREAS
23/32" T&G OSB SUBFLOOR GLUED AND SCREWED
6 mil. CGSB POLY VAPOR BARRIER
ENGINEERED WOOD JOISTS AS PER MANUFACTURER
R-28 2lb CLOSED-CELL SPRAY FOAM INSULATION
3/8" OSB SHEATHING
NON-VENTED METAL SOFFIT

"IF REQUIRED AS PER PLANS"
FLOOR FINISH AS SPECIFIED
3/8" U-LAY IN LINO AREAS
23/32" T&G OSB SUBFLOOR GLUED AND SCREWED
6 mil. CGSB POLY VAPOR BARRIER
ENGINEERED WOOD JOISTS AS PER MANUFACTURER
R-40 2lb CLOSED-CELL SPRAY FOAM INSULATION
3/8" OSB SHEATHING
NON-VENTED METAL SOFFIT

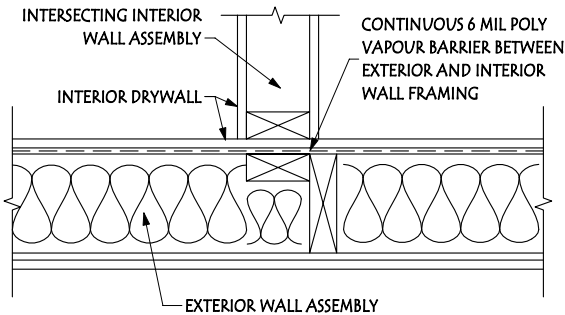
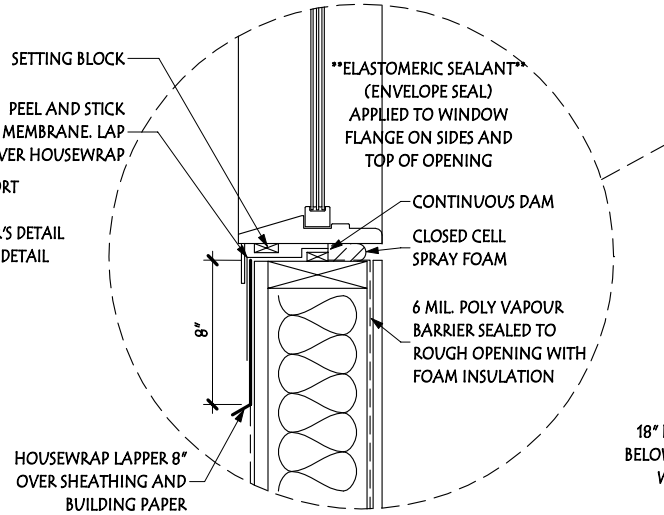
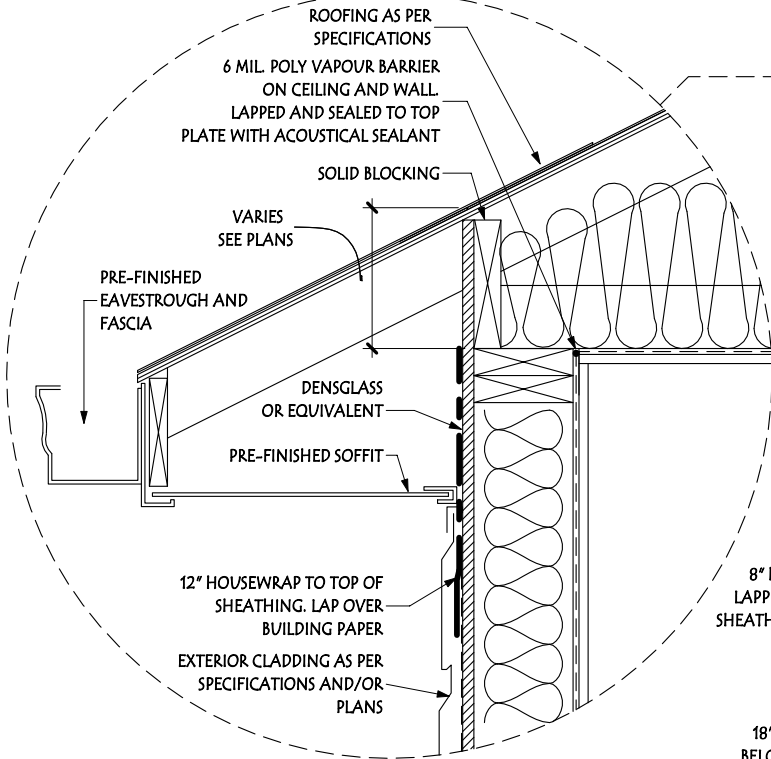
8" CONC FOUNDATION WALL C/W 2 ROWS OF 2-#10 BARS
STUDS @24" o/c
R-20 BATT INSULATION
6 mil CSGB POLY VAPOR BARRIER
1/2" DRYWALL (FINISHED AREAS)
18"X 8" CONCRETE STRIP FOOTING OR AS REQUIRED BY ENGINEER'S REPORT
TELEPOST PAD FOOTINGS AS PER PLAN
WINDOWS OVER 48 INCHES IN LENGTH TO BE BRACED AS PER ENGINEER'S DETAIL
OPEN TO BELOW AREA WALLS WILL BE REINFORCED AS PER ENGINEER'S DETAIL

