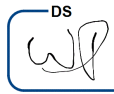


[illegible]



EXTERIOR VIEW

** COLOURS SHOWN ARE FOR ILLUSTRATIVE PURPOSES ONLY. REFER TO MANUFACTURER’S SAMPLES FOR ACCURATE REPRESENTATION **

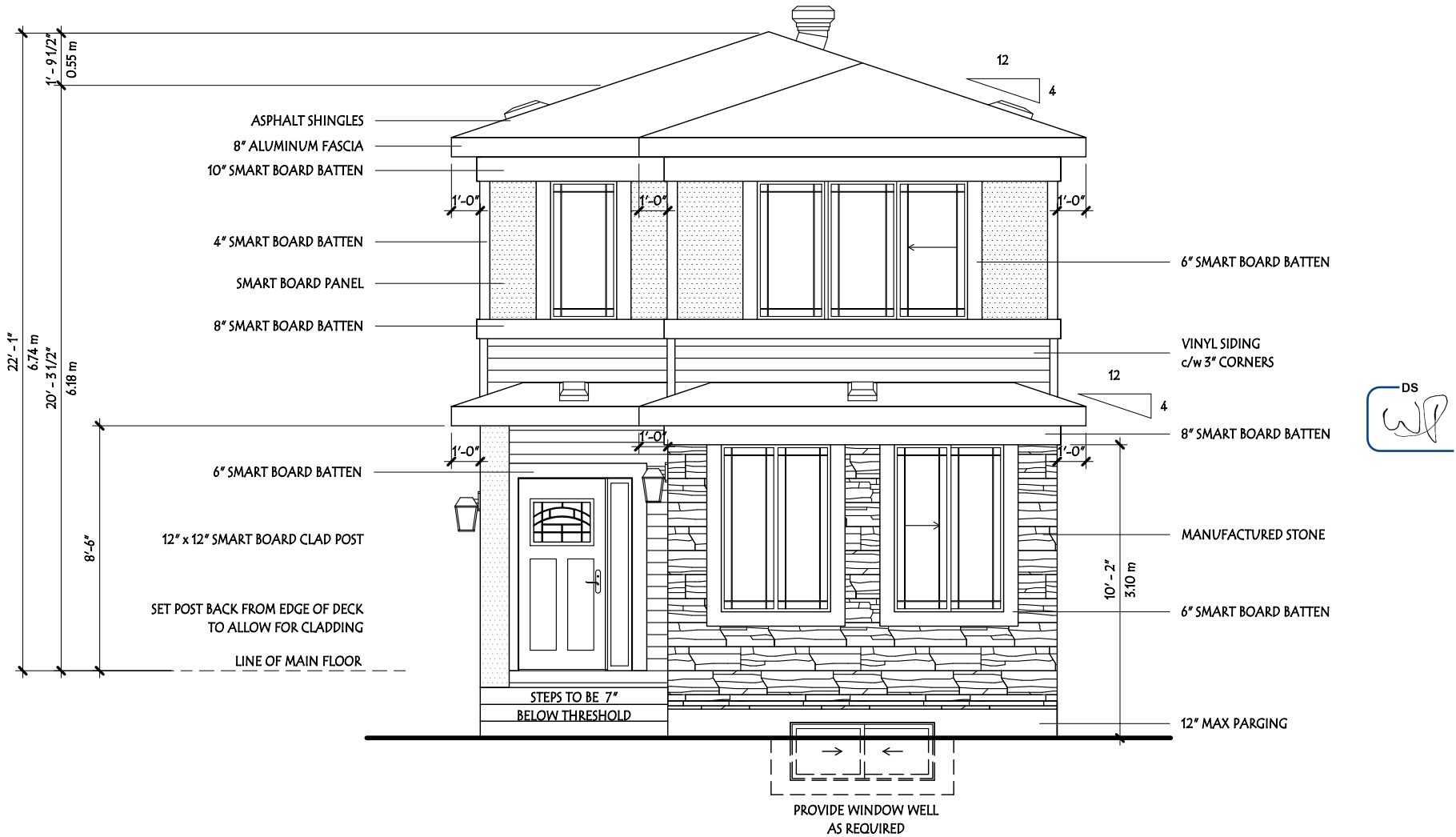
Address:		15629 18 AVENUE SW, EDMONTON, AB 9 / 27 / 212-2958		Customer: SPEC HOME		Page:	
Drawn By: N. HUNT-LEE		Model: BROOKLYN (P-GR)		JOB #: 30788		PACESSETTER DESIGN SERIES	
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		Date: 6/13/2022 8:23:03 AM		Main Fl.		801 SF	
		Bsmnt. Devl: 0 SF		Upper Fl.		847 SF	
				Total		1529 SF	
						1	
							
						A QUALICO Company	
						14	

NOTE!

1. FLASHING IS TO BE INSTALLED AT ALL APPROPRIATE LOCATIONS ON ROOF AND ELEVATIONS.
-SEE BUILDERS SPECS

2. WINDOW WELLS MAY BE REQUIRED DEPENDING ON FINAL GRADE

3. ALL STAIRS TO HAVE A MINIMUM 10" RUN + 1" NOSING



FRONT ELEVATION

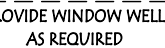
****ALL WINDOWS TO BE LOW E****

****TRI-PANE WINDOWS****

THROUGHOUT

(UNLESS NOTED OTHERWISE)

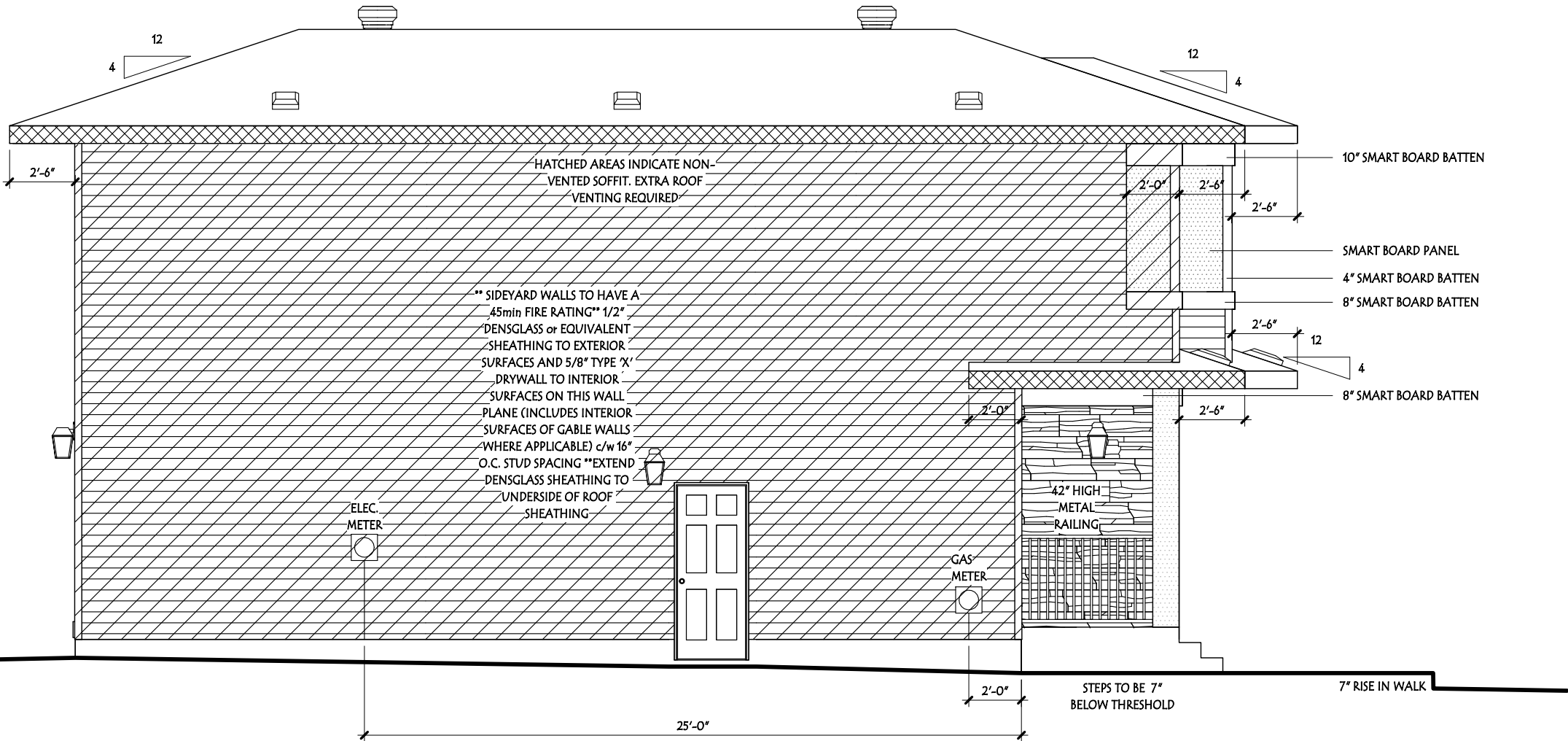
Address:		15629 18 AVENUE SW, EDMONTON, AB 9 / 27 / 212-2958		Customer: SPEC HOME		Page:	
Drawn By:		N. HUNT-LEE		JOB #:		30788	
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		Scale:		3/16" = 1'-0"		Const.	
		Date:		6/13/2022 8:23:06 AM		Main Fl.	
						Upper Fl.	
		Bsmnt. Devl:		0 SF		Total	
						1648 SF	
						PACESSETTER DESIGN SERIES	
							
						A QUALICO Company	
						2	
						14	



(UNLESS NOTED OTHERWISE)