CUPOLEX CONCRETE FORMS USED AS A BASE BELOW THE BASEMENT CONCRETE SLAB. REFER TO ENGINEER'S DETAIL ACTIVE SUB SLAB DEPRESSURIZATION SYSTEM FOR RADON GAS EXTRACTION

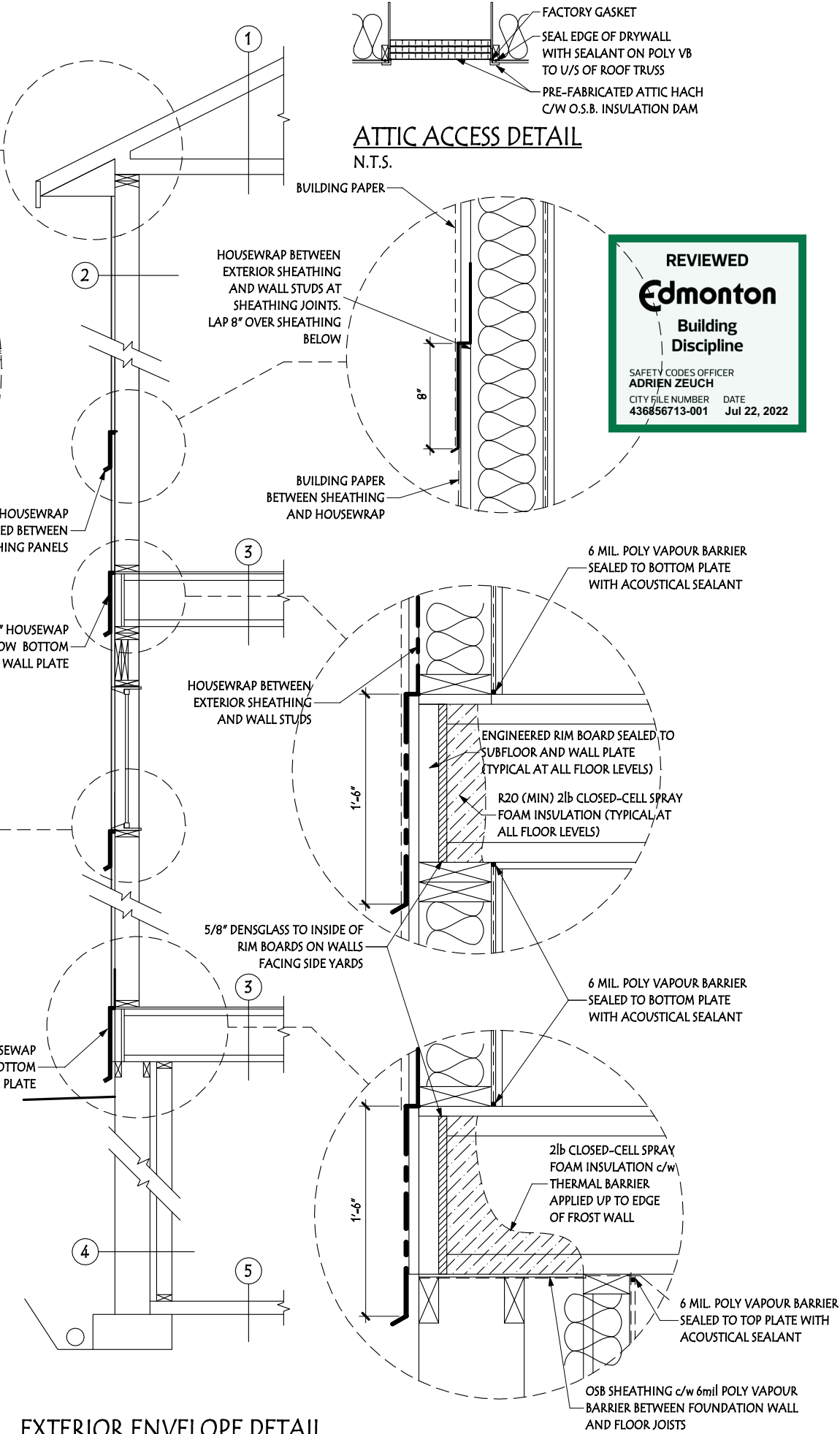
3" CONCRETE SLAB - ALL SEAMS & PENETRATIONS TO BE SEALED WITH FLEXIBLE SEALANT AS PER NBC - 2019 ALBERTA EDITION - 9.25.3.3.(5)