Address: 15629-18 AVENUE SW, EDMONTON, AB 9 / 27 / 212-2958		Customer: SPEC HOME		Page:	
Drawn By: N. HUNT-LEE		JOB #: 30788			
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		Scale: 3/16" = 1'-0"			Const. Market.
		Date: 6/13/2022 8:23:17 AM			
		Bsmnt. Devl: 0 SF			
		Main Fl.	742 SF		801 SF
		Upper Fl.	787 SF	847 SF	
		Total	1529 SF	1648 SF	

DS
WP

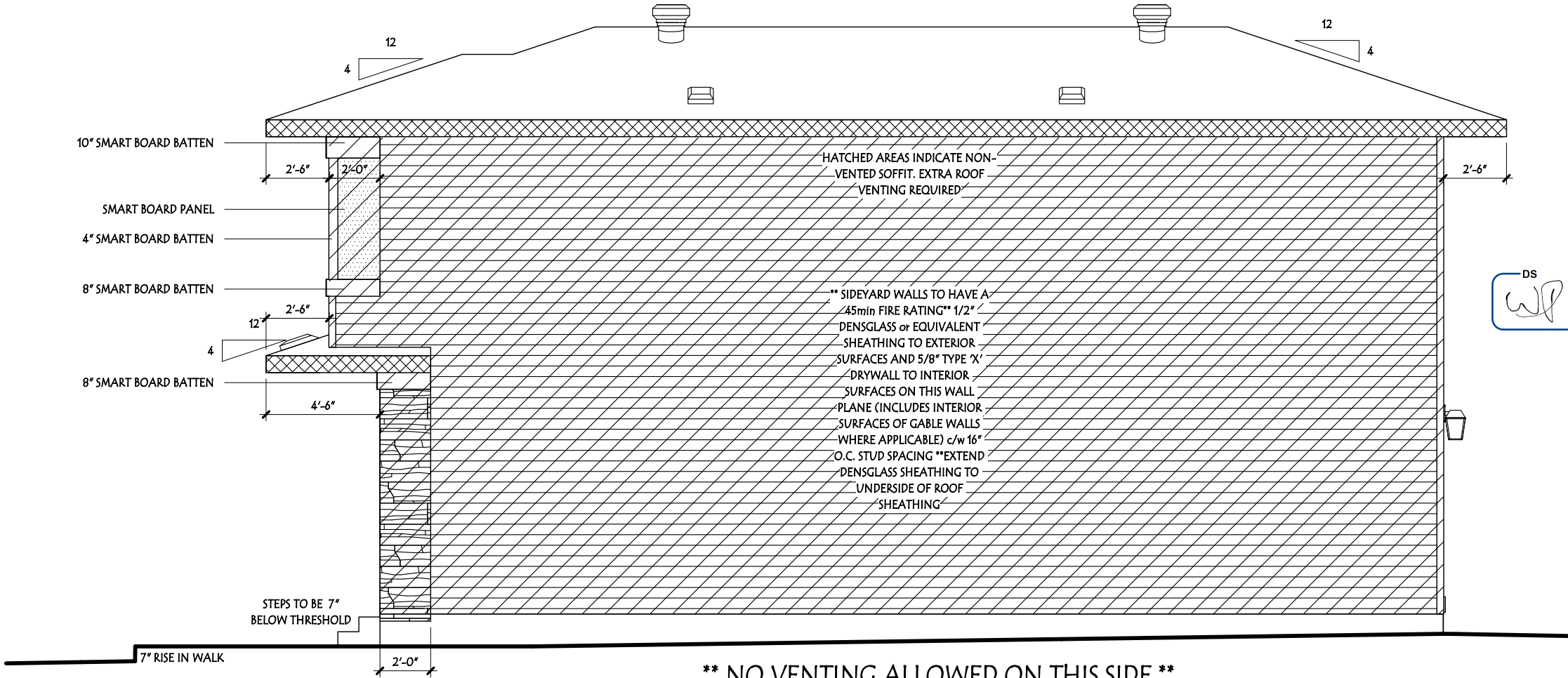


**** ALL WINDOWS TO BE LOW E ****
**** TRI-PANE WINDOWS ****
THROUGHOUT
(UNLESS NOTED OTHERWISE)

LEFT ELEVATION

Address:	15629 18 AVENUE SW, EDMONTON, AB 9 / 27 / 212-2958		Customer: SPEC HOME		Page:	
	Drawn By:	N. HUNT-LEE	Model:	BROOKLYN (P-GR)	JOB #:	30788
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		Date:		Main Fl.	801 SF	
				Upper Fl.	847 SF	
		Bsmnt. Devl:		Total	1529 SF	1648 SF
Construction Square footage is based on floor area Marketing Square footage includes stairwells		0 SF				
				PACESSETTER DESIGN SERIES		
				4		
				14		





** NO VENTING ALLOWED ON THIS SIDE **

RIGHT ELEVATION

** ALL WINDOWS TO BE LOW E **

** TRI-PANE WINDOWS **
THROUGHOUT

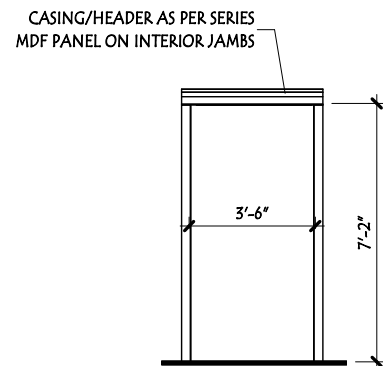
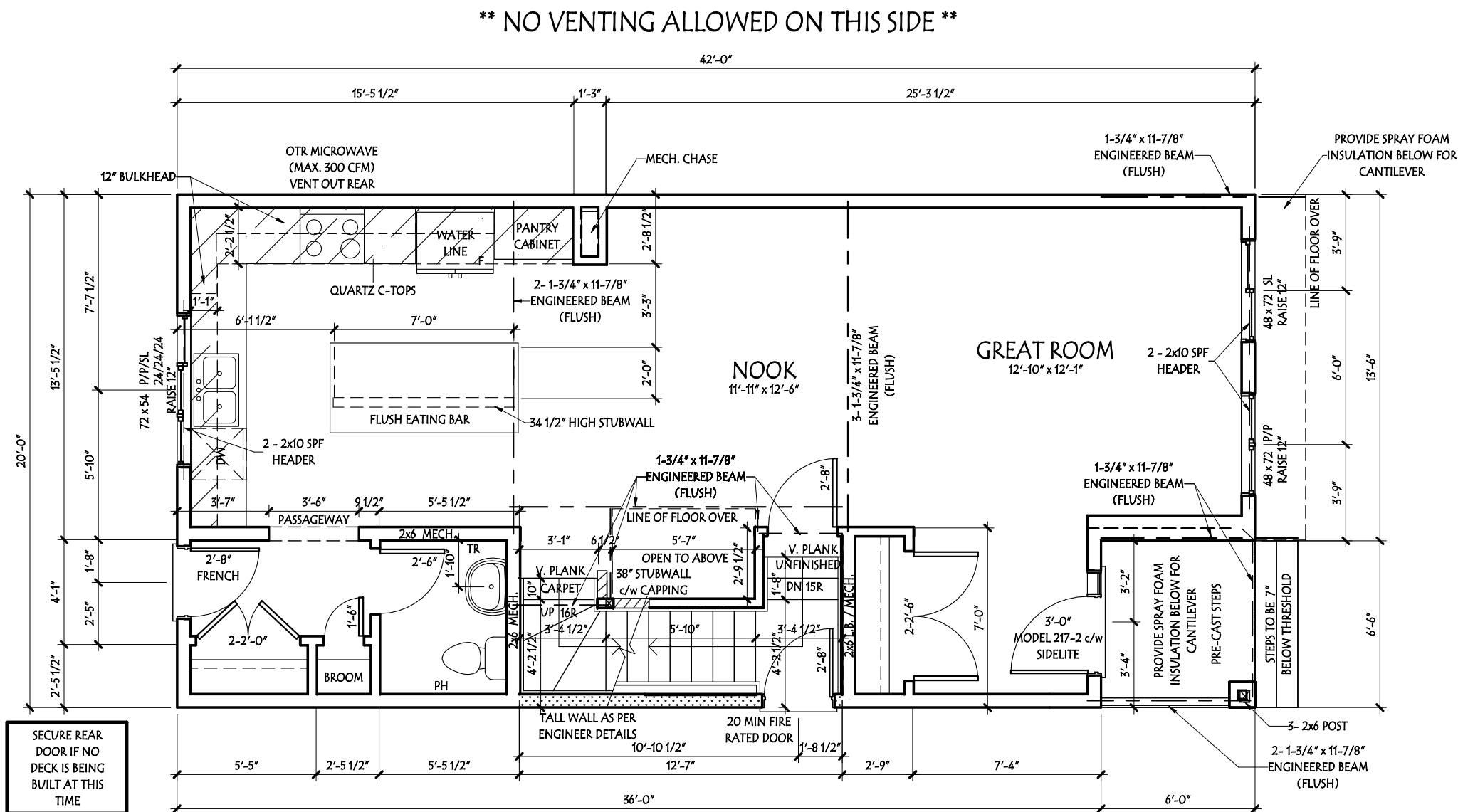
(UNLESS NOTED OTHERWISE)

Address: 15629 18 AVENUE SW, EDMONTON, AB 9 / 27 / 212-2958	Customer: SPEC HOME	Customer: SPEC HOME		Page:						
		JOB #:	30788	PACESSETTER DESIGN SERIES						
						Const.	Market.			
								Main Fl.	742 SF	801 SF
									Upper Fl.	787 SF
Total		1529 SF	1648 SF							
Bsmnt. Devl:		0 SF		14						

Drawn By: N. HUNT-LEE	Model: BROOKLYN (P-GR)
Scale: 3/16" = 1'-0"	
Date: 6/13/2022 8:23:23 AM	
Bsmnt. Devl:	

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Construction Square footage is based on floor area
Marketing Square footage includes stairwells



PASSGEWAY DETAIL

3/16" = 1'-0" KITCHEN SIDE

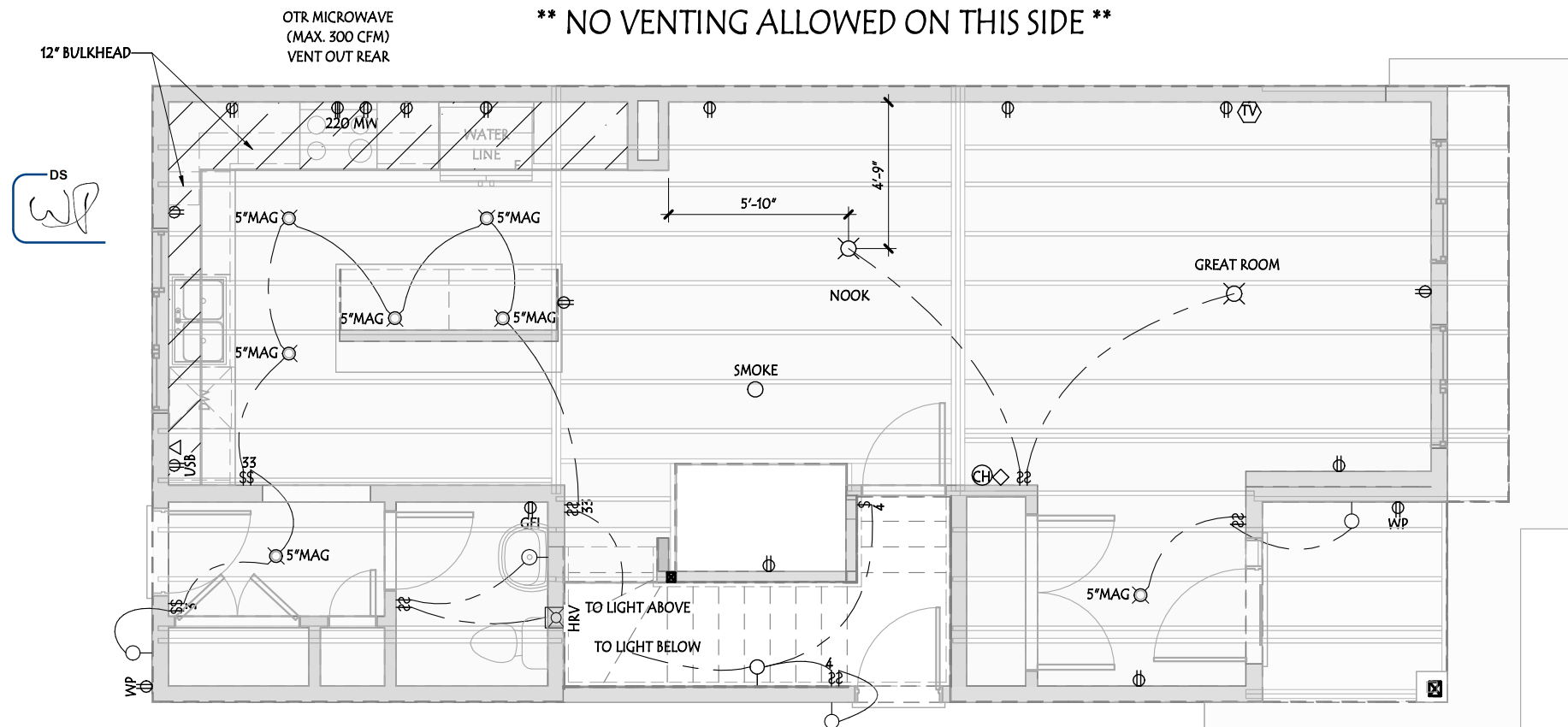
MAIN FLOOR PLAN

NOTE!

1. DIMENSIONS SHOWN ARE TO FACE OF MEMBER OR EXTERIOR WALL FACE UNLESS SHOWN OTHERWISE
2. ALL BEAMS AND LINTELS ARE TO BE 2-2X10 SPRUCE UNLESS NOTED OTHERWISE.

Address:		15629 18 AVENUE SW, EDMONTON, AB 9 / 27 / 212-2958		Customer: SPEC HOME		Page:			
Drawn By: N. HUNT-LEE		Model: BROOKLYN (P-GR)		JOB #:		PACESSETTER DESIGN SERIES			
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		Date:		6/13/2022 8:23:27 AM					
		Bsmnt. Devl:		O SF		Main Fl.		Const.	Market.
						Upper Fl.		742 SF	801 SF
Construction Square footage is based on floor area Marketing Square footage includes stairwells				Total		787 SF	847 SF		
						1529 SF	1648 SF		
						6			
						14			
						A QUALICO Company			

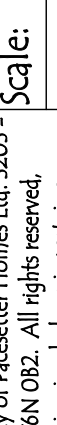
MAIN FLOOR ELEC. LAYOUT

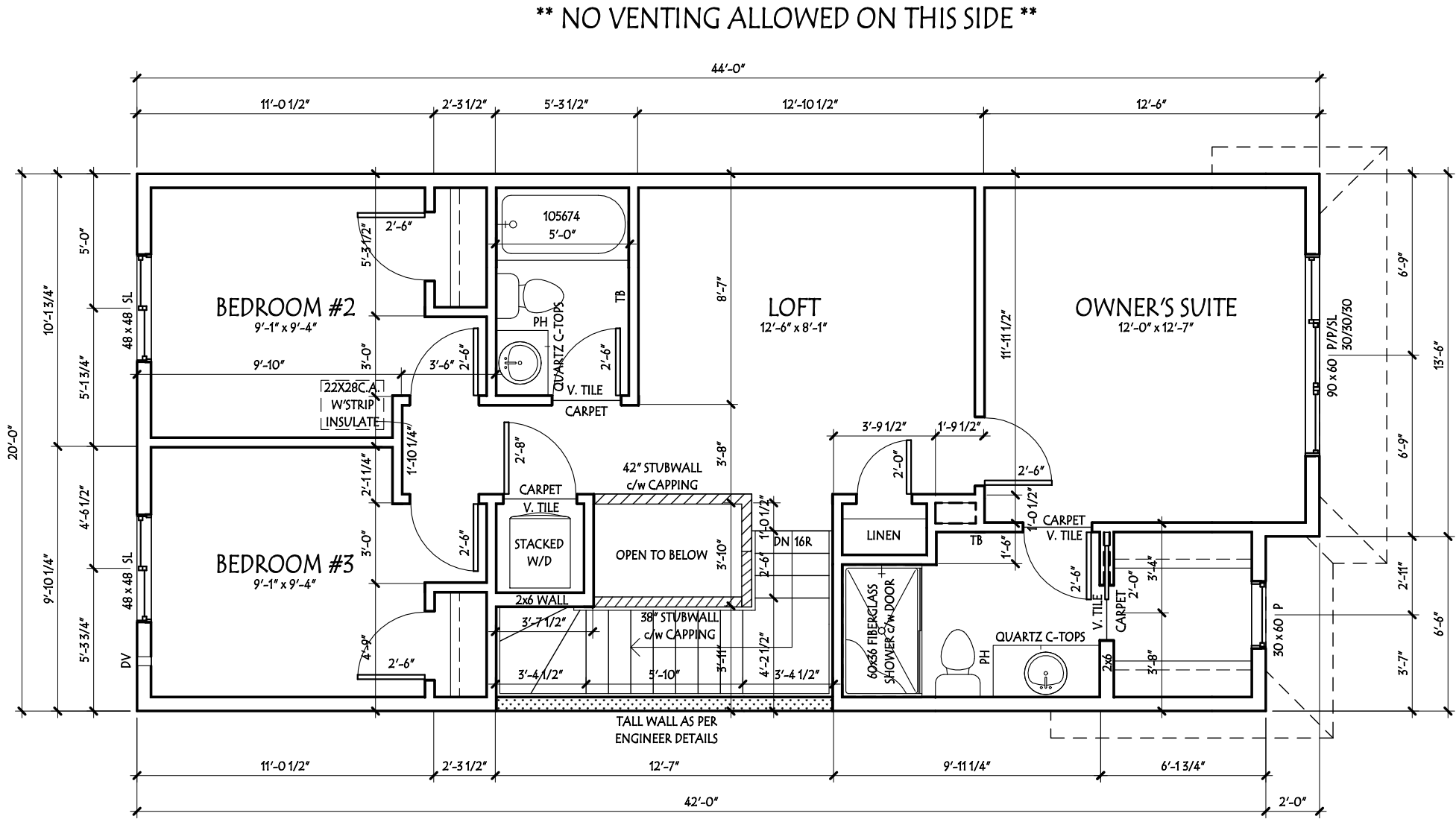
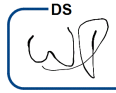


ELECTRICAL LEGEND

	CEILING LIGHT		WALL LIGHT
	ELEC. PLUG		FLUE
	220 PLUG		SMOKE DETECTOR
	USB PAIRED PLUG		SD/CO DETECTOR
	TELEPHONE		VAC. ROUGH IN
	TV/CAT5E		CHIME
	THERMOSTAT		SINGLE SWITCH
	3 WAY SWITCH		ELEC. WIRING
	WEEPING TILE TEE		SPEAKER
	GAS METER		OTTO SWITCH

ELECTRICAL LOCATIONS SUBJECT TO CHANGE AS REQUIRED BY CODE

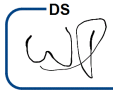
Address: 15629-18 AVENUE SW, EDMONTON, AB 9 / 27 / 212-2958		Customer: SPEC HOME		Page:	
Drawn By: N. HUNT-LEE		Model: BROOKLYN (P-GR)		JOB #: 30788	
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		Date: 6/13/2022 8:23:31 AM			
		Bsmnt. Devl: 0 SF		Main Fl. 742 SF	
				Upper Fl. 847 SF	
		Total 1529 SF		1648 SF	