² RSI VALUE EXCLUDES INTERIOR FINISHED MATERIAL

** ALL WINDOWS TO BE AS PER U-VALUES BELOW OR LESS **			
TYPE / OPERATION	GLAZING*	SERIES	U-VALUE (W/m²K)
PICTURE	HS2 / HS5 W/ ARGON	6500	1.14
SLIDER	HS2 / HS5 W/ ARGON	6500	1.31
SINGLE HUNG	HS2 / HS5 W/ ARGON	6500	1.31
CASEMENT	HS2 / HS5 W/ ARGON	9100	1.19
AWNING	HS2 / HS5 W/ ARGON	9100	1.19
BASEMENT SLIDER	HS2 W/ ARGON	5600	1.31
EXTERIOR DOOR w/ GLAZING	HS1 W/ ARGON	---	1.36
EXTERIOR PATIO/GARDEN DOOR	HS1 W/ ARGON	---	1.48
EXTERIOR DOOR w/o GLAZING	---	---	0.85
**HS1 GLAZING=DUAL PANE (CLEAR / LOW-E)		HS2 GLAZING=TRIPLE PANE (CLEAR/CLEAR/LOW-E) HS3 GLAZING=TRIPLE PANE (CLEAR/CLEAR/SUNSTOP)	



INTERIOR WALL INTERSECTION DETAIL
N.T.S.



EXTERIOR ENVELOPE DETAIL
N.T.S.

Customer: SPEC HOME

Address: 15633 18 AVENUE SW, EDMONTON, AB
11 / 27 / 212-2958

Drawn By:	N. HUNT-LEE	Model:	BROOKLYN (FH-GR)
-----------	-------------	--------	------------------

Drawn By: N. HUNT-LEE

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Construction Square footage is based on floor area
Marketing Square footage includes stairwells

JOB #: 30790

Const. Market.