UPPER FLOOR PLAN

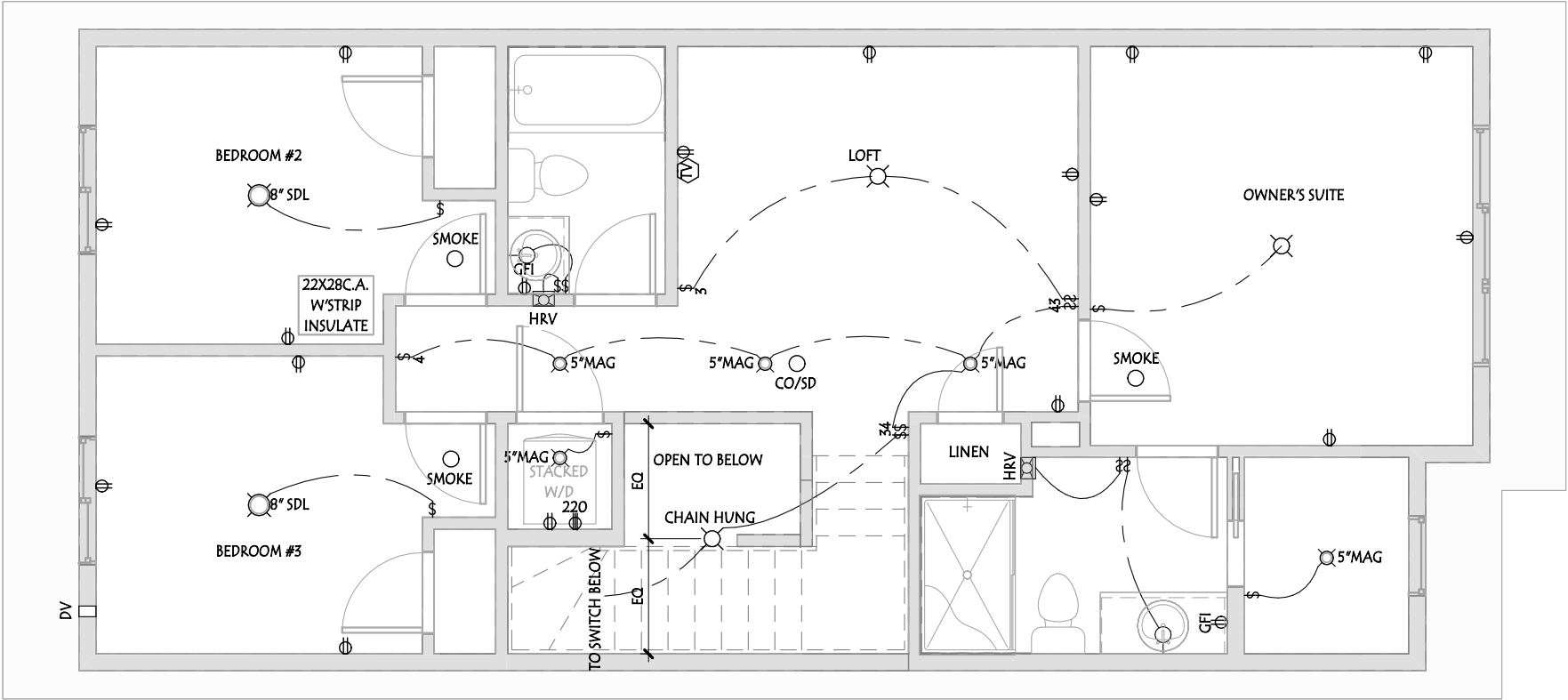
Address:		15629 18 AVENUE SW, EDMONTON, AB 9 / 27 / 212-2958		Customer: SPEC HOME		Page:	
Drawn By:		N. HUNT-LEE		JOB #:		30788	
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UPPER FLOOR ELEC. LAYOUT

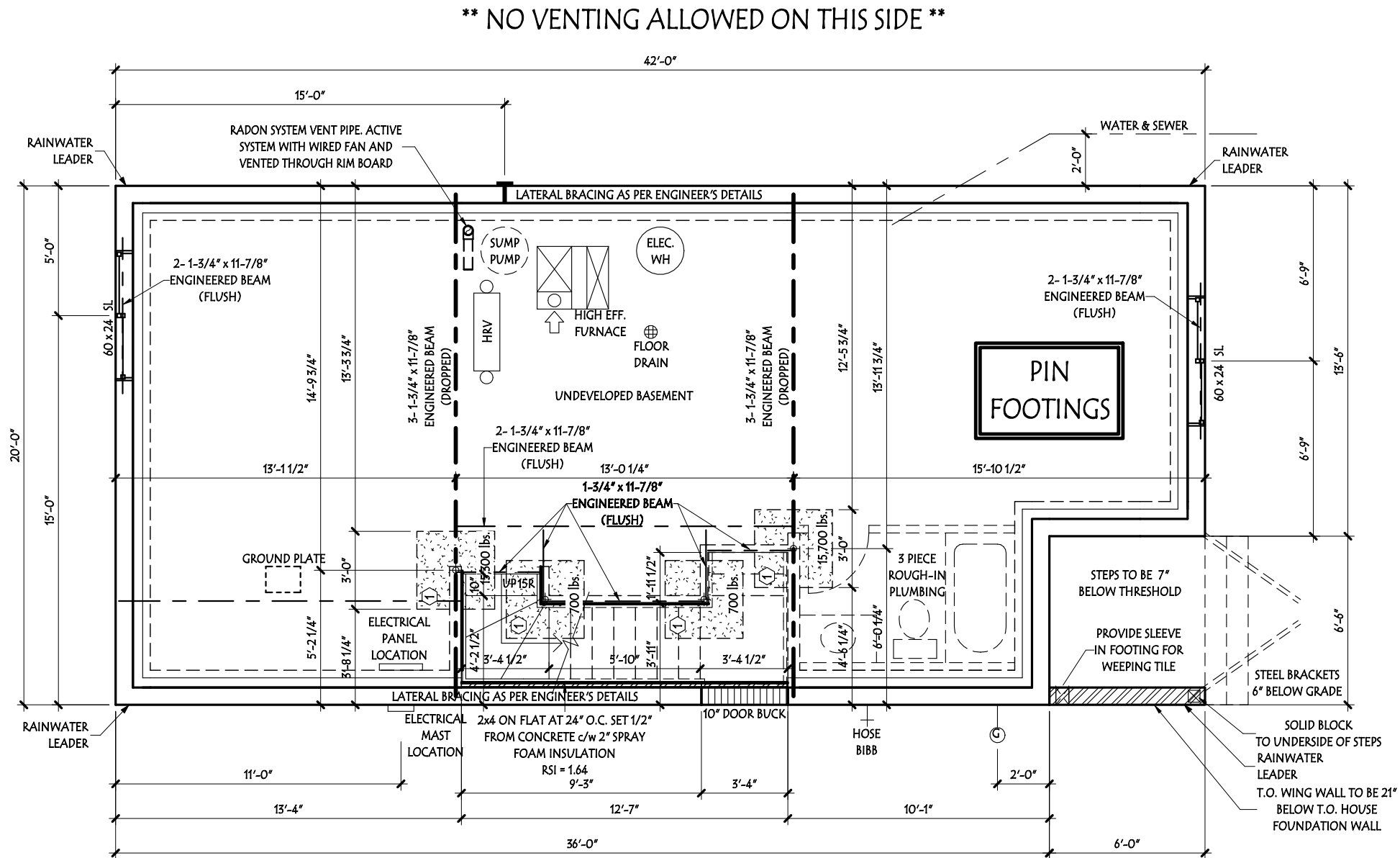
** NO VENTING ALLOWED ON THIS SIDE **



ELECTRICAL LEGEND			
	CEILING LIGHT		WALL LIGHT
	ELEC. PLUG		FLUE
	220 PLUG		SMOKE DETECTOR
	USB PAIRED PLUG		SD/CO DETECTOR
	TELEPHONE		VAC. ROUGH IN
	TV/CAT5E		CHIME
	THERMOSTAT		SINGLE SWITCH
	3 WAY SWITCH		ELEC. WIRING
	WEEPING TILE TEE		SPEAKER
	GAS METER		OTTO SWITCH

ELECTRICAL LOCATIONS SUBJECT TO CHANGE AS REQUIRED BY CODE

Address: 15629 18 AVENUE SW, EDMONTON, AB 9 / 27 / 212-2958		Customer: SPEC HOME		Page:			
Drawn By: N. HUNT-LEE These blueprints are the property of Pacesetter Homes Ltd. 3203 - 93 Street, Edmonton, Alberta T6N 0B2. All rights reserved, including the right of reproduction in whole or in part, in any form, without the written permission of Pacesetter Homes Ltd.	Model: BROOKLYN (P-GR)	JOB #:	30788	PACESSETTER DESIGN SERIES Pacesetter HOMES A QUALICO Company	9 14		
	Scale: 3/16" = 1'-0"		Const.			Market.	
	Date: 6/13/2022 8:23:37 AM		Main Fl.			742 SF	801 SF
	Bsmnt. Devl: 0 SF		Upper Fl.			787 SF	847 SF
			Total			1529 SF	1648 SF
Construction Square footage is based on floor area Marketing Square footage includes stairwells							



	MAXIMUM CAPACITY @ 8"5" EXT.	CONC. PAD DIMENSIONS (l x w x d)	AMOUNT & SIZE OF REBAR
1	16,875 LBS	36"x36"x10"	5-10 M
2	20,810 LBS	40"x40"x10"	6-10 M
3	28,160 LBS	46"x46"x10"	6-10 M
4	37,720 LBS	54"x54"x11"	8-10 M

PAD LEGEND
(BASED ON WESURE COLUMNS)

FOUNDATION PLAN

****ALL FROST WALLS TO BE****
8" THICK INCLUDING AIR GAP

(UNLESS NOTED OTHERWISE)

Customer:	SPEC HOME
-----------	-----------

Address: 15629 18 AVENUE SW, EDMONTON, AB
9 / 27 / 212-2958

Drawn By: N. HUNT-LEE

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Construction Square footage is based on floor area
Marketing Square footage includes stairwells

Model: BROOKLYN (P-GR)

Scale: $3/16" = 1'-0"$

Date: 6/13/2022 8:23:41 AM

Bsmnt. Devl:

JOB #: 30788

	Const.	Market.
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Main Fl.	742 SF	801 SF
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Upper Fl.	787 SF	847 SF
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Customer:	SPEC HOME
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PACESETTER DESIGN SERIES

	Const.	Market.
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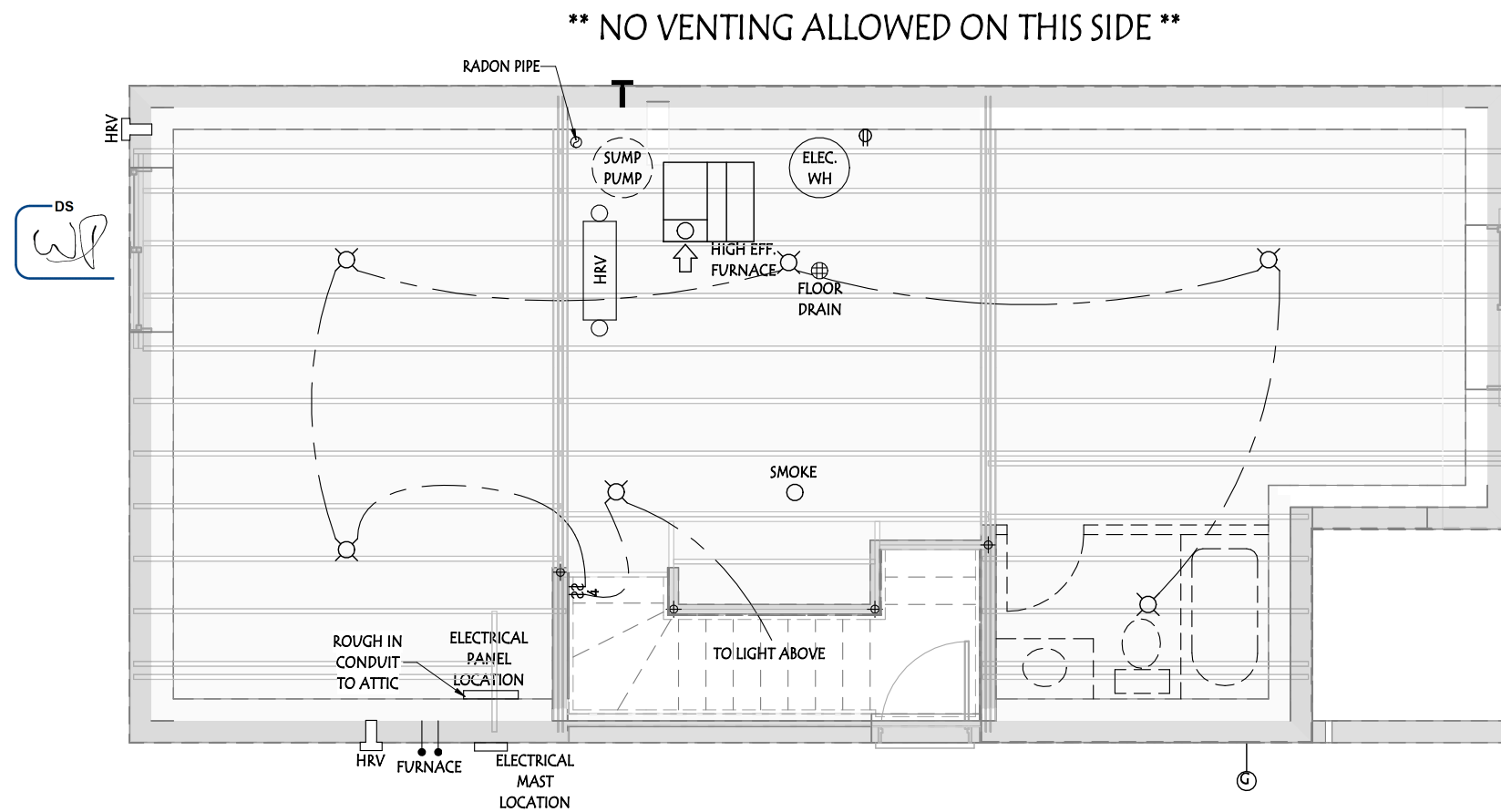
Main Fl.	742 SF	801 SF
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Upper Fl.	787 SF	847 SF
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10

14





FOUNDATION ELEC. LAYOUT

ELECTRICAL LEGEND

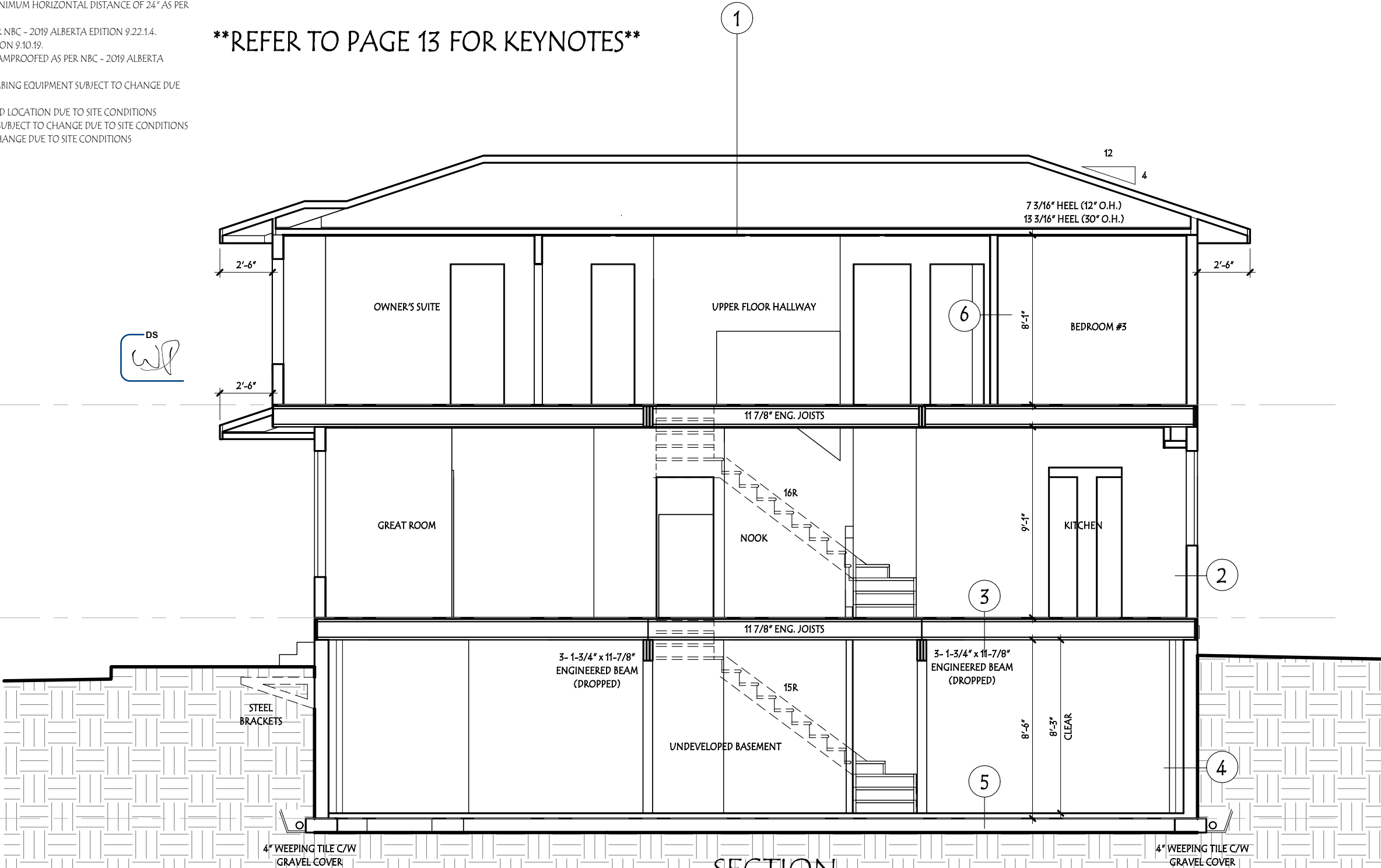
	CEILING LIGHT		WALL LIGHT
	ELEC. PLUG		FLUE
	220 PLUG		SMOKE DETECTOR
	USB PAIRED PLUG		SD/CO DETECTOR
	TELEPHONE		VAC. ROUGH IN
	TV/CAT5E		CHIME
	THERMOSTAT		SINGLE SWITCH
	3 WAY SWITCH		ELEC. WIRING
	WEEPING TILE TEE		SPEAKER
	GAS METER		OTTO SWITCH

ELECTRICAL LOCATIONS SUBJECT TO CHANGE AS REQUIRED BY CODE

Address: 15629-18 AVENUE SW, EDMONTON, AB 9 / 27 / 212-2958		Customer: SPEC HOME		Page:
Drawn By: N. HUNT-LEE		JOB #: 30788		
Model: BROOKLYN (P-GR)		PACESETTER DESIGN SERIES		 Pacesetter HOMES A QUALICO Company
Scale: 3/16" = 1'-0"		Const.		
Date: 6/13/2022 8:23:44 AM		Market.		
		Main Fl. 801 SF		
		Upper Fl. 847 SF		
Bsmnt. Devl: 0 SF		Total 1648 SF		14