Main Fl.	742 SF	801 SF
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Upper Fl.	787 SF	847 SF
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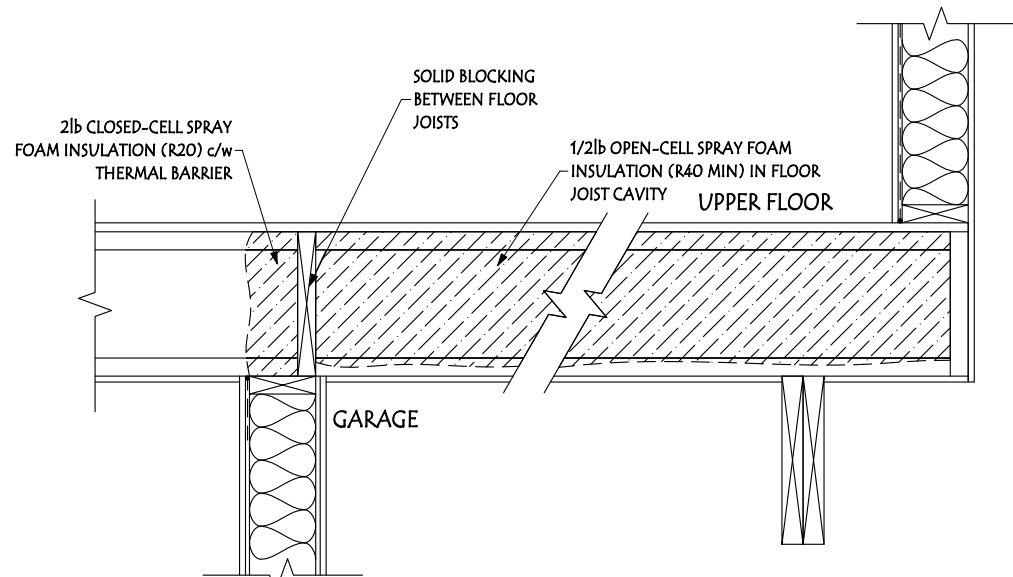
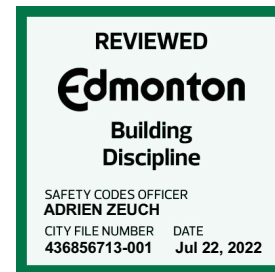
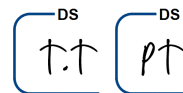
Page:

13
14
Pacesetter
HOMES

The diagram illustrates a cross-section of a floor system separating a 'ROOM ABOVE GARAGE' from a 'GARAGE'. The system consists of several layers and components:

- Room Above Garage:** The upper space, containing 12" floor joists (max duct size: 5") and 14" floor joists (max duct size: 6").
- 1/2lb OPEN-CELL SPRAY FOAM INSULATION (R40 MIN) IN FLOOR JOIST CAVITY:** The primary insulation layer filling the space between the joists.
- 3/4" OSB SUBFLOOR:** A layer of oriented strand board applied over the insulation.
- ACROUSTIC SEALANT TO PROVIDE COMPLETE VAPOUR BARRIER:** Applied at the perimeter where the subfloor meets the walls.
- SUBFLOOR ADHESIVE:** Applied to the bottom of the joists to secure the subfloor.
- 1/2" GYPSUM BOARD c/w FIRE TAPED SEAMS (TYPICAL):** A layer of gypsum board applied over the subfloor.
- Return Duct:** Constructed of 1/2" drywall or metal, shown as a rectangular duct within the insulation.
- Supply Duct:** Shown as a circular duct with taped joints and an insulated sleeve.

SPRAY FOAM IN FLOOR SYSTEM
3/4"=1'-0"