- NOTES
- TRADES ARE RESPONSIBLE FOR CHECKING ALL DIMENSIONS & NOTES AND REPORTING ANY DISCREPANCIES TO THE DESIGNER PRIOR TO CONSTRUCTION.
 - ALL LOAD BEARING LINTELS TO BE 2-2x10 #2 SPRUCE UNLESS NOTED OTHERWISE
 - FINAL EXTERIOR GRADES MAY VARY
 - WINDOW AND DOOR SIZES SHOWN ARE APPROXIMATE ONLY. EXACT ROUGH OPENINGS TO BE SUPPLIED BY MANUFACTURER PRIOR TO CONSTRUCTION.
 - MECHANICAL LAYOUT AND SPECS. SUPPLIED BY OTHERS.
 - ROOF SHALL BE VENTED WITH AN UNOBSTRUCTED VENT AREA OF NOT LESS THAN 1/300 OF THE CEILING AREA.
 - ALL EXTERIOR WALLS WHERE MONO TRUSSES ARE ATTACHED SHALL BE SEALED & PAPERED BEFORE INSTALLING TRUSSES
 - THE AREAS REQUIRING VENTILATION WITHIN THE ROOF SPACE OR ATTIC SHALL CONFORM TO NBC - 2019 ALBERTA EDITION 9.19.1.
 - ATTIC ACCESS TO BE WEATHERSTRIPPED & INSULATED AS PER NBC - 2019 ALBERTA EDITION 9.19.2.1.
 - STEP FOOTING FOR WALKOUTS SHALL BE MAX. RISE 24" & MINIMUM HORIZONTAL DISTANCE OF 24" AS PER NBC - 2019 ALBERTA EDITION 9.15.8.9.
 - COMBUSTION AIR SHALL BE PROVIDED FOR FIREPLACE AS PER NBC - 2019 ALBERTA EDITION 9.22.1.4.
 - SMOKE ALARMS TO CONFORM TO NBC - 2019 ALBERTA EDITION 9.10.19.
 - IF WEEPING TILE IS REQUIRED SLAB ON GROUND SHALL BE DAMPROOFED AS PER NBC - 2019 ALBERTA EDITION 9.13.4.
 - EXACT LOCATION OF MECHANICAL, ELECTRICAL, AND PLUMBING EQUIPMENT SUBJECT TO CHANGE DUE TO SITE CONDITIONS.
 - GARAGE ENTRY STAIRS MAY VARY IN NUMBER OF RISERS AND LOCATION DUE TO SITE CONDITIONS
 - ELEVATIONS, FLOOR LAYOUT AND ROOM DIMENSIONS ARE SUBJECT TO CHANGE DUE TO SITE CONDITIONS
 - DRIVEWAYS, SIDEWALKS, AND PARKING PADS SUBJECT TO CHANGE DUE TO SITE CONDITIONS

REFER TO PAGE 13 FOR KEYNOTES



Address:		15629 18 AVENUE SW, EDMONTON, AB 9 / 27 / 212-2958		Customer: SPEC HOME		Page:		
Drawn By: N. HUNT-LEE		Model: BROOKLYN (P-GR)		JOB #: 30788		PACESETTER DESIGN SERIES Pacesetter HOMES A QUALICO Company		
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		Date: 6/13/2022 8:23:47 AM			Main Fl.		742 SF	801 SF
		Bsmnt. Devl: 0 SF			Upper Fl.		787 SF	847 SF
					Total		1529 SF	1648 SF
12 14								

1 ROOF ASSEMBLIES

UPPER FLOOR ROOF (6.90 RSI)
ASPHALT SHINGLES
3/8" O.S.B. SHEATHING c/w 'H'CLIPS
ENGINEERED WOOD TRUSSES @24" o/c
R-40 LOOSE FILL INSULATION
6 mil CGSB POLY VAPOR BARRIER
1/2" C.D. DRYWALL

UPPER FLOOR VAULTED CEILING (4.06 RSJ)
 IF REQUIRED AS PER PLANS
 ASPHALT SHINGLES
 3/8" O.S.B. SHEATHING c/w 'H'CLIPS
 ENGINEERED WOOD TRUSSES @24" o/c
 R-40 BATT INSULATION
 6 mil CGSB POLY VAPOR BARRIER
 1/2" C.D. DRYWALL

2 EXTERIOR WALL ASSEMBLIES

STANDARD EXTERIOR WALL (2.77 RS)
 INCLUDES EXTERIOR WALLS OF ATTACHED GARAGE, IF APPLICABLE
 EXTERIOR CLADDING AS PER PLAN
 BUILDING PAPER (AS REQ'D)
 3/8" O.S.B. SHEATHING
 2X6 STUDS @ 24" o/c (2X6 STUDS @ 16" o/c ON AREAS WITH MANUFACTURED STONE OR BRICK IS APPLIED)
 R-20 BATT INSULATION
 6 mil. CGSB POLY VAPOR BARRIER
 1/2" DRYWALL

EXTERIOR TALL WALL (2.65 RSJ)
 "IF REQUIRED AS PER PLANS"
 EXTERIOR CLADDING AS PER PLAN
 BUILDING PAPER (AS REQ'D)
 3/8" O.S.B. SHEATHING (1/2" DENSGLASS OR
 EQUIVALENT FOR ZLL)
 2X6 STUDS AS PER ENGINEER'S DETAIL
 R-20 BATT INSULATION
 6 mil. CGSB POLY VAPOR BARRIER
 1/2" DRYWALL

ATTACHED GARAGE/HOUSE WALL (2.85 RS)
 IF REQUIRED AS PER PLANS
 1/2" DRYWALL (FIRE TAPED)
 3/8" O.S.B. SHEATHING
 2X6 STUDS @ 24" o/c
 R-20 BATT INSULATION
 6 mil. CGSB POLY VAPOR BARRIER
 1/2" DRYWALL

**EXTERIOR CANTILEVERED WALL (2.78 RSJ)
 WITHIN 1.2m SIDE YARD SETBACK
 IF REQUIRED AS PER PLANS
 EXTERIOR CLADDING AS PER PLAN
 BUILDING PAPER (AS REQ'D)
 5/8" DENSGLASS OR EQUIVALENT
 2X6 STUDS @ 24" o/c
 R-20 BATT INSULATION
 6 mil. CGSB POLY VAPOR BARRIER
 1/2" DRYWALL**

**EXTERIOR ZERO LOT LINE WALL (2.69 RS1)
WITHIN 1.2m SIDE YARD SETBACK
IF REQUIRED AS PER PLAN
EXTERIOR CLADDING AS PER PLAN
BUILDING PAPER (AS REQ'D)
1/2" DENSGLASS OR EQUIVALENT
2X6 STUDS @ 16" o/c
R-20 BATT INSULATION
6 mil. CGSB POLY VAPOR BARRIER
5/8" TYPE 'X' DRYWALL**

EXTERIOR PARTY WALL JOGS (3.51 RS1)
 IF REQUIRED AS PER PLANS
 EXTERIOR CLADDING AS PER PLAN
 BUILDING PAPER (AS REQ'D)
 5/8" DENSGLASS OR EQUIVALENT
 2X4 STUDS @ 16" o/c
 R-12 BATT INSULATION
 1" AIR SPACE
 2X4 STUDS @ 16" o/c
 R-12 BATT INSULATION
 6 mil. CGSB POLY VAPOR BARRIER
 5/8" TYPE 'X' DRYWALL

3 FLOOR ASSEMBLIES

INTERIOR FLOOR (N/A RSI)
FLOOR FINISH AS SPECIFIED
3/8" V-LAY IN LINO AREAS
23/32" T&G OSB SUBFLOOR GLUED AND SCREWED
ENGINEERED WOOD JOISTS AS PER MANUFACTURER.

FLOOR OVER UNHEATED SPACE (6.67 RS1)
FLOOR FINISH AS SPECIFIED
3/8" U-LAY IN LINO AREAS
23/32" T&G OSB SUBFLOOR GLUED AND SCREWED
6 mil. CGSB POLY VAPOR BARRIER
ENGINEERED WOOD JOISTS AS PER MANUFACTURER
R-40 1/2 lb OPEN-CELL SPRAY FOAM INSULATION
1/2" DRYWALL

CANTILEVERED MAIN FLOOR (5.1B R512)
 IF REQUIRED AS PER PLANS
 FLOOR FINISH AS SPECIFIED
 3/8" U-LAY IN LINO AREAS
 23/32" T&G OSB SUBFLOOR GLUED AND SCREWED
 6 mil. CGSB POLY VAPOR BARRIER
 ENGINEERED WOOD JOISTS AS PER MANUFACTURER
 R-28 2lb CLOSED-CELL SPRAY FOAM INSULATION
 3/8" OSB SHEATHING
 NON-VENTED METAL SOFFIT

CANTILEVERED UPPER FLOOR (6.79 RSJ)
 IF REQUIRED AS PER PLANS
 FLOOR FINISH AS SPECIFIED
 3/8" U-LAY IN LINO AREAS
 23/32" T&G OSB SUBFLOOR GLUED AND SCREWED
 6 mil. CGSB POLY VAPOR BARRIER
 ENGINEERED WOOD JOISTS AS PER MANUFACTURER
 R-40 2lb CLOSED-CELL SPRAY FOAM INSULATION
 3/8" OSB SHEATHING
 NON-VENTED METAL SOFFIT

4 BASEMENT WALL ASSEMBLIES

FOUNDATION W/ FROST WALL (2.23 RS1)
 **UNLESS NOTED OTHERWISE ON PLANS
 PAVING ABOVE GRADE
 DAMPROOFING ON EXTERIOR OF FOUNDATION WALLS (TO COMPLY
 WITH NBC - 2019 ALBERTA EDITION 9.13.2.3.(2)(a)(iii))
 8" CONC FOUNDATION WALL C/W 2 ROWS OF 2-#10 BARS
 STUDS @24" o/c
 R-20 BATT INSULATION
 6 mil CSGB POLY VAPOR BARRIER
 1/2" DRYWALL (FINISHED AREAS)
 18"x 8" CONCRETE STRIP FOOTING OR AS REQUIRED BY ENGINEER'S REPORT
 TELEPOST PAD FOOTINGS AS PER PLAN
 WINDOWS OVER 48 INCHES IN LENGTH TO BE BRACED AS PER ENGINEER'S DETAIL
 OPEN TO BELOW AREA WALLS WILL BE REINFORCED AS PER ENGINEER'S DETAIL

5 BASEMENT FLOOR ASSEMBLY (0.19 RSI)

CUPOLUX CONCRETE FORMS USED AS A BASE BELOW THE BASEMENT CONCRETE SLAB. REFER TO ENGINEER'S DETAIL FOR ACTIVE SUB SLAB DEPRESSURIZATION SYSTEM FOR RADON GAS EXTRACTION

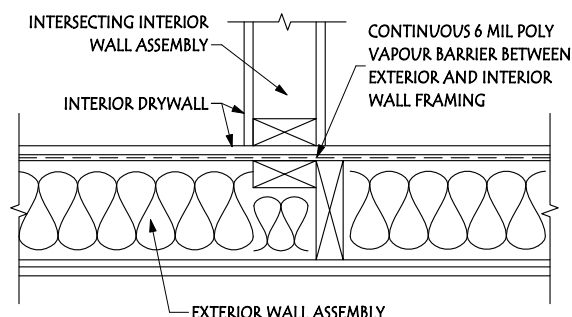
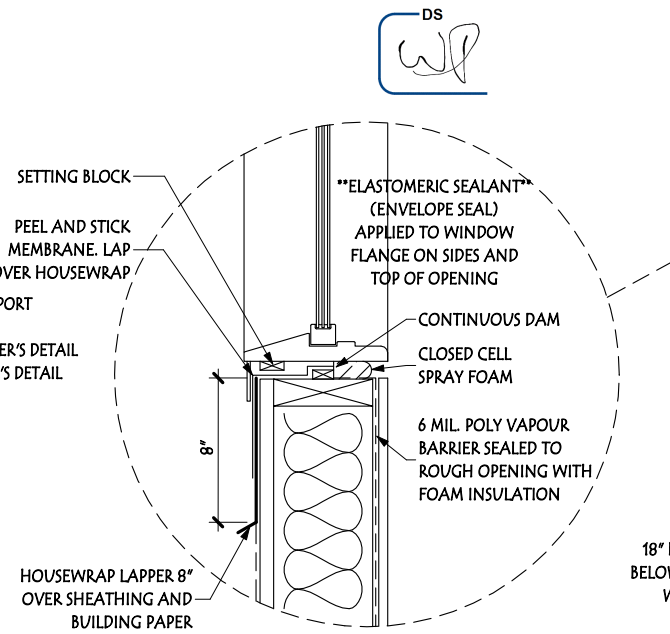
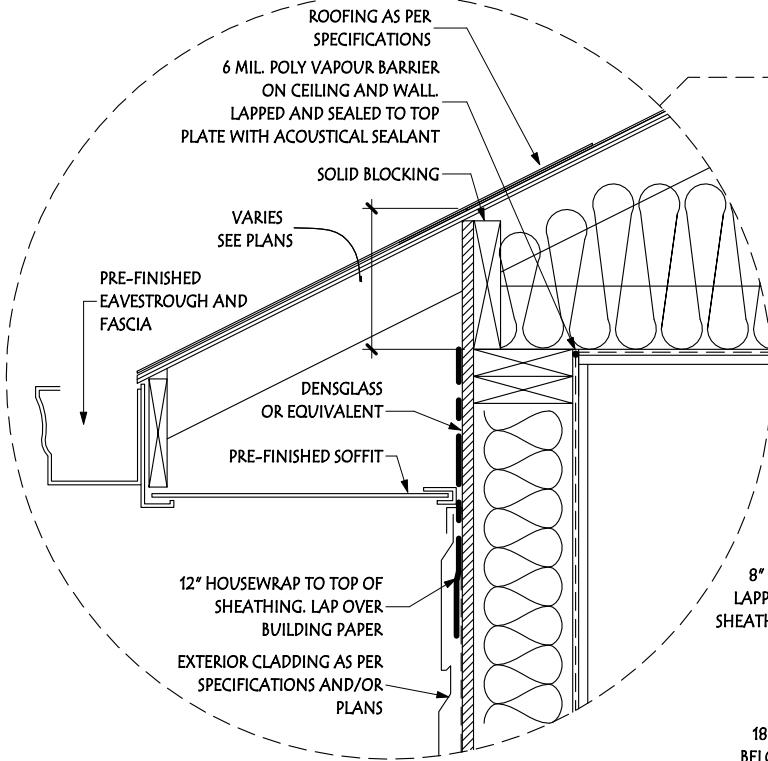
3" CONCRETE SLAB - ALL SEAMS & PENETRATIONS TO BE SEALED WITH FLEXIBLE SEALANT AS PER NBC - 2019 ALBERTA EDITION - 9.25.3.3.(5)

6 INTERIOR WALL ASSEMBLIES (N/A RSI)

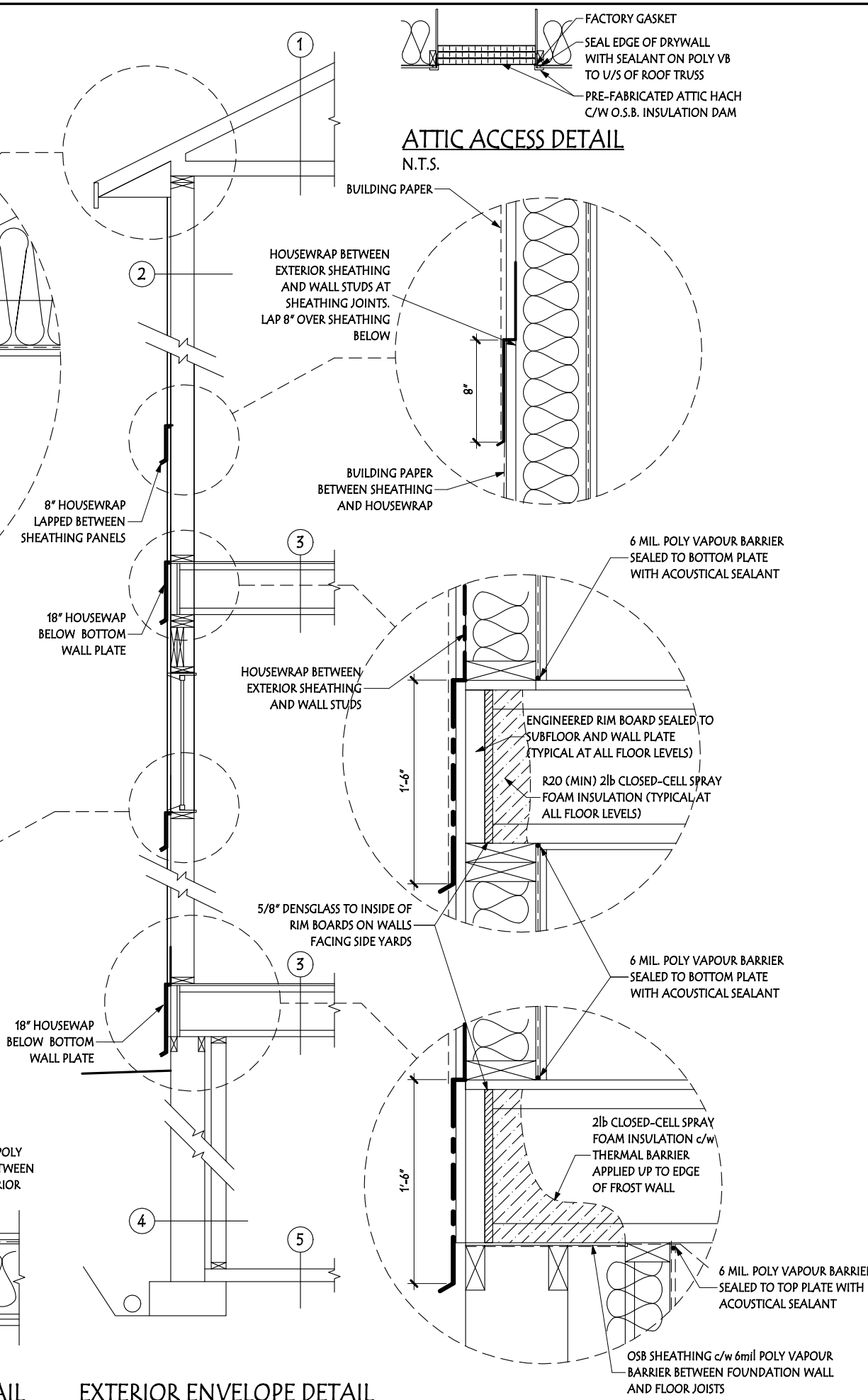
1/2" DRYWALL
2X4" STUDS @ 24" O.C. (OR DEEPER
STUD IF REQUIRED ON PLANS)
1/2" DRYWALL