2lb CLOSED-CELL SPRAY FOAM INSULATION (R20) c/w THERMAL BARRIER

SOLID BLOCKING BETWEEN FLOOR JOISTS

UPPER FLOOR

EXTERIOR

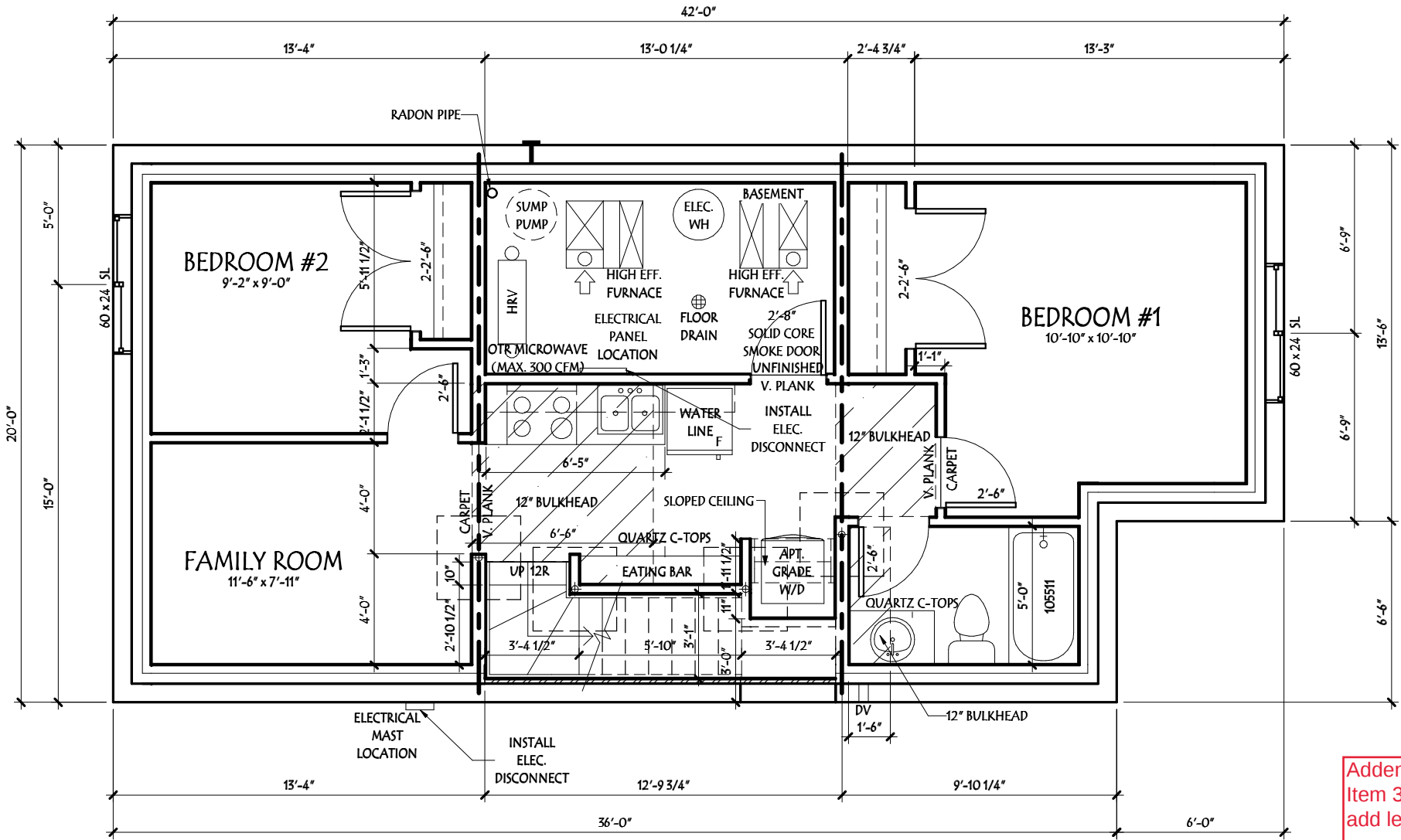
2lb CLOSED-CELL SPRAY FOAM INSULATION (R40 MIN)

This diagram illustrates a cross-section of a floor assembly. It shows the 'UPPER FLOOR' structure with 'SOLID BLOCKING BETWEEN FLOOR JOISTS'. The assembly is insulated with '2lb CLOSED-CELL SPRAY FOAM INSULATION (R20) c/w THERMAL BARRIER' on the interior side and '2lb CLOSED-CELL SPRAY FOAM INSULATION (R40 MIN)' on the exterior side. The 'EXTERIOR' is indicated on the left. The diagram uses hatching to represent different materials and cross-sections of the floor joists and blocking.