² RSI VALUE EXCLUDES INTERIOR FINISHED MATERIAL

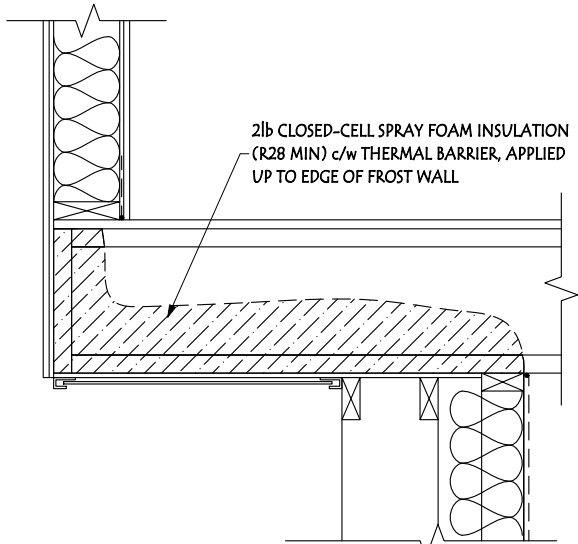
** ALL WINDOWS TO BE AS PER U-VALUES BELOW OR LESS **			
TYPE / OPERATION	GLAZING**	SERIES	U-VALUE (W/m ² K)
PICTURE	HS2 / HS5 W/ ARGON	6500	1.14
SLIDER	HS2 / HS5 W/ ARGON	6500	1.31
SINGLE HUNG	HS2 / HS5 W/ ARGON	6500	1.31
CASEMENT	HS2 / HS5 W/ ARGON	9100	1.19
AWNING	HS2 / HS5 W/ ARGON	9100	1.19
BASEMENT SLIDER	HS2 W/ ARGON	5600	1.31
EXTERIOR DOOR w/ GLAZING	HS1 W/ ARGON	---	1.36
EXTERIOR PATIO/GARDEN DOOR	HS1 W/ ARGON	---	1.48
EXTERIOR DOOR w/o GLAZING	---	---	0.85
**HS1 GLAZING=DUAL PANE (CLEAR / LOW-E)		HS2 GLAZING=TRIPLE PANE (CLEAR/CLEAR/LOW-E) HS5 GLAZING=TRIPLE PANE (CLEAR/CLEAR/SUNSTOP)	



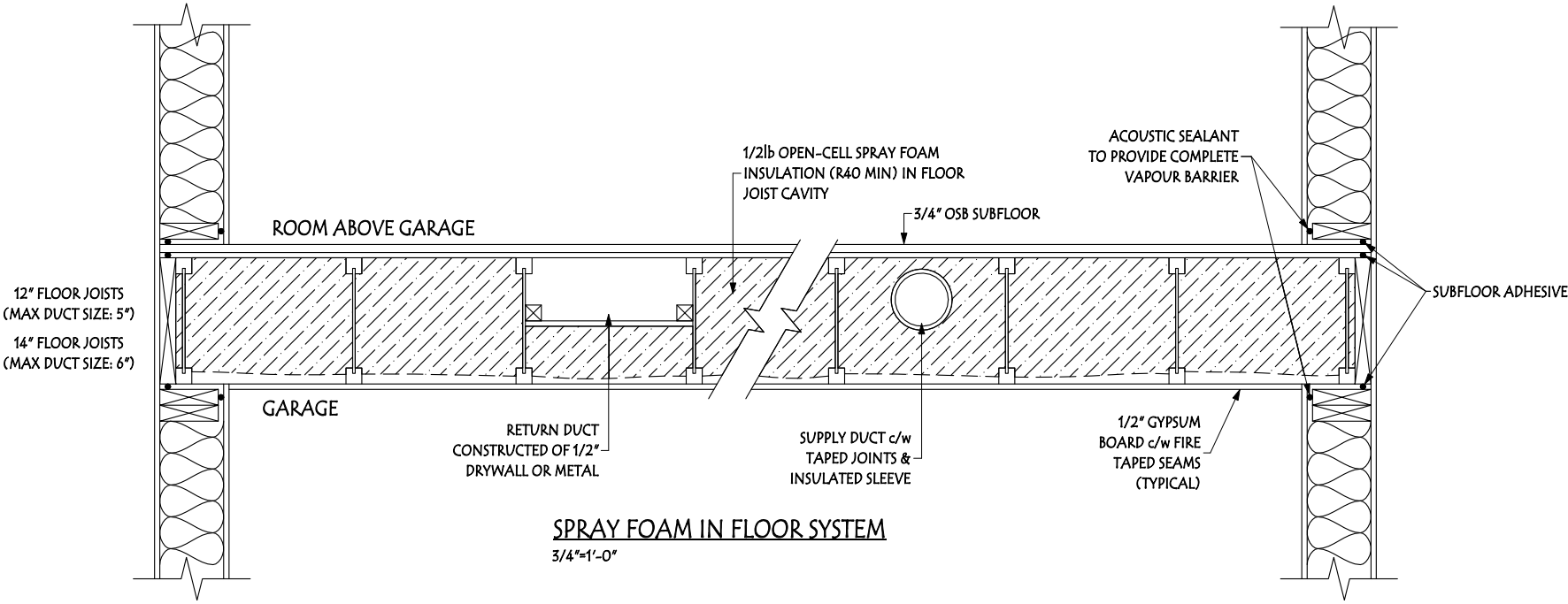
INTERIOR WALL INTERSECTION DETAIL
N.T.S.



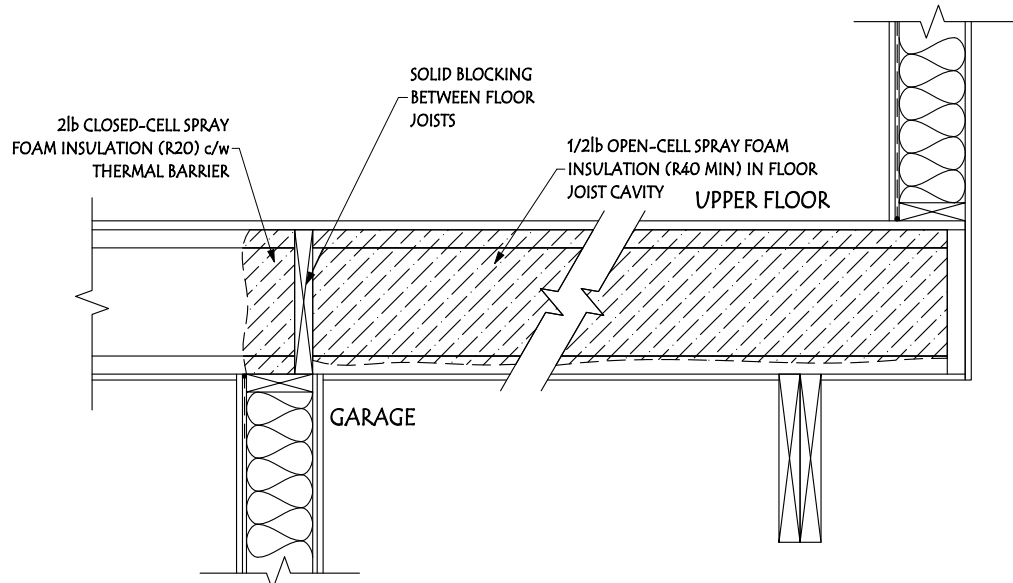
EXTERIOR ENVELOPE DETAIL
N.T.S.



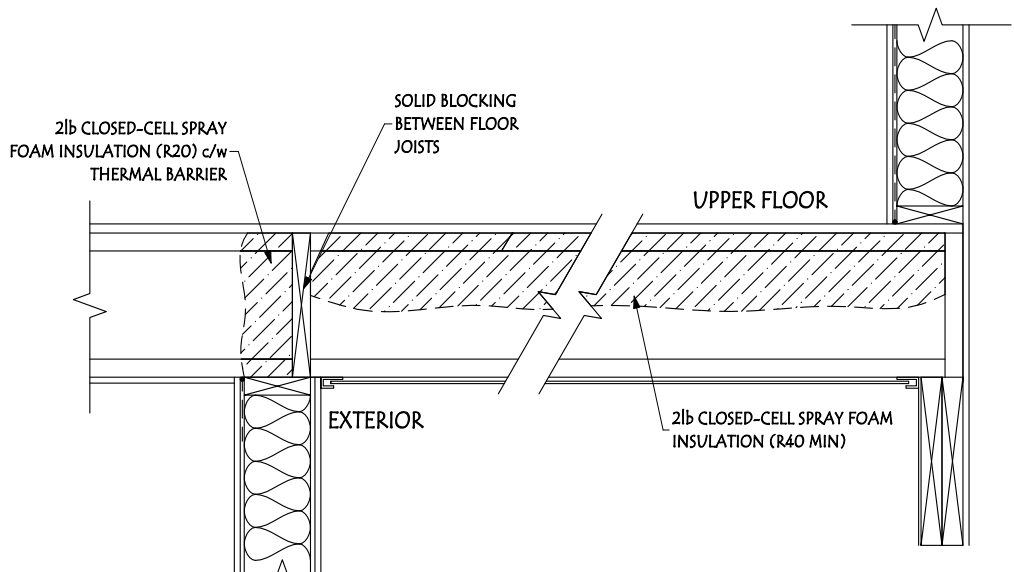
MAIN FLOOR CANTILEVER DETAIL - 3FT OR LESS
3/4"=1'-0"



SPRAY FOAM IN FLOOR SYSTEM
3/4"=1'-0"



FLOOR ABOVE UNHEATED SPACE DETAIL
3/4"=1'-0"



LARGE EXTERIOR OVERHANG DETAIL
3/4"=1'-0"

DS
WP

Address:	15629 18 AVENUE SW, EDMONTON, AB 9 / 27 / 212-2958		Customer:		SPEC HOME		Page:	
	Drawn By:	N. HUNT-LEE	Model:	BROOKLYN (P-GR)	JOB #:	30788		PACESSETTER DESIGN SERIES
These blueprints are the property of Pacemaker Homes Ltd. 3203 - 93 Street, Edmonton, Alberta T6N 0B2. All rights reserved, including the right of reproduction in whole or in part, in any form, without the written permission of Pacemaker Homes Ltd.		Main Fl.		742 SF	801 SF	 A QUALICO® Company		
Construction Square footage is based on floor area Marketing Square footage includes stairwells		Upper Fl.		787 SF	847 SF			
		Total		1529 SF	1648 SF			
		Bsmnt. Devl:				14		