LARGE EXTERIOR OVERHANG DETAIL
3/4"=1'-0"

Address: 15633 18 AVENUE SW, EDMONTON, AB 11 / 27 / 242-2958		Customer: SPEC HOME		Page: 14	
Drawn By: N. HUNT-LEE		Model: BROOKLYN (FH-GR)		PACESETTER DESIGN SERIES	
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		Date: 6/13/2022 4:31:42 PM		14	
		Bsmnt. Devl:		14	
Construction Square footage is based on floor area Marketing Square footage includes stairwells		JOB #: 30790		Market:	
		Main Fl.		801 SF	
		Upper Fl.		847 SF	
		Total		1648 SF	

** BULKHEAD LOCATIONS SUBJECT TO CHANGE BASED ON DUCT LAYOUT **



BASEMENT DEVELOPMENT PLAN - OPTION 2
AREA = 585 SQ.FT.

2

LEGAL SUITE

- ADDS LEGAL SUITE TO BASEMENT c/w SECOND FURNACE, KITCHEN AND STACKED LAUNDRY
- ADDS SECOND BEDROOM c/w CLOSET IN BASEMENT
- ADDS SOUND INSULATION AND RESILIENT CHANNELS AROUND STAIRWELL AND IN BASEMENT CEILING
- ADDS SOLID CORE SMOKE DOOR TO TOP OF STAIRWELL ON MAIN FLOOR c/w DOUBLE LOCK
- ADDS SOLID CORE SMOKE DOOR TO MECHANICAL ROOM

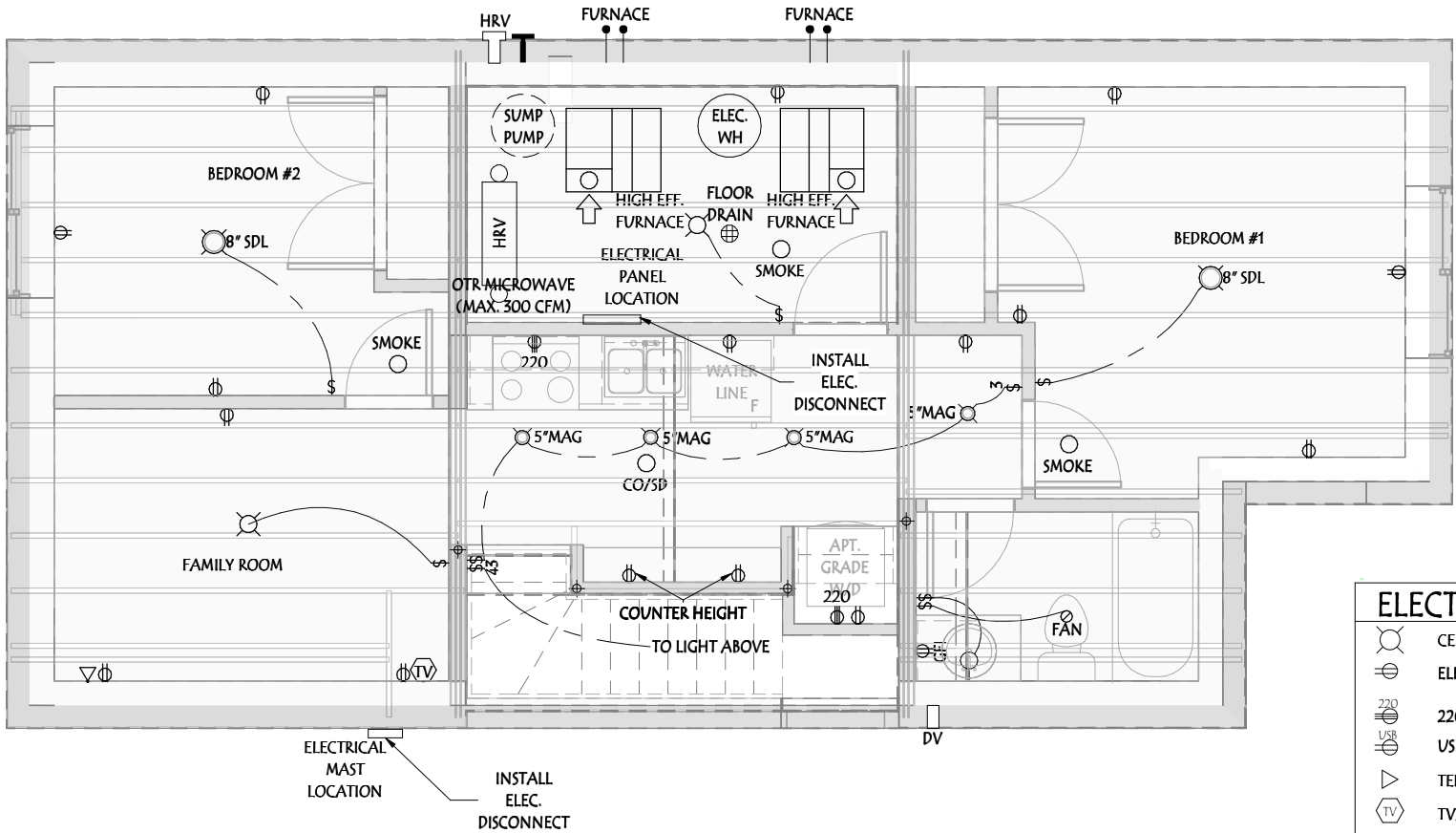
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Address:		MUNICIPAL ADDRESS, MUNICIPALITY, AB LOT / BLOCK / PLAN		Customer: CLIENT NAME		Page:	
Drawn By: DRAFTER		Model: BROOKLYN		JOB #:		BROOKLYN	
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		Date: 8/16/2022 11:53:31 AM					
Construction Square footage is based on floor area Marketing Square footage includes stairwells						3	

2

LEGAL SUITE

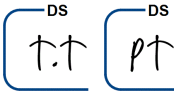
- ADDS LEGAL SUITE TO BASEMENT c/w SECOND FURNACE, KITCHEN AND STACKED LAUNDRY
- ADDS SECOND BEDROOM c/w CLOSET IN BASEMENT
- ADDS SOUND INSULATION AND RESILIENT CHANNELS AROUND STAIRWELL AND IN BASEMENT CEILING
- ADDS SOLID CORE SMOKE DOOR TO TOP OF STAIRWELL ON MAIN FLOOR c/w DOUBLE LOCK
- ADDS SOLID CORE SMOKE DOOR TO MECHANICAL ROOM



ELECTRICAL LEGEND			
	CEILING LIGHT		WALL LIGHT
	ELEC. PLUG		FLUE
	220 PLUG		SMOKE DETECTOR
	USB PAIRED PLUG		SD/CO DETECTOR
	TELEPHONE		VAC. ROUGH IN
	TV/CAT5E		CHIME
	THERMOSTAT		SINGLE SWITCH
	3 WAY SWITCH		ELEC. WIRING
	WEEPING TILE TEE		SPEAKER
	GAS METER		OTTO SWITCH

ELECTRICAL LOCATIONS SUBJECT TO CHANGE AS REQUIRED BY CODE

BASEMENT DEVELOPMENT ELEC. LAYOUT - OPTION 2



Address:		MUNICIPAL ADDRESS, MUNICIPALITY, AB LOT / BLOCK / PLAN		Customer: CLIENT NAME		Page:	
Drawn By: DRAFTER		Model: BROOKLYN		JOB #:		BROOKLYN	
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		Date: 8/16/2022 11:53:32 AM					
Construction Square footage is based on floor area Marketing Square footage includes stairwells						3	
						Pacesetter HOMES A QUALICO® Company